

# CITY OF ALBUQUERQUE



August 29, 2019

Scott Anderson, R.A.  
Scott C. Anderson & associates architects  
7604 Rio Penasco NW  
Albuquerque, NM 87120

**Re: Enchante Patio,  
6001 San Mateo Blvd NE, [REDACTED] EG  
Request for Certificate of Occupancy  
Transportation Development Final Inspection  
Engineer's/Architect's Stamp dated 7-12-19, AA (E17D027B)  
Certification dated 8-28-19**

Dear Mr. Anderson

Based upon the information provided in your submittal received 8-28-19, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact Ernie Gomez at (505) 924-3981.

Sincerely,

Ernest Armijo, P.E.  
Senior Engineer, Planning Dept.  
Development Review Services

Ernie Gomez  
Plan Checker, Planning Dept.  
Development Review Services

EG via: email  
C: CO Clerk, File



# FIESTA DEL NORTE SHOPPING CENTER

## SITE ANALYSIS DATA

ZONE ATLAS E-17  
ZONING: MCH  
PARKING (EXISTING)

APPROVED SITE PLAN

FIESTA DEL NORTE SHOPPING CENTER

TRACT 3A  
BLACK ADDITION  
ZONE C-3  
APRIL 1988

ADMINISTRATIVE AMENDMENT  
FILE #00221 PROJECT #00260D  
New outdoor dining area.  
APPROVED BY DATE

BUILDING 1  
RESTAURANT  
2,937 SF X 0.008 = 23.5 SPACES REQUIRED  
BUSINESS COMMERCIAL SERVICES (EXISTING USE TO REMAIN)  
3,083 SF X 0.008 = 24.7 SPACES REQUIRED  
SUBTOTAL SPACES REQUIRED = 48.2

BUILDING 2  
RESTAURANT (EXISTING USE TO REMAIN)  
7,200 SF X 0.008 = 57.6 SPACES REQUIRED  
BUSINESS COMMERCIAL SERVICES (EXISTING USE TO REMAIN)  
4,440 SF X 0.008 = 35.5 SPACES REQUIRED  
SUBTOTAL SPACES REQUIRED = 93.1

BUILDING 3  
RESTAURANT (EXISTING USE TO REMAIN)  
2,940 SF X 0.008 = 23.5 SPACES REQUIRED  
BUSINESS COMMERCIAL SERVICES (EXISTING USE TO REMAIN)  
12,360 SF X 0.003 = 37.1 SPACES REQUIRED  
SUBTOTAL SPACES REQUIRED = 60.6

REQUIRED PARKING = 250.4  
TRANSPORTATION 30% = 75.3 SPACES REQUIRED  
15% REDUCED  
15% BIKE RACK PROVIDED

### PARKING REQUIREMENTS

TOTAL BUILDING AREA = 67,774 SQ. FT.  
67,774 + 200 = 339 PARKING SPACES  
10% REDUCTION TRANSPORT ROUTE - 34  
339 - 34 = 305 REQUIRED  
ACTUAL PARKING SPACES = 335

TYPE OF REFUSE BIN - LIFT BIN  
CAPACITY OF BIN - 4 & 8 CU. YDS.  
TOTAL BINS ON SITE - 8  
TOTAL CAPACