



# *City of Albuquerque*

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

November 17, 1995

Jackie McDowell, P.E.  
McDowell Engineering  
7200 Valley Forge PI NE  
Albuquerque, N.M. 87109

RE: ENGINEER'S CERTIFICATION FOR ABQ VENTURE LLC BLDG (E-17/D16B)  
RECEIVED NOVEMBER 16, 1995 FOR CERTIFICATE OF OCCUPANCY  
ENGINEER'S STAMP DATED 11-9-95

Dear Ms. McDowell:

Based on the information included in the submittal referenced above, City Hydrology accepts the Engineer's Certification of grading & drainage for certificate of Occupancy. Contact Code Administration to obtain the Certificate of Occupancy for 4101 Jefferson Plaza NE.

If I can be of further assistance, You may contact me at 768-2727.

Sincerely,

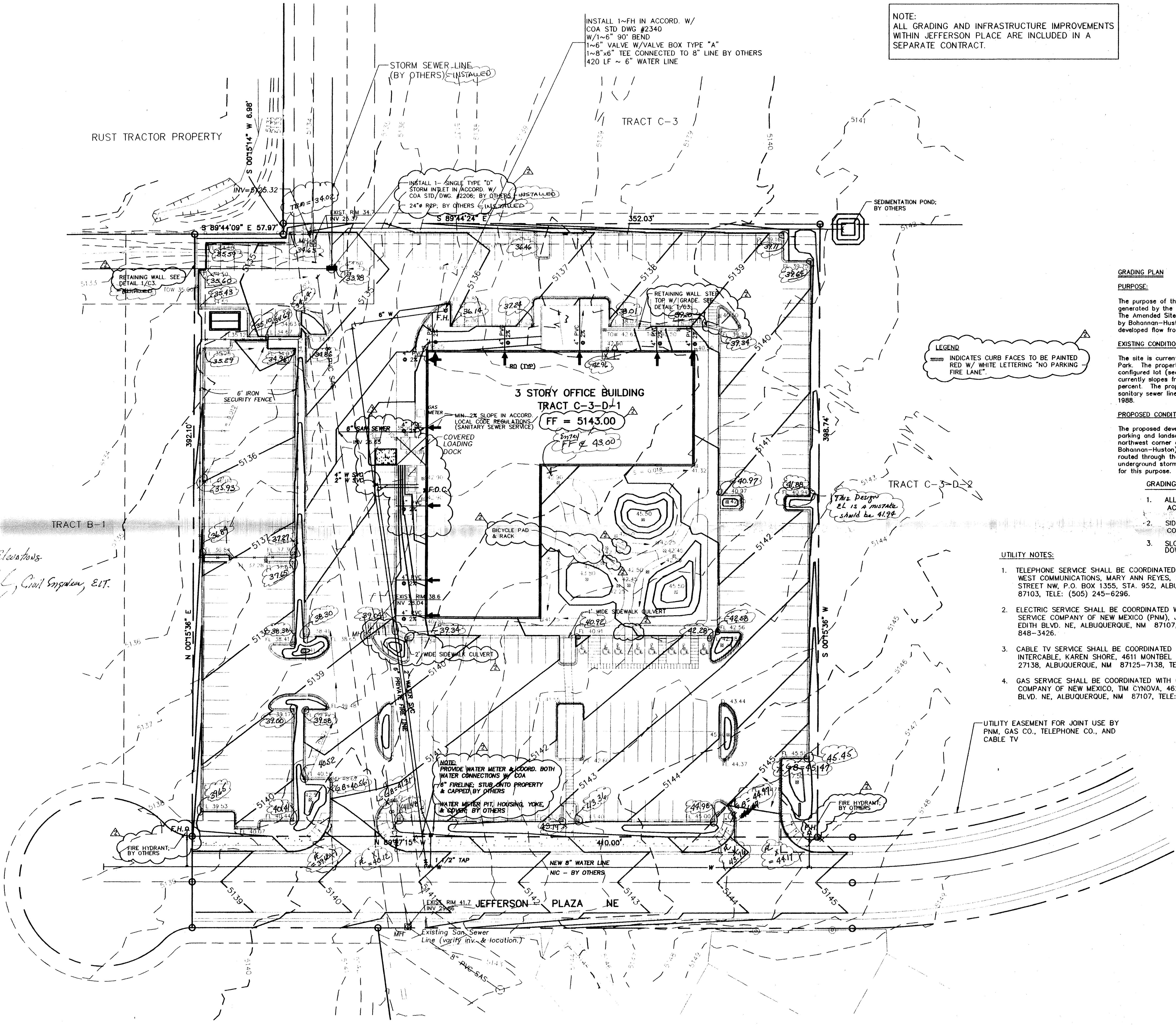
John P. Curtin, P.E.  
Civil Engineer/Hydrology

c: Andrew Garcia  
Rick Butler, ABQ Venture, 12340 W.Alameda Pkwy, Lakewood CO 80228

Existing Elevations  
As Shown 11/6/95  
Job # 343-0317  
343-0277

NOTE:  
ALL GRADING AND INFRASTRUCTURE IMPROVEMENTS  
WITHIN JEFFERSON PLACE ARE INCLUDED IN A  
SEPARATE CONTRACT.

INSTALL 1~FH IN ACCORD. W/  
COA STD DWG #2340  
W/1~6" 90° BEND  
1~6" VALVE W/VALVE BOX TYPE "A"  
1~8"x6" TEE CONNECTED TO 8" LINE BY OTHERS  
420 LF ~ 6" WATER LINE



**GRADING PLAN**

**PURPOSE:**

The purpose of this grading and drainage plan is to show how the storm water runoff generated by the development of this lot will be routed to planned storm sewer facilities. The Amended Site Plan for Subdivision of the Group Nine Industrial Park is being prepared by Bohannon-Huston. A storm sewer system will be designed and constructed to accept all developed flow from this development.

**EXISTING CONDITION:**

The site is currently a portion of Tracts B-1, C-3-D and C-3-E of Group Nine Industrial Park. The property will be replatted to allow for the development of this newly configured lot (see Amended Site Plan for Subdivision by Bohannon-Huston). The site currently slopes from the southeast to the northwest with a slope of approximately 2.5 percent. The property is currently undeveloped with the exception of an existing 8" sanitary sewer line which crosses the site. The sanitary sewer line was installed in 1988.

**PROPOSED CONDITION:**

The proposed development includes a 65,523 sf. three story office building with associated parking and landscaping. Site runoff due to the development will be collected at the northwest corner of the site and intercepted by a storm sewer line (being designed by Bohannon-Huston) via a Type 'D' inlet. Offsite runoff from the east property will be routed through the northerly portion of this site via surface drainage and/or an underground storm sewer line. A drainage easement will be granted at the time of platting for this purpose.

**GRADING NOTES:**

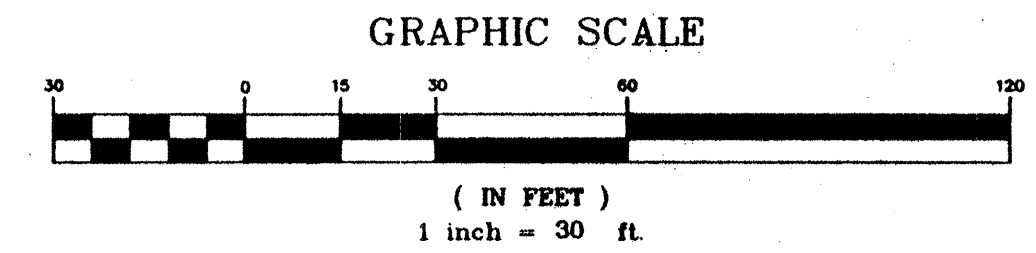
1. ALL EXISTING MANHOLES SHALL BE ADJUSTED TO NEW GRADE IN ACCORDANCE WITH COA STD. DWG. #2111.
2. SIDEWALK CULVERTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH COA STD. DWG. #2236.
3. SLOPE ALL SIDEWALKS, STOOPS, APRONS, ETC. AWAY FROM BUILDING DOWN TOWARDS FLOWLINES @ 2%.

**UTILITY NOTES:**

1. TELEPHONE SERVICE SHALL BE COORDINATED WITH U.S. WEST COMMUNICATIONS, MARY ANN REYES, 201 THIRD STREET NW, P.O. BOX 1355, STA. 952, ALBUQUERQUE, NM 87103, TELE: (505) 245-6296.
2. ELECTRIC SERVICE SHALL BE COORDINATED WITH PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM), JIM VANN, 4201 EDITH BLVD. NE, ALBUQUERQUE, NM 87107, TELE: (505) 848-3426.
3. CABLE TV SERVICE SHALL BE COORDINATED WITH JONES INTERCABLE, KAREN SHORE, 4611 MONTBEL NE, P.O. BOX 27138, ALBUQUERQUE, NM 87125-7138, TELE: (505) 761-6200.
4. GAS SERVICE SHALL BE COORDINATED WITH GAS COMPANY OF NEW MEXICO, TIM CYNOVA, 4625 EDITH BLVD. NE, ALBUQUERQUE, NM 87107, TELE: (505) 761-7775.

UTILITY EASEMENT FOR JOINT USE BY  
PNM, GAS CO., TELEPHONE CO., AND  
CABLE TV

LEGEND  
INDICATES CURB FACES TO BE PAINTED  
RED W/ WHITE LETTERING "NO PARKING -  
FIRE LANE"



NOTE: ELEVATIONS SHOWN ARE "AS-BUILT" ELEVATIONS.

**GRADING AND DRAINAGE PLAN CERTIFICATION:**

The completed Grading and Drainage Plan substantially complies with the approved Grading and Drainage Plan.

Jackie S. McDowell  
Date  
NMPE #10903

Existing Elevations  
As Shown 11/6/95  
Civil Engineer, EIT.

RUST TRACTOR PROPERTY

TRACT C-3

TRACT B-1

3 STORY OFFICE BUILDING  
TRACT C-3-D-1  
FF = 5143.00

TRACT C-3-D-2

JEFFERSON PLAZA NE