

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

December 6, 2023

Aaron M. Barnhart, P.E.  
Wallace Design Collective  
9800 Pyramid Court, Suite 350  
Englewood, Colorado 80112

**RE: Bank of Oklahoma – 6301 Jefferson  
Grading and Drainage Plans  
Engineer's Stamp Date: 08/25/23  
Hydrology File: E17D016C**

Dear Mr. Barnhart:

Based upon the information provided in your submittal received 11/29/2023, the Grading & Drainage Plan is **not** approved for Building Permit. The following comments need to be addressed for approval of the above referenced project:

1. Per the DPM, the following must be on the Grading Plan. Please note the Grading Plan must be a stand-alone construction document.
  - a. Please provide a Vicinity Map. Typically, this is the Zone Atlas. This can be downloaded in pdf format from the City of Albuquerque's website.
  - b. Please provide the Benchmark information (location, description and elevation) for the survey contour information provided.
  - c. Please provide the FIRM Map and flood plain note with effective date.
  - d. Please provide a legal Description of the property.
2. Please place all the topographic information that CSI provided on the overall Grading & Drainage Plan. Then the second sheet can be the closeup view of the proposed building. (C500) Please show the existing finish floor of the building to be 5144.6' on the plans. These are the only two that Hydrology needs to approve.
3. Please use the procedure for 40 acre and smaller basins as outlined in Development Process Manual (DPM) (signed 06/08/20) Article 6-2(a). Please provide both the existing conditions and proposed conditions for the 100 year-6 hour storm event.
4. Please follow the DPM Article 6-12 Stormwater Quality and Low-Impact Development for the sizing calculations. To calculate the required SWQV, multiply the all new proposed impervious area by 0.26 inches for redevelopment sites.

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

5. Since this site is a redevelopment and there is no room to provide the required volume, I would suggest removing the pond and filling out the attached Waiver of Management Onsite for the Stormwater Quality Volume (SWQV).
6. Please add a note which states, "The Owner has elected to pay the Payment in Lieu for the required Stormwater Quality Volume. The Payment in Lieu Amount = XXX CF x \$8/CF = \$ XXX.00".

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, [jhughes@cabq.gov](mailto:jhughes@cabq.gov), 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3995 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov).

Sincerely,

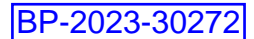
PO Box 1293

Albuquerque

Renée C. Brissette, P.E. CFM  
Senior Engineer, Hydrology  
Planning Department

NM 87103

[www.cabq.gov](http://www.cabq.gov)



Planning Department  
Development & Building Services Division

## REV. 09/13/23



November 29, 2023

Tiequan Chen  
Hydrology Development Review Services  
City of Albuquerque Planning Department  
600 2<sup>nd</sup> St NW  
Albuquerque, NM 87102

RE: BOKF – Albuquerque  
Hydrology Submission

This site is located at 6301 Jefferson St NE, within the Group Nine Industrial Park. The existing site is a 7.60-acre (331,056 SF) development with a building, parking lot, sidewalk, associated drive aisles which fall under type D land cover and type C land cover.

The proposed improvements to the site involve the addition of a new security structure for loading/unloading of armored trucks, along with added security fencing and pavement markings for associated infrastructure. These improvements will not alter existing drainage patterns beyond the site boundary. Existing type C land cover removal will be required for the new enclosure; additionally, the existing parking island will be removed to the southwest of the site to facilitate vehicular turnaround for armored vehicles, fire and life safety needs, and trash truck maneuvers for removal of refuse from the existing garbage enclosure. These removals of type C land cover total to 998 SF, which impacts only 0.30% of the total site area listed above.

Due to the minimal increase in impervious coverage, a detailed hydrologic and hydraulic analysis of the site would be superfluous as the improvements in this amendment are self-contained, and the land treatment remains classified as Treatment D in both the existing and proposed conditions, as defined by the City of Albuquerque Development Process Manual Section 6-2(A)(2). Exhibits for the existing and proposed site conditions, and associated calculations are provided as attachments to this memorandum. Should you have any additional questions or need additional information please let me know.

Sincerely,

WALLACE DESIGN COLLECTIVE

*Civil Engineering Services*

A handwritten signature in black ink, appearing to read "Aaron M. Barnhart", is written over a horizontal line.

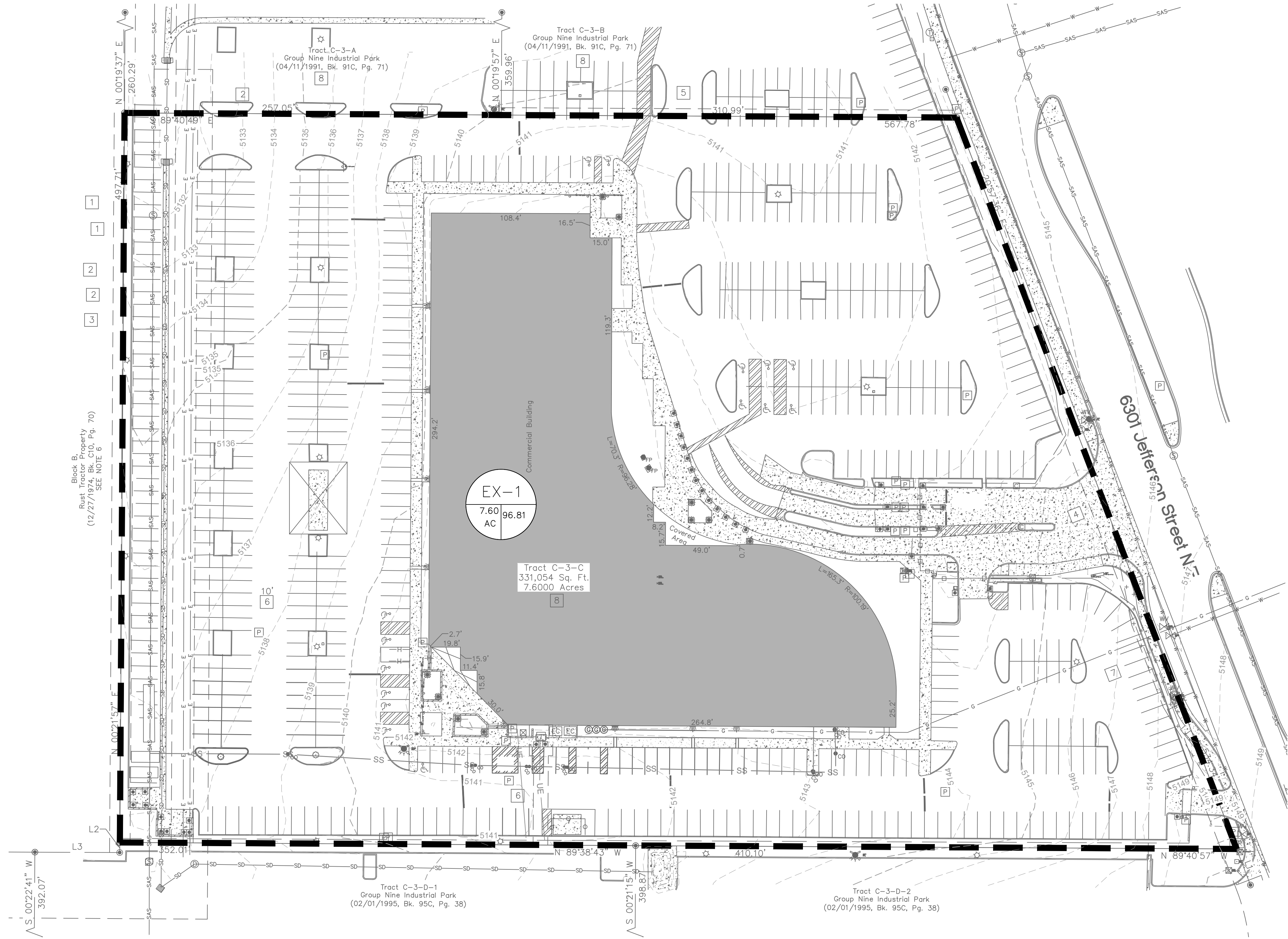
Aaron Barnhart, P.E.  
Associate



11/29/2023

**ATTACHMENTS**

- Exhibit 1 – Existing Site Conditions
- Exhibit 2 – Proposed Site Conditions
- Exhibit 3 – Site Imperviousness Comparison



**LEGEND**

DRAINAGE AREA BOUNDARY  
EXISTING MAJOR CONTOUR  
EXISTING MINOR CONTOUR

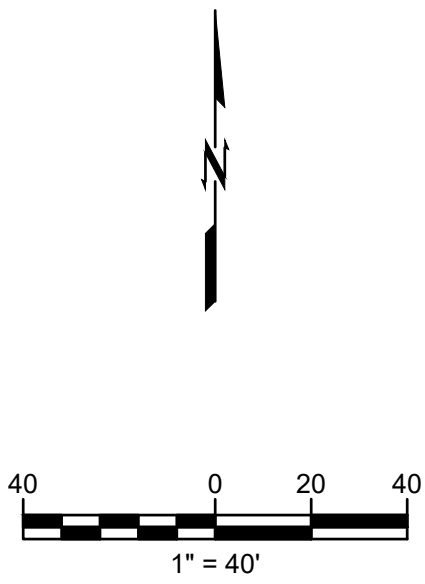
SUB-BASIN NAME,  
ACREAGE AND  
COMPOSITE CURVE NUMBER

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XX-X  
X.XX AC X.XX



**BOKF JEFFERSON  
OPERATIONS CENTER  
BANK OF OKLAHOMA FINANCIAL**

6301 JEFFERSON  
ALBUQUERQUE, NM 87109

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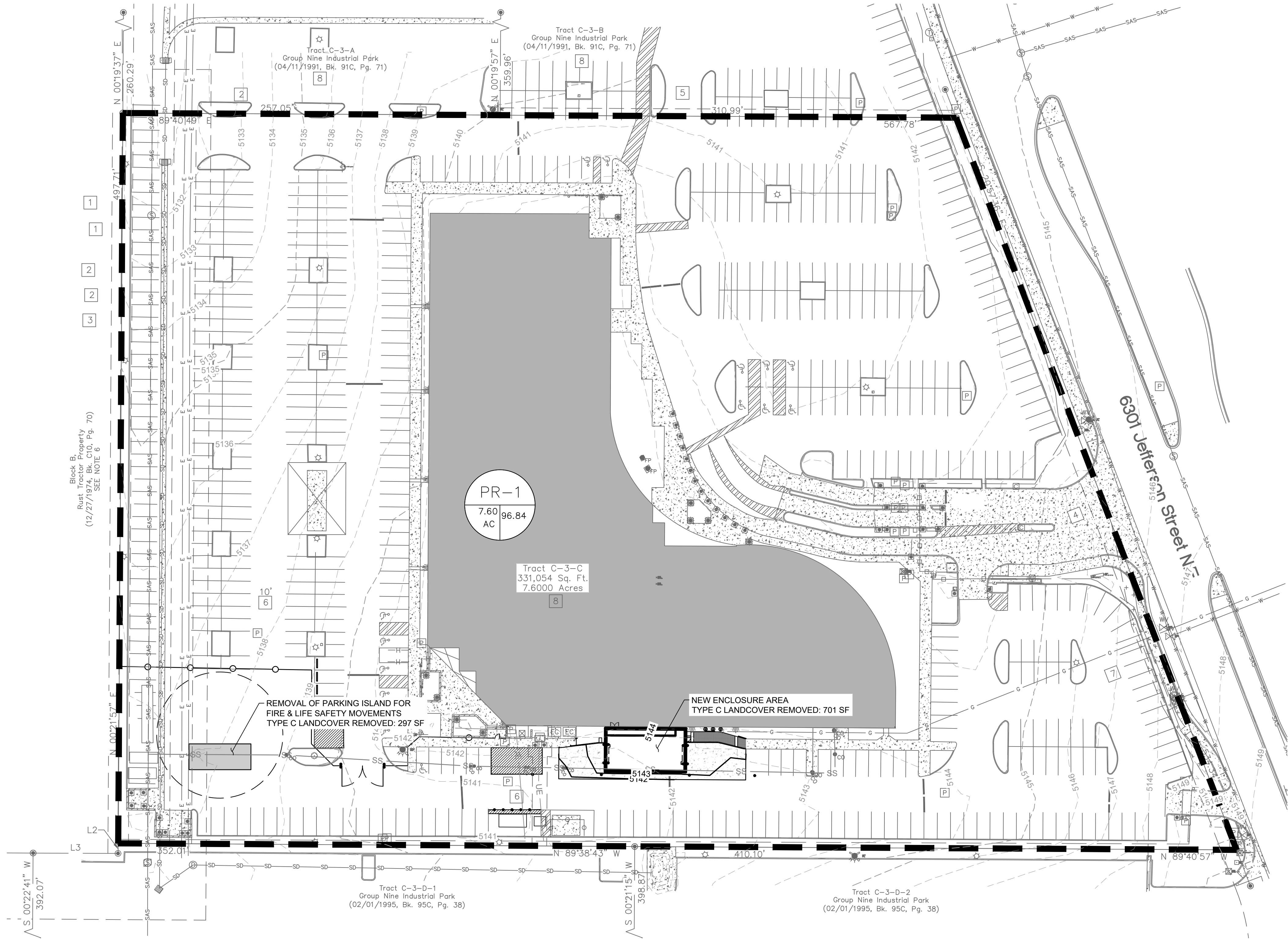
| ISSUES / REVISIONS |       |            |
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ISSUE DATE: 08/25/2023  
CHECKED BY: JMD  
DRAWN BY: CJC

SHEET NAME  
EXISTING CONDITIONS

SHEET NUMBER

EXH-1



LEGEND

DRAINAGE AREA BOUNDARY

EXISTING MAJOR CONTOUR

EXISTING MINOR CONTOUR

PROPOSED MAJOR CONTOUR

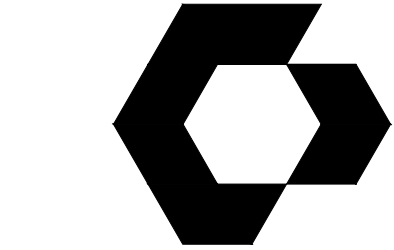
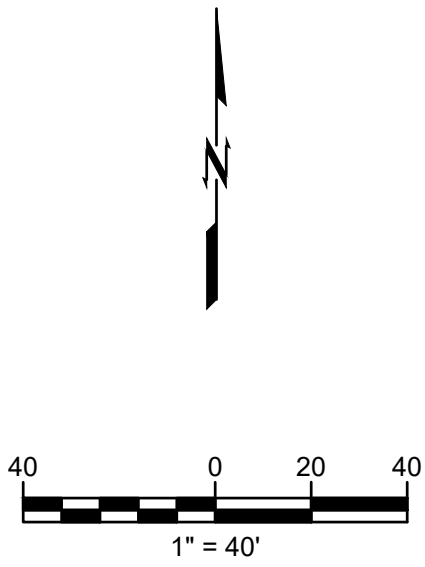
PROPOSED MINOR CONTOUR

SUB-BASIN NAME,  
ACREAGE AND  
COMPOSITE CURVE NUMBER

XX-X

X.XX  
AC

XX.XX



CYNERGY  
810 S CINCINNATI AVE, STE 200  
TULSA, OK 74119  
918.877.6000



wallace  
design  
collective

wallace design collective, pc  
structural-civil-landscape-survey  
9800 pyramid court, suite 350  
englewood, co 80112  
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ISSUES / REVISIONS

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ISSUE DATE: 08/25/2023  
CHECKED BY: JMD  
DRAWN BY: CJC

SHEET NAME

PROPOSED CONDITIONS

SHEET NUMBER

EXH-2

EXISTING CONDITIONS

|         |                              |           |   |    |   |
|---------|------------------------------|-----------|---|----|---|
| Date    | 11/29/2023                   | Sheet No. | 1 | of | 2 |
| Job#    | BOKF - Albuquerque           |           |   |    |   |
| Subject | Existing Site Imperviousness |           |   |    |   |

Composite Runoff Coefficients

| Land Use Or Surface Characteristics   | CN*   |
|---------------------------------------|-------|
| Land Treatment D (Pavement & Roof)    | 98.00 |
| Land Treatment C (Minimal Vegetation) | 86.00 |

| Subbasin   | Total Area<br>(acres) | Total Area<br>(sf) | Land Use Area per Subbasin         |       |                                       |      |         | Weighted CN |
|------------|-----------------------|--------------------|------------------------------------|-------|---------------------------------------|------|---------|-------------|
|            |                       |                    | Land Treatment D (Pavement & Roof) |       | Land Treatment C (Minimal Vegetation) |      | % Check |             |
|            |                       |                    | Area (sf)                          | %     | Area (sf)                             | %    |         |             |
| EX-1       | 7.60                  | 331,055            | 298,127                            | 90.1% | 32,928                                | 9.9% | 100%    | 96.81       |
| Total Site | 7.60                  | 331,055            | 298,127                            | 90.1% | 32,928                                | 9.9% |         | 96.81       |

\*CN pulled from Table 6.2.9 of the Albuquerque Development Process Manual

PROPOSED CONDITIONS

|         |                              |           |   |    |   |
|---------|------------------------------|-----------|---|----|---|
| Date    | 11/29/2023                   | Sheet No. | 2 | of | 2 |
| Job#    | BOKF - Albuquerque           |           |   |    |   |
| Subject | Proposed Site Imperviousness |           |   |    |   |

Composite Runoff Coefficients

| Land Use Or Surface Characteristics   |  | CN*   |
|---------------------------------------|--|-------|
| Land Treatment D (Pavement & Roof)    |  | 98.00 |
| Land Treatment C (Minimal Vegetation) |  | 86.00 |

| Subbasin                  | Total Area<br>(acres) | Total Area<br>(sf) | Land Use Area per Subbasin         |       |                                       |        |         | Weighted CN |
|---------------------------|-----------------------|--------------------|------------------------------------|-------|---------------------------------------|--------|---------|-------------|
|                           |                       |                    | Land Treatment D (Pavement & Roof) |       | Land Treatment C (Minimal Vegetation) |        | % Check |             |
|                           |                       |                    | Area (sf)                          | %     | Area (sf)                             | %      |         |             |
|                           |                       |                    |                                    |       |                                       |        |         |             |
| PR-1                      | 7.60                  | 331,055            | 299,126                            | 90.4% | 31,929                                | 9.6%   | 100%    | 96.84       |
| Total Site                | 7.60                  | 331,055            | 299,126                            | 90.4% | 31,929                                | 9.6%   |         | 96.84       |
| Change in Area/% Coverage |                       |                    | 998                                | 0.30% | -998                                  | -0.30% | EX-1 CN | 96.81       |

\*CN pulled from Table 6.2.9 of the Albuquerque Development Process Manual

% Change0.037%Increase

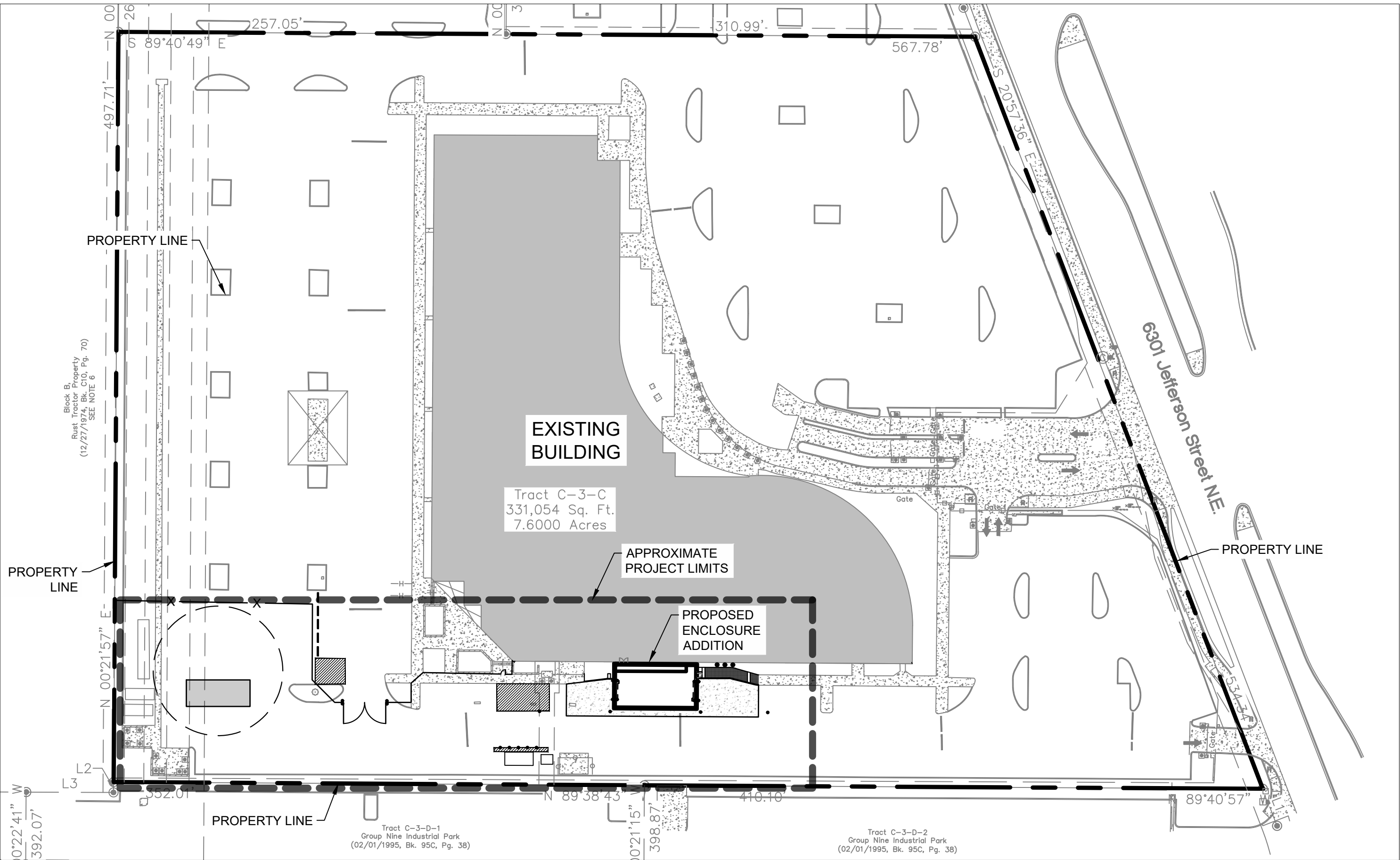
BOKF JEFFERSON OPERATIONS CENTER  
BANK OF OKLAHOMA FINANCIAL  
6301 JEFFERSON ALBUQUERQUE, NM 87109

LEGAL DESCRIPTION  
TRACT "C-3-C", OF THE REPLAT FOR TRACTS B-1, C-3-A, C-3-B, C-3-C, C-3-D, C-3-E, C-3-F, C-3-G, OF GROUP NINE INDUSTRIAL PARK, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON APRIL 11, 1991, IN PLAT BOOK 91C, PAGE 71.



PROJECT VICINITY MAP

SCALE: 1" = 300'



SITE OVERVIEW

SCALE: 1" = 60'

ARCHITECT  
CYNTERGY  
CHANCE DELANCEY  
810 S CINCINNATI AVE, STE 200  
TULSA, OK 74119  
918.728.3768

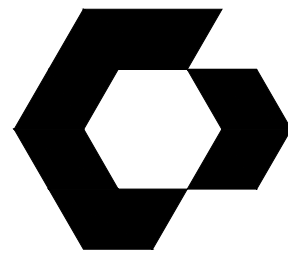
CIVIL ENGINEER  
WALLACE DESIGN COLLECTIVE  
9800 PYRAMID CT, SUITE 350  
ENGLEWOOD, CO 80112  
AARON BARNHART, PE  
AARON.BARNHART@WALLACE.DESIGN  
720.704.5288

SURVEYOR  
CSI-CARTESIAN SURVEYS INC.  
BRIAN J. MARTINEZ  
P.O. BOX 44414 RIO RANCHO, N.M. 87174  
CARTESIANBRIAN@GMAIL.COM  
505.896.3050

| SHEET INDEX  |                                       |
|--------------|---------------------------------------|
| SHEET NUMBER | SHEET TITLE                           |
| C100         | COVER SHEET                           |
| C200         | SURVEY                                |
| C300         | EXISTING CONDITIONS & DEMOLITION PLAN |
| C400         | SITE PLAN                             |
| C401         | ENLARGED SITE PLAN                    |
| C500         | GRADING PLAN                          |

PARKING SUMMARY

|                         |                    |
|-------------------------|--------------------|
| REQUIRED PARKING:       |                    |
| 1 SPACE PER 200 SF:     | 64,755 / 200 = 324 |
| PROVIDED PARKING:       |                    |
| STANDARD:               | 505                |
| ACCESSIBLE:             | 15                 |
| TOTAL PROVIDED PARKING: | 520                |



CYNTERGY  
810 S CINCINNATI AVE, STE 200  
TULSA, OK 74119  
918.877.6000



wallace design collective, pc  
structural-civil-landscape-survey  
9800 pyramid court, suite 350  
englewood, co 80112  
303.350.1690-800.344.5858  
P.N. 2240493

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ISSUES / REVISIONS

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ISSUE DATE: 08/25/2023  
CHECKED BY: JMD  
DRAWN BY: CJC

SHEET NAME  
COVER SHEET

SHEET NUMBER

C100



wallace design collective, pc  
structural · civil · landscape · survey  
9800 pyramid court, suite 350  
englewood, co 80112  
303.350.1690 · 800.364.5858  
P.N. 2240493

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## SUES / REVISIONS

[illegible]

ISSUE DATE: 08/25/2023  
CHECKED BY: JMD  
DRAWN BY: CJG

SHEET NAME  
SURVEY

SHEET NUMBER

# C200


































SURVEY NOTE:

THIS SHEET IS FOR THE CONVENIENCE OF THE CONTRACTOR. IT IS INTENDED FOR GENERAL SURVEY INFORMATION ONLY. WALLACE DESIGN COLLECTIVE HAS NOT CONFIRMED ITS ACCURACY. SURVEY INFORMATION WAS REPRODUCED BY ELECTRONIC TRANSFER FROM THE SURVEYOR. ORIGINAL SURVEY DRAWINGS AVAILABLE FROM THE SURVEYOR.

*Topographic Map*  
*for*  
*Tract C-3-C*  
*Group Nine Industrial Park*  
*City of Albuquerque*  
*Bernalillo County, New Mexico*  
*March 2023*

Legend

N 90°00'00" E

|   |   |
|---|---|
|    | FOUND MONUMENT AS INDICATED                 |
|    | COVERED AREA                                |
|    | CONCRETE                                    |
|    | BLOCK WALL                                  |
|    | CHAINLINK FENCE                             |
|    | METAL FENCE                                 |
|    | PULL BOX                                    |
|    | LIGHT POLE                                  |
|    | TRANSFORMER                                 |
|    | ELECTRIC CABINET                            |
|    | BOLLARD WITH LIGHT                          |
|    | CAMERA POLE                                 |
|    | WATER VALVE                                 |
|    | WATER METER                                 |
|    | FLAGPOLE                                    |
|    | MANHOLE                                     |
|    | SAS CLEANOUT                                |
|    | IRRIGATION BOX                              |
|    | SIGN  |
|    | CURB CUT/INDICATION OF<br>ACCESS TO ROADWAY |
|   | GAS METER                                   |
|  | ROOF DRAIN                                  |
|  | FIRE HYDRANT                                |
|  | BOLLARD                                     |
|  | UTILITY PEDESTAL                            |
|  | TELEPHONE MANHOLE                           |
|  | HANDRAIL                                    |
|  | RAMP  |
|  | UNDERGROUND GAS UTILITY LINE                |
|  | UNDERGROUND WATER UTILITY LINE              |
|  | UNDERGROUND SANITARY SEWER LINE             |
|  | UNDERGROUND ELECTRIC UTILITY LINE           |
|  | SPOT ELEVATION                              |
| 5075.50   | BACK OF CURB ELEVATION                      |
| BC 5075.50  | FLOW LINE ELEVATION                         |
| FL 5075.50  | TOP OF ASPHALT ELEVATION                    |
| TA 5075.50  | TOP OF CONCRETE ELEVATION                   |
| TC 5075.50  |   |

### Surveyor's Certificate

I, BRIAN J. MARTINEZ, A NEW MEXICO REGISTERED PROFESSIONAL LAND SURVEYOR DO HEREBY CERTIFY THAT THE TOPOGRAPHIC MAP SHOWN HEREON IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Brian J. Martinez 3/14/23  
BRIAN J. MARTINEZ DATE  
N.M.R.P.S. NO. 18374

CSI-CARTESIAN SURVEYS INC.

P.O. BOX 44414 RIO RANCHO, N.M. 87174  
Phone (505) 896 - 3050 Fax (505) 891 - 0244  
cartesianbrian@gmail.com

Sheet 1 of 1  
221506

### Benchmark -NAVD 88

ACS MONUMENT "SMW-12" HAVING AN ELEVATION OF 5242.356 FEET.

| Line Table |                                 |                 |
|------------|---------------------------------|-----------------|
| Line #     | Direction                       | Length (ft)     |
| L1         | S 20°57'36" E { S 21°02'51" E } | 26.30' {26.35'} |
| L2         | S 00°42'06" W { S 00°15'14" W } | 6.90' {6.98'}   |
| L3         | N 89°45'26" W { N 89°45'12" W } | 57.87' {57.97'} |

### Vicinity Map


## Legal Description

TRACT "C-3-C", OF THE REPLAT FOR TRACTS B-1, C-3-A, C-3-B, C-3-C, C-3-D, C-3-E, C-3-F, C-3-G, OF GROUP NINE INDUSTRIAL PARK, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON APRIL 11, 1991, IN PLAT BOOK 91C, PAGE 71.

## Notes

1. FIELD SURVEY PERFORMED IN SEPTEMBER 2022 AND SUPPLEMENTAL DATA IN MARCH 2023.
2. ALL DISTANCES ARE GROUND DISTANCES: U.S. SURVEY FOOT.
3. THE BASIS OF BEARINGS REFERENCES NEW MEXICO STATE PLANE COORDINATES (NAD 83-CENTRAL ZONE).
4. WITH REGARD TO UNDERGROUND UTILITY LOCATIONS, SOURCE INFORMATION FROM PLANS AND MARKINGS WERE COMBINED WITH OBSERVED EVIDENCE OF UTILITIES PURSUANT TO SECTION 5.E.I.V. TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES. HOWEVER, LOCATION OF UTILITY LOCATIONS AND THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED. IN ADDITION, IN SOME JURISDICTIONS, 811 OR OTHER SIMILAR UTILITY LOCATE REQUESTS FROM SURVEYORS MAY BE IGNORED OR RESULT IN AN INCOMPLETE RESPONSE, WHICH MAY AFFECT THIS SURVEY. AN ASSUMPTION OF THE LOCATION OF UTILITIES THAT MAY BE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED. THE CLIENT IS ADVISED THAT IF AN EXCAVATION AND/OR A PRIVATE UTILITY LOCATE REQUEST MAY BE NECESSARY, INVERT DATA SHOWN WITH A  $\pm$  SHOULD BE CONSIDERED TAKEN FROM AS-BUILTS. (NM811 TICKET NO. 23FE0706868)
5. THE COORDINATES SHOWN HEREON REFERENCES MODIFIED NEW MEXICO STATE PLANE COORDINATES (NAD 83-CENTRAL ZONE), USING A GROUND TO GRID FACTOR OF 0.999860416, WITH AN ORIGIN OF (0,0).
6. ACCESS TO THIS PROPERTY WAS GATED. CLEARANCE WAS NEEDED AT TIME OF FIELD SURVEY; THEREFORE, NO DATA COULD BE COLLECTED IN THIS AREA.
7. ALTHOUGH THIS IS A BOUNDARY SURVEY, THIS IS A GRAPHIC SURVEY MAY BE USED FOR SOURCE CHARACTERISTICS OF A SURVEY BECAUSE A BOUNDARY SURVEY WAS PREVIOUSLY PERFORMED ON THIS PROPERTY.

### Easement Notes

- [1] EXISTING 14' UTILITY EASEMENT (7' LOCATED ON SUBJECT PROPERTY) (12/21/1978, BK. B15, PG. 171) AND AS SHOWN ON PLAT (04/11/1991, BK. 91C, PG. 71).
- [2] EXISTING 40' PRIVATE STORM DRAIN EASEMENT GRANTED FOR THE USE AND BENEFIT OF TRACT B-1, C-3-E, C-3-D, C-3-C AND C-3-A. MAINTENANCE OF EASEMENTS IS SHARED RESPONSIBILITY OF SAID TRACTS (04/11/1991, BK. 91C, PG. 71).
- [3] EXISTING 35' SEWER AND WATER EASEMENT (07/02/1985, BK. 245A, PG. 497-498, AS DOC. NO. 8553320) AND AS SHOWN ON PLAT (04/11/1991, BK. 91C, PG. 71).
- [4] EXISTING 10' UTILITY EASEMENT (12/21/1978, BK. B15, PG. 171) AND AS SHOWN ON PLAT (04/11/1991, BK. 91C, PG. 71).
- [5] EXISTING 5' P.N.M. AND U.S. WEST EASEMENT (04/11/1991, BK. 91C, PG. 71)
- [6] EXISTING 10' UNDERGROUND ELECTRIC LINE PNM AND M&ST&T EASEMENT (04/14/1998, BK. 9808, PG. 3038, AS DOC. NO. 1998044564).
- [7] EXISTING EXCLUSIVE, PERMANENT EASEMENT FOR THE CONSTRUCTION, INSTALLATION, MAINTENANCE, REPAIR, MODIFICATION, REPLACEMENT OF OPERATION FOR BUS BAY (02/01/1995, BK. 95-3, PG. 3942-3944, DOC. NO. 95011069). SHOWN HEREON AS 
- [8] EXISTING RECIPROCAL EASEMENT AGREEMENT FOR THE BENEFIT OF TRACTS C-3-B, C-3-A-2, AND C-3-C, BLANKET IN NATURE (02/16/2001 BK. A15, PG. 4933, DOC. NO. 2001016408).

THIS IS NOT A BOUNDARY SURVEY, APPARENT PROPERTY  
CORNERS ARE SHOWN FOR ORIENTATION ONLY. BOUNDARY DATA  
SHOWN IS FROM PREVIOUS SURVEY REFERENCED HEREON.

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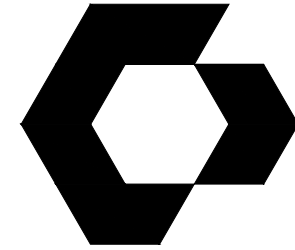
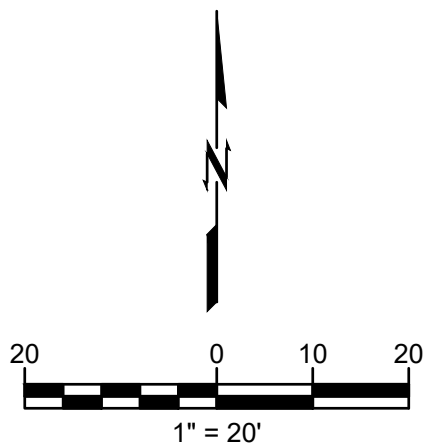
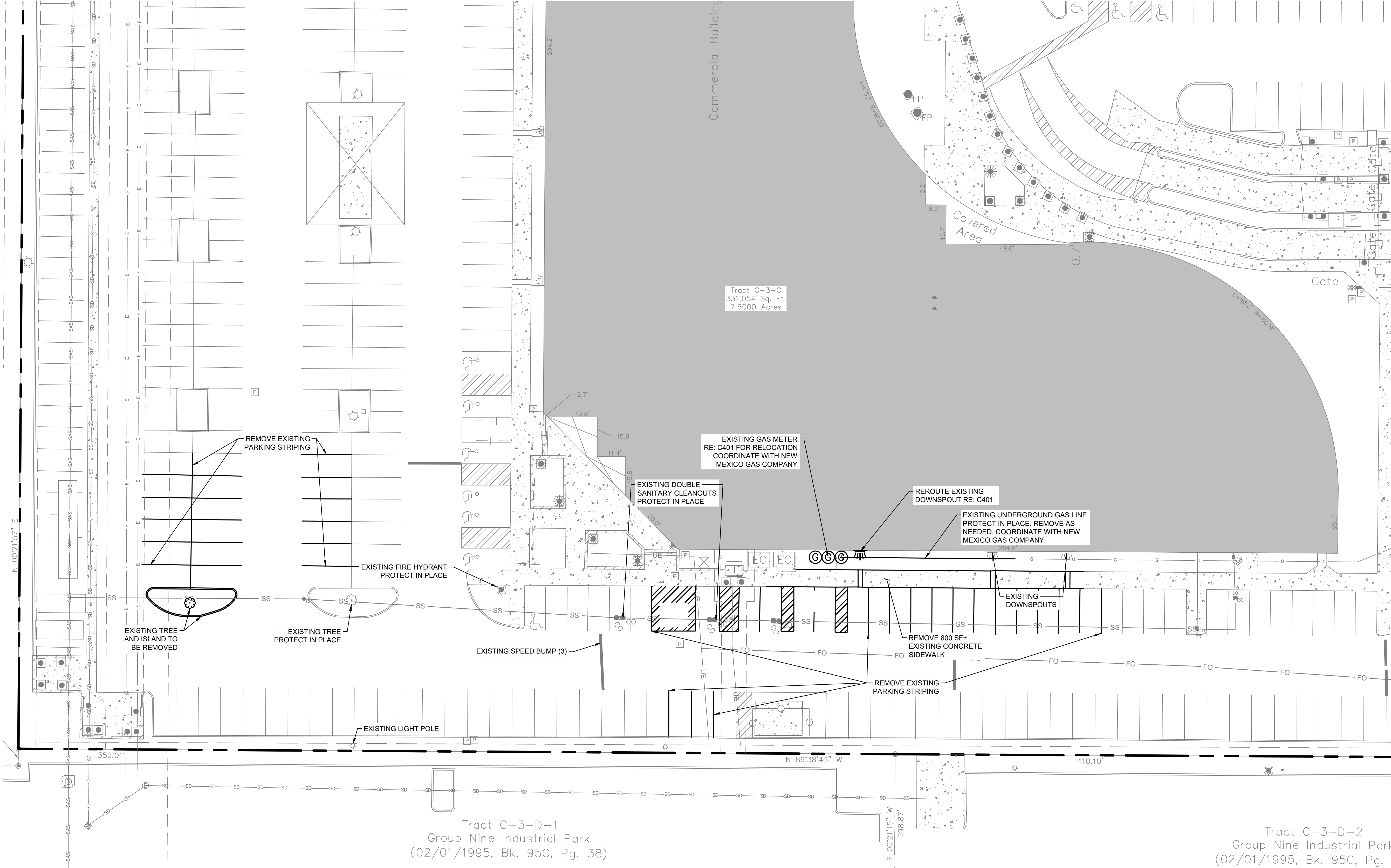
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SHEET NAME

EXISTING CONDITIONS  
& DEMOLITION PLAN

SHEET NUMBER

**C300**

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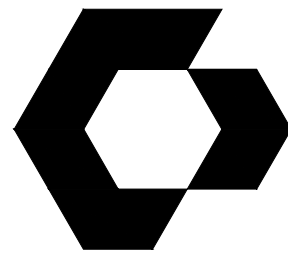
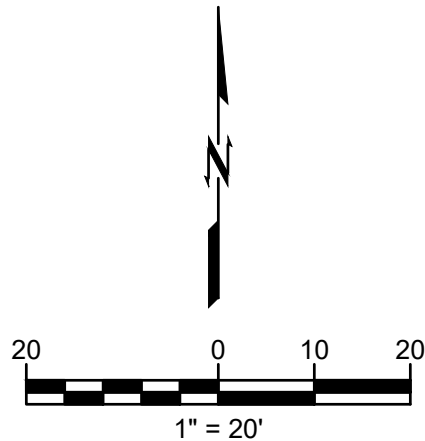
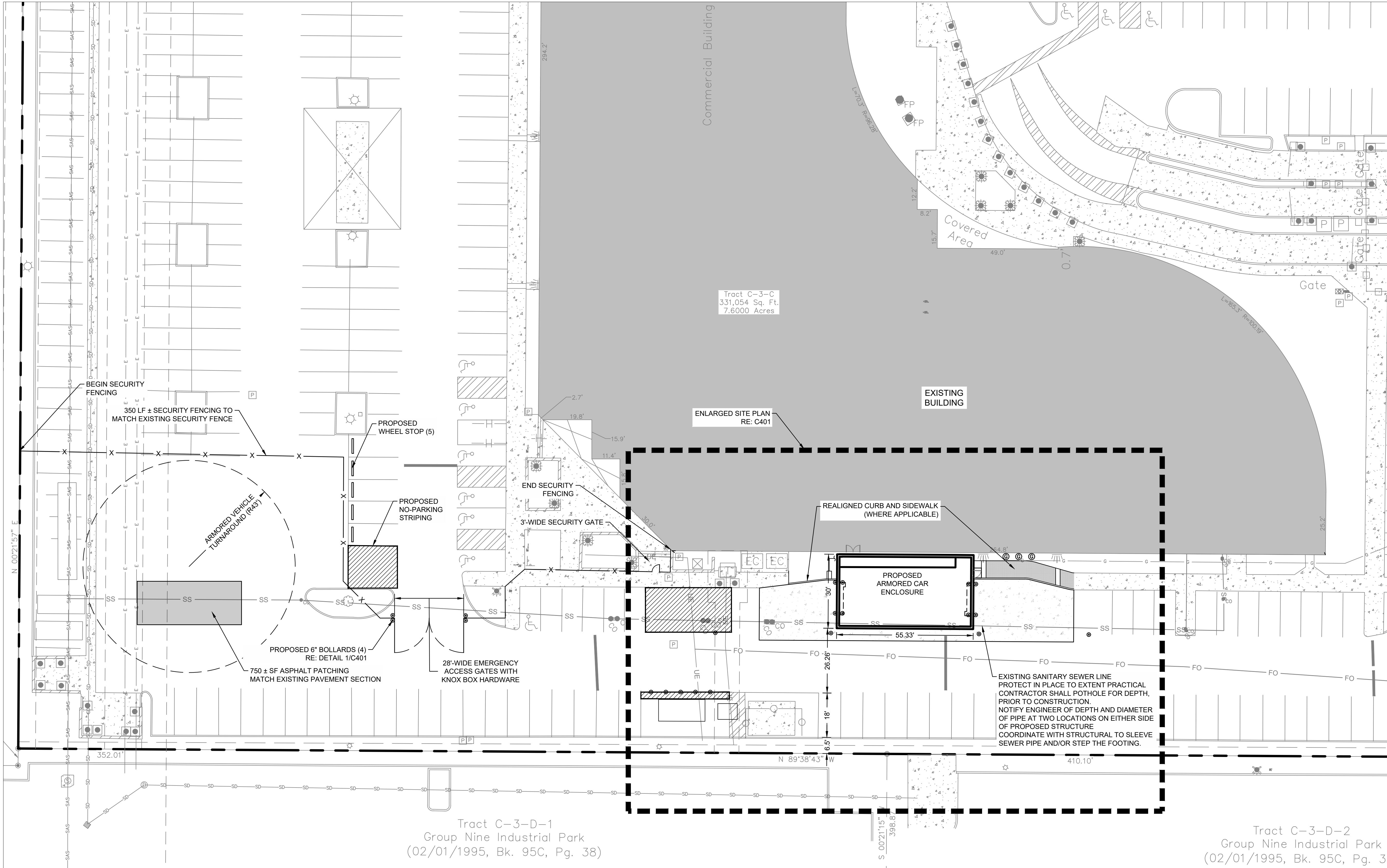
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SHEET NAME

