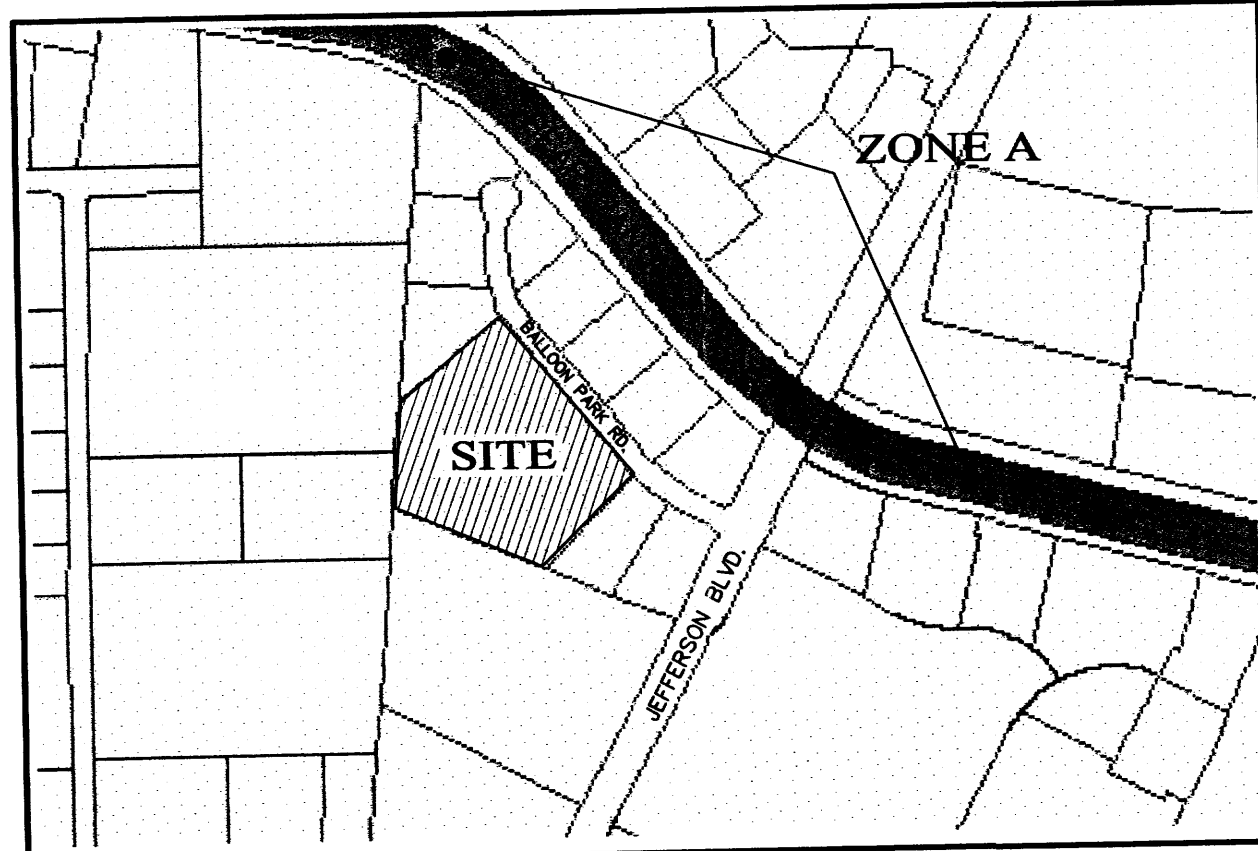




FEMA MAP: 35001C0138 D

EROSION CONTROL PLAN AND POLLUTION PREVENTION NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUNOFF ON SITE.
4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
6. ALL THE DISTURBED AREAS MUST BE REVEGETATED.

GENERAL NOTES:

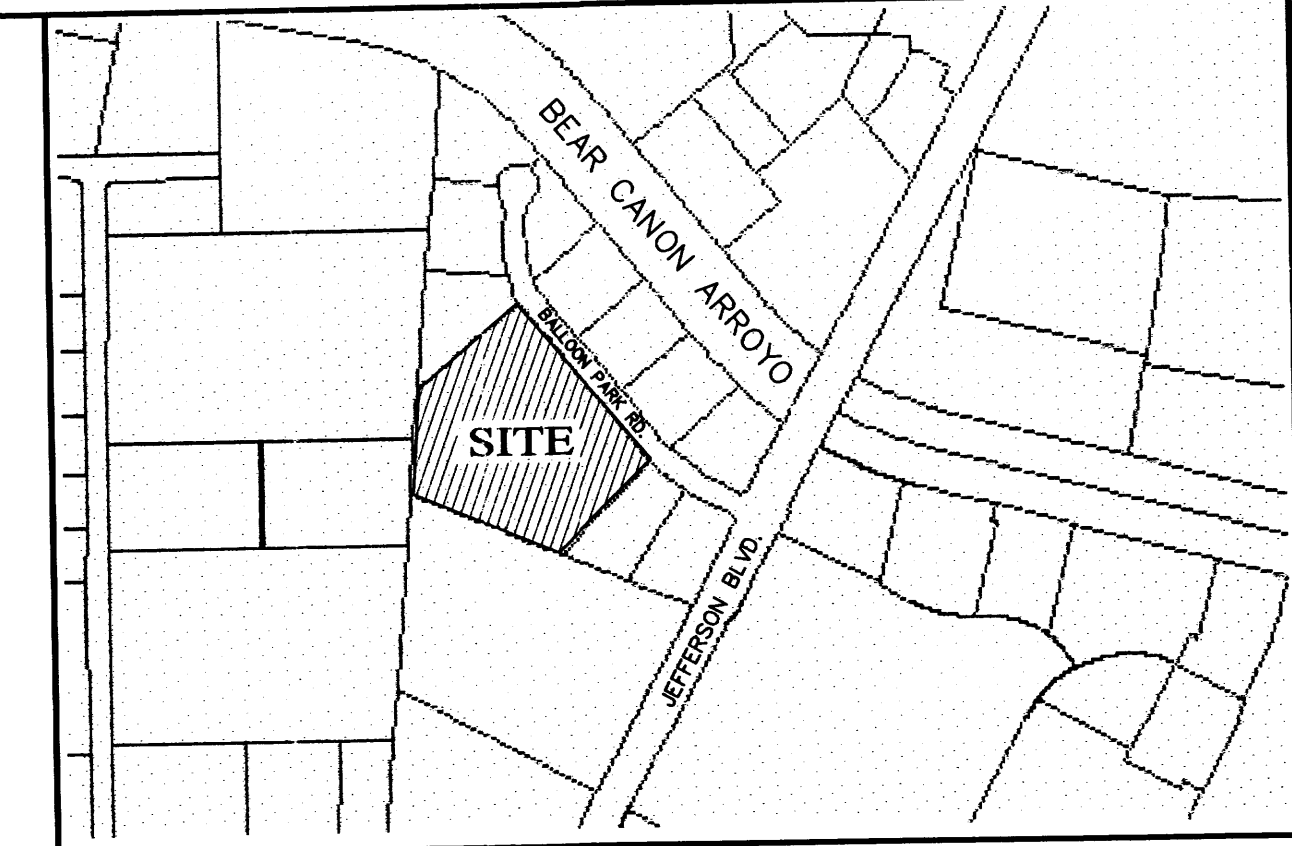
1. ADD 5100 TO SPOT ELEVATIONS TO SHOW TRUE ELEVATION.
2. CONTOUR INTERVAL IS ONE (1) FOOT.
3. ELEVATIONS ARE BASED ON FINISHED FLOOR OF THE EXISTING BUILDING HAVING AN ELEVATION OF 5146.00.
4. UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
5. THIS IS NOT A BOUNDARY SURVEY, BEARINGS ARE ASSUMED, DISTANCES AND FOUND PROPERTY CORNERS ARE FOR INFORMATIONAL PURPOSES ONLY.
6. SLOPES ARE AT 4:1 MAXIMUM.

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

LEGEND

- 5100 — EXISTING CONTOUR (MAJOR)
- 5102 — EXISTING CONTOUR (MINOR)
- - - BOUNDARY LINE
- - - EASEMENT
- X 70.28 PROPOSED SPOT ELEVATION
- X 5143.15 EXISTING GRADE
- 70.90 TOP OF CURB, RETAINING OR HEADER WALL
- 70.40 PROPOSED FLOWLINE



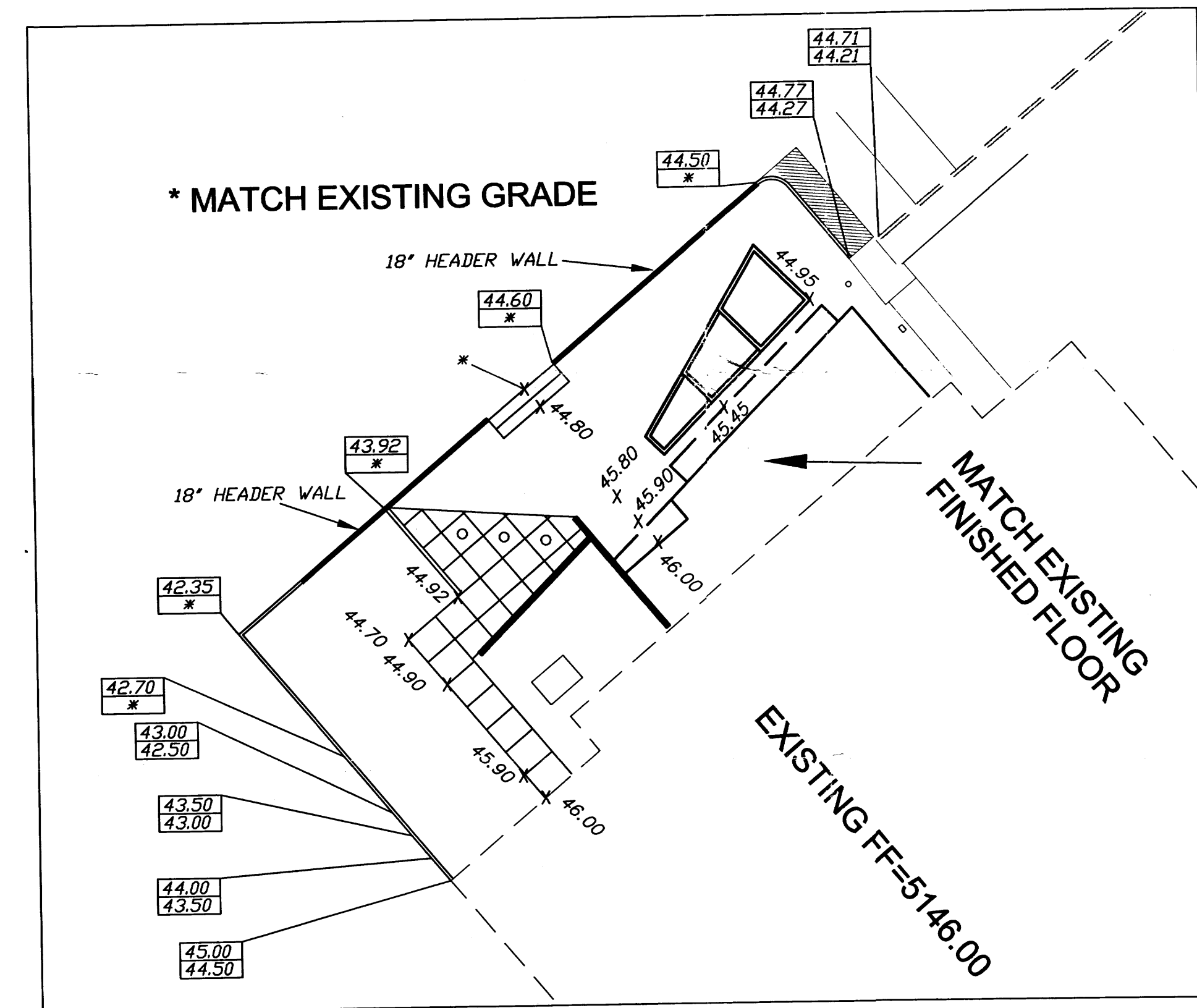
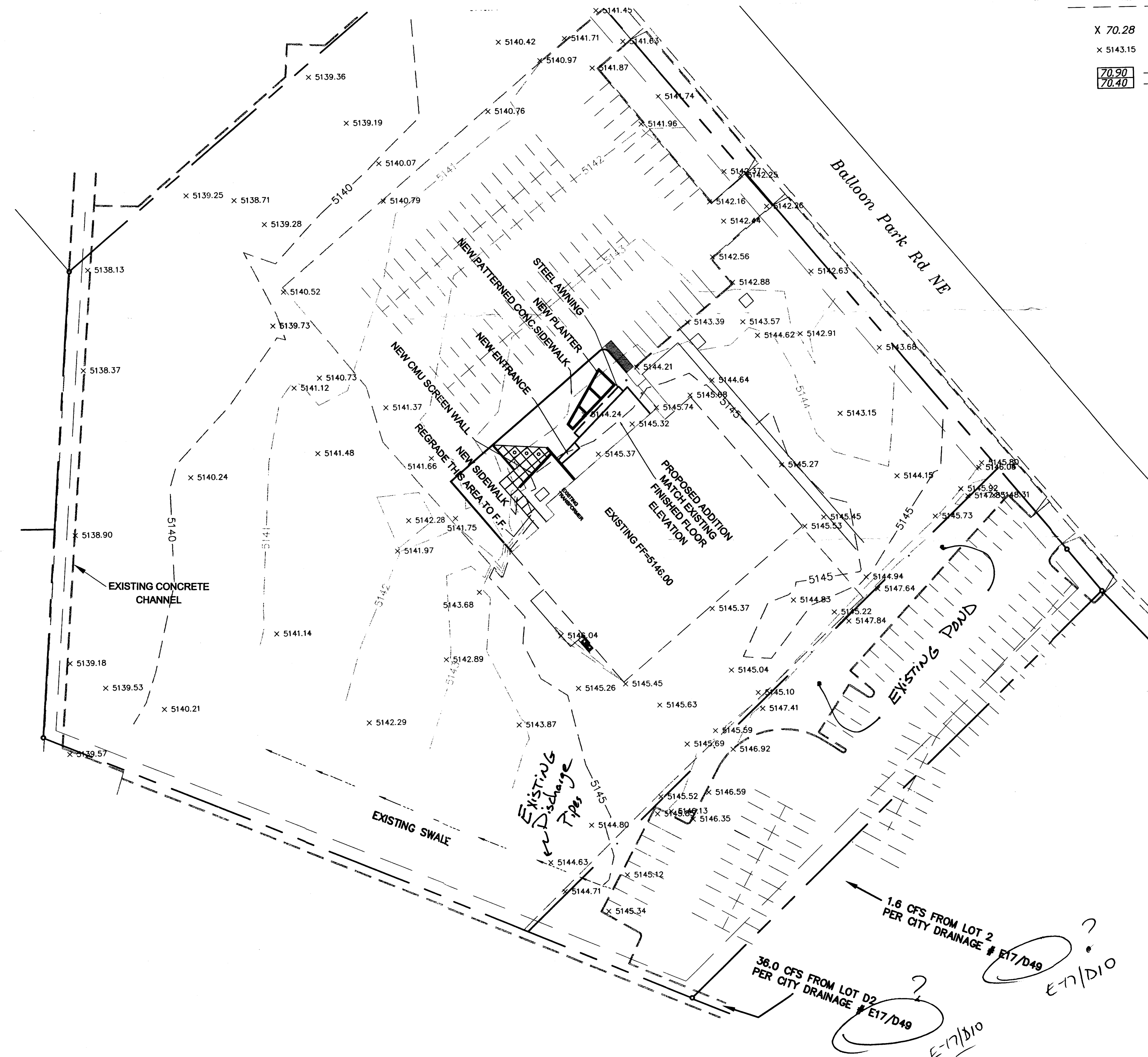
VICINITY MAP: E-17-Z

LEGAL DESCRIPTION:

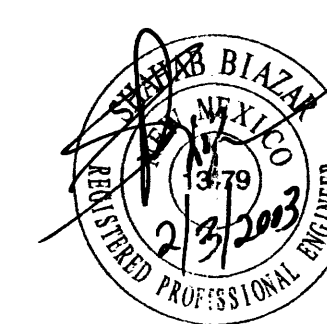
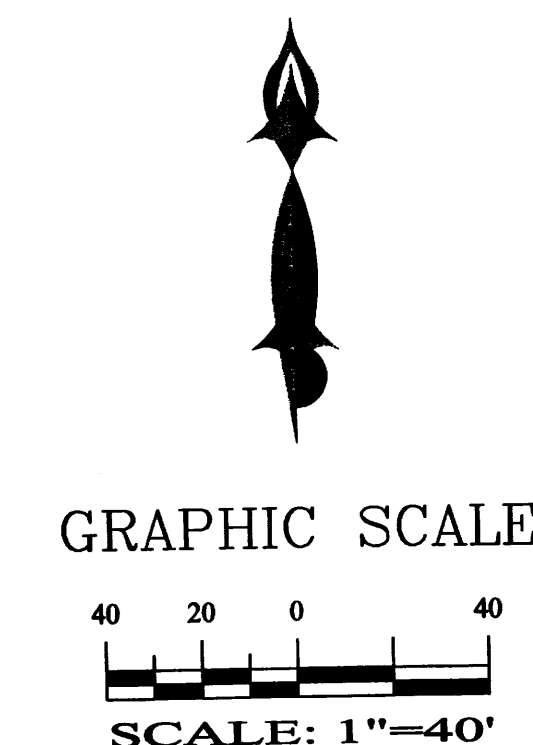
LOT 3A, BALLOON FIELD INDUSTRIAL PARK
CONTAINING 5.5 AC MORE OR LESS

ADDRESS

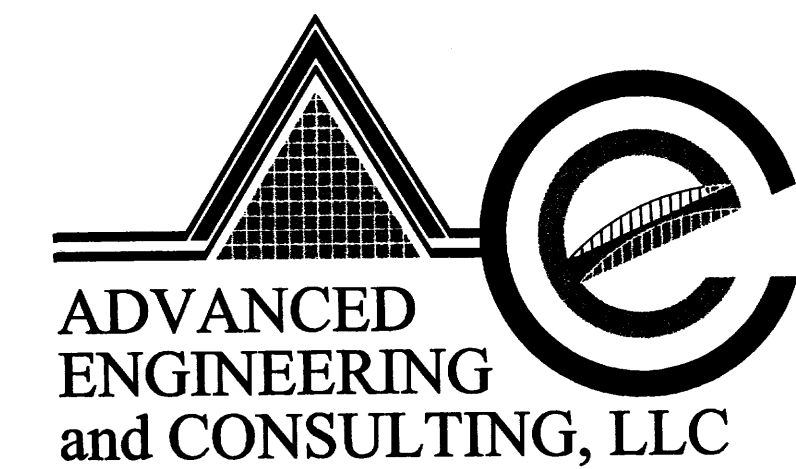
4240 BALLOON PARK RD NE



1"=20'



SHAHAR BIAZAR
P.E. #1379



ADVANCED
ENGINEERING
and CONSULTING, LLC

10205 SNOWFLAKE CT., NW
ALBUQUERQUE, NEW MEXICO 87114
(505) 899-5570

CARDINAL HEALTH ADDITION GRADING AND DRAINAGE PLAN

DRAWING:	DRAWN BY:	DATE:	SHEET #
200305GR.DWG	SB:1	02-02-2003	

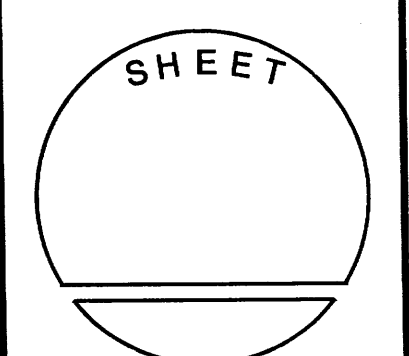
ALBUQUERQUE, NM
MORE CONTACT INFO

CARDINAL HEALTH
4240 BALLOON PARK RD. NE

RECEIVED
FEB 03 2003
HYDROLOGY SECTION

DATE REVISION

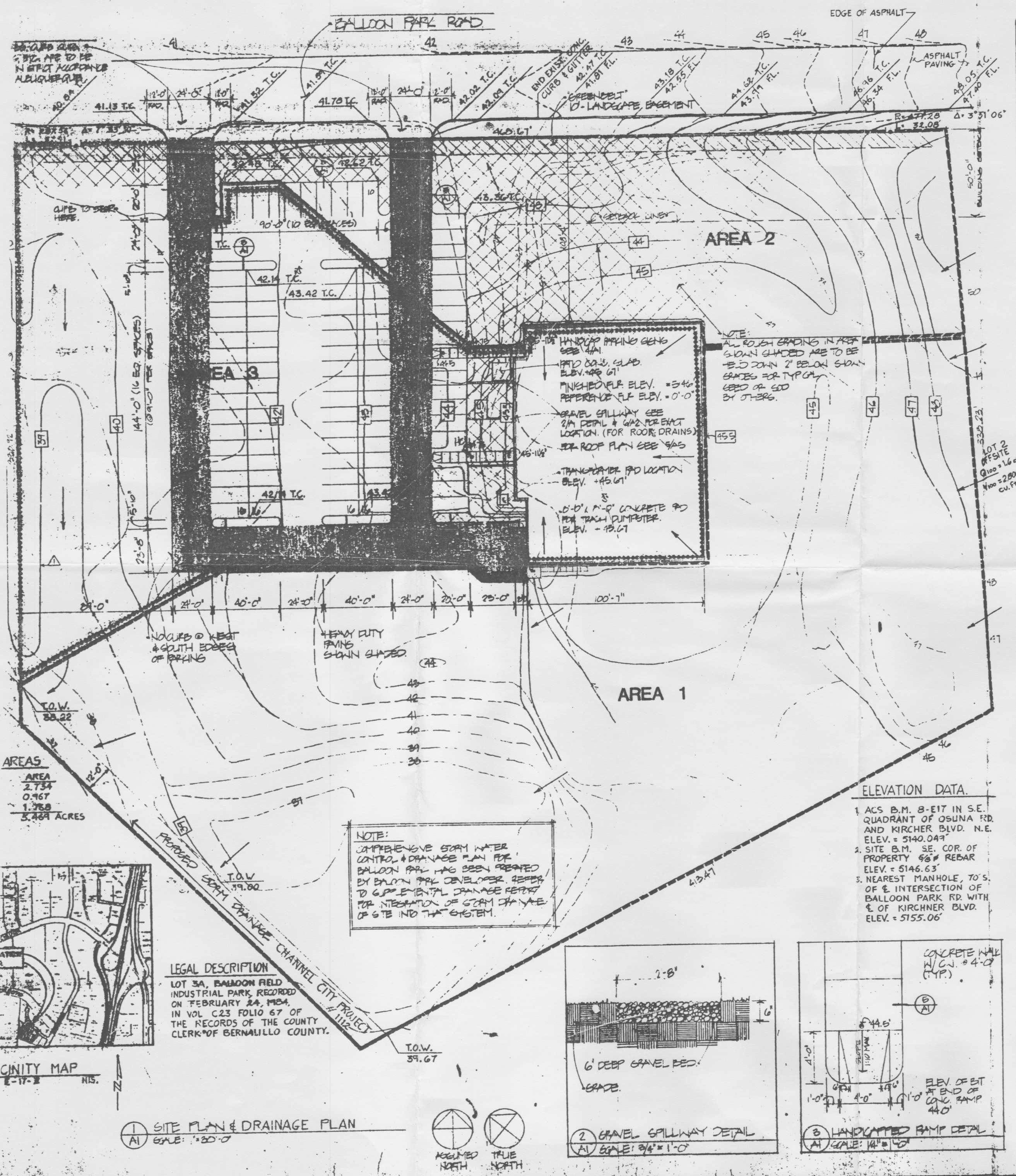
PROJ:
DRAWN:
CHK'D:
DATE:



SANTA FE, NEW MEXICO 505-983-6948 office@conionandwoods.com

Conion & Woods Architects

Original Grading Plan / For Information Only
E17/D19E



DELUXE-ALBUQUERQUE

PRINTING PLANT & OFFICE BUILDING
DELUXE CHECK PRINTERS INC.

BALLOON FIELD INDUSTRIAL PARK
ALBUQUERQUE, NEW MEXICO

SHEET INDEX

- ARCHITECTURAL**
- A1 - SITE PLAN, SHEET INDEX
 - A2 - FLOOR PLAN, ROOM FINISH SCHEDULE, 1/4" TOILET PLAN & ELEV.
 - A3 - BUILDING ELEVATIONS, DOOR SCHEDULE, & ELEVATIONS
 - A4 - WALL SECTIONS, WALL & ROOF DETAILS
 - A5 - REFLECTED CEILING PLAN, ROOF PLAN, DOOR DETAILS
- STRUCTURAL**
- S1 - FOUNDATION PLAN
 - S2 - ROOF FRAMING PLAN
 - S3 - STRUCTURAL DETAILS
- MECHANICAL**
- ME1 - MECHANICAL/ELECTRICAL SITE PLAN
 - M1 - UNDERFLOOR/FLOOR PLAN/PPING
 - M2 - FLOOR PLAN - FIRE PROTECTION
 - M3 - FLOOR PLAN - VENTILATION
 - M4 - DETAILS
 - M5 - DETAILS & SCHEDULES
- ELECTRICAL**
- E1 - FLOOR PLAN - LIGHTING
 - E2 - FLOOR PLAN - POWER & SIGNAL
 - E3 - DETAILS & SCHEDULES
 - E4 - DETAILS & SCHEDULES

BUILDING STATISTICS

- | | |
|----------------------------|-----------------------------|
| 1. PARKING SPACES = 89 | 5. OCCUPANCY TYPE = B2 |
| HANDICAP SPACES = 2 | 6. CONSTRUCTION TYPE = II-N |
| TOTAL PARKING = 91 SPACES | |
| 2. FLOOR AREA = 14,735 SF | |
| 3. SITE AREA = 5.461 ACRES | 7. WALL WIND LOAD = 15 PSF |
| 4. EARTHQUAKE ZONE = 2 | 8. ROOF SNOW LOAD = 20 PSF |

REVISIONS:
5-8-84 ADDED SECTION 5

PRINTED
MAY 22 1984

ENGINEERING CORPORATION

David Todd Runyan
& Associates, Inc.
Architects/Planners
Mpls./St. Paul, Minn.

Consultant



Certification

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly licensed professional engineer in the State of New Mexico.
Date: 3/21/84

Commission No. 102-11

Drawn By: [Signature]

Checked By: [Signature]

Date: MARCH 21, 1984

Revisions

Project Title

DELUXE-ALBUQUERQUE

PRINTING PLANT & OFFICE BUILDING

FOR: DELUXE CHECK PRINTERS INC.

ALBUQUERQUE, NEW MEXICO

Sheet Title

SITE PLAN

SHEET INDEX

BUILDING STATISTICS

MISC. SITE DETAILS



DATE: [Signature]

DATE: [Signature]

DATE: [Signature]

DATE: [Signature]

DATE: [Signature]

DATE: [Signature]

DATE: [Signature]