SITE PLAN

SHEET NUMBER

**C400**

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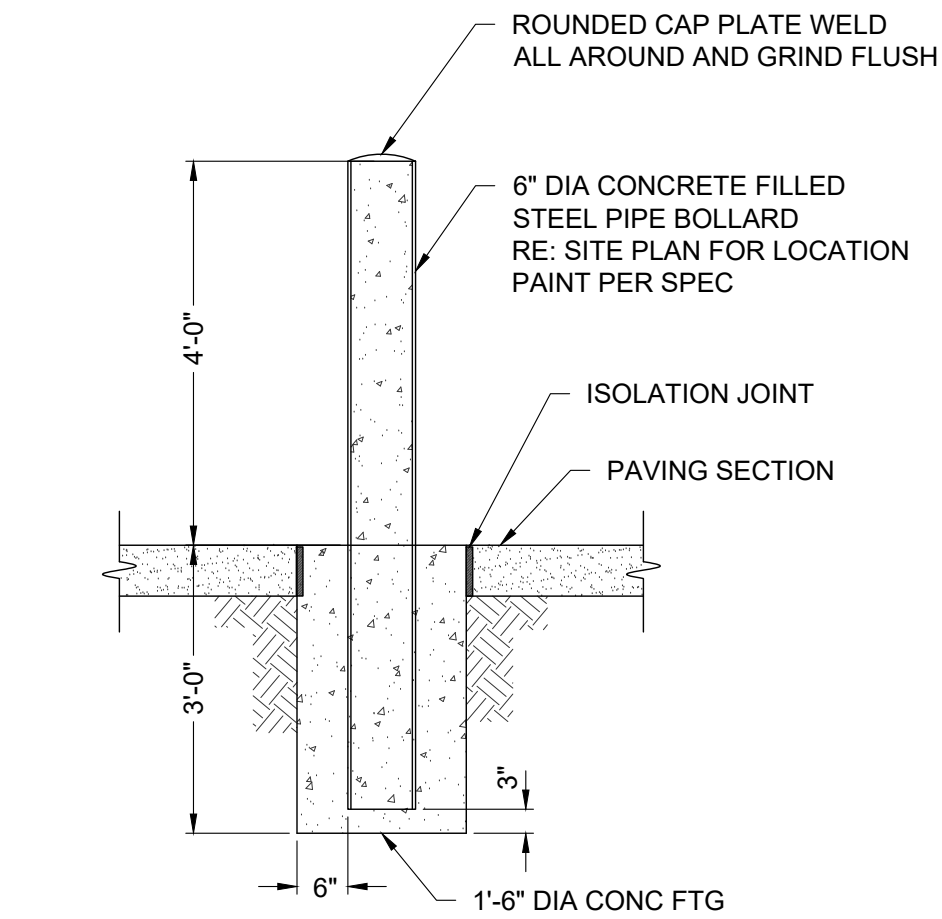
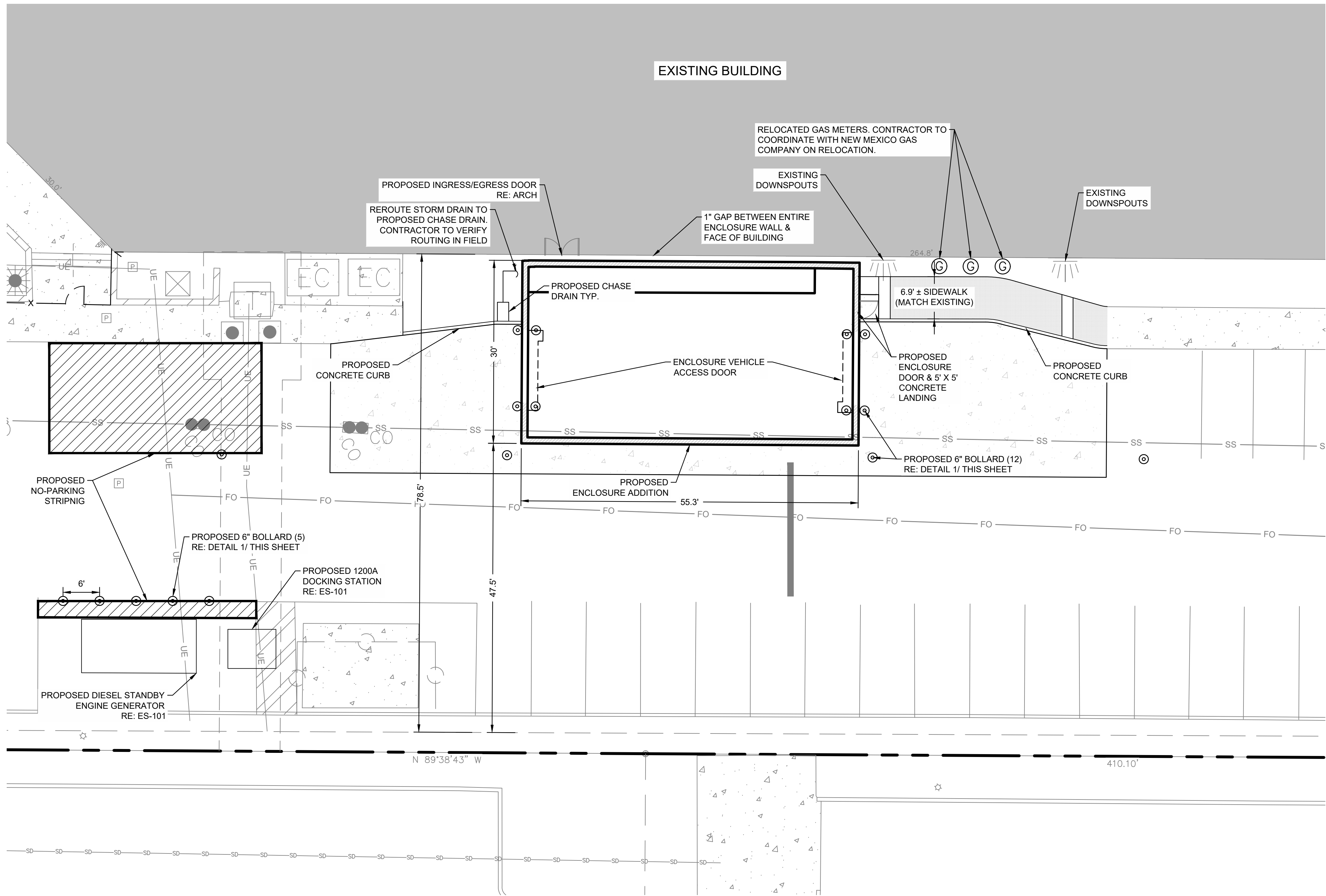
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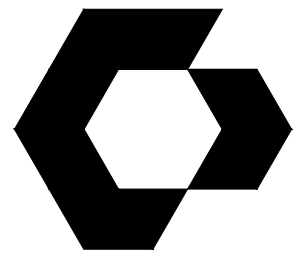
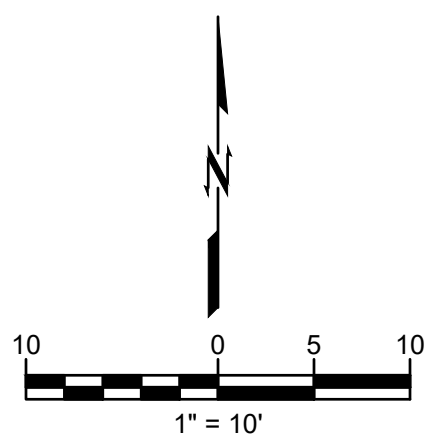


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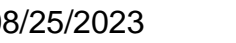
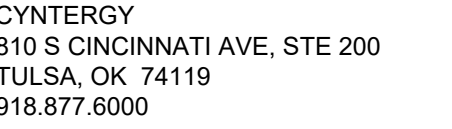
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SHEET NAME

ENLARGED SITE PLAN

SHEET NUMBER

**C401**



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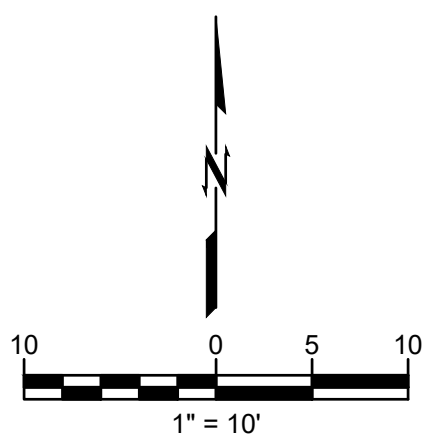
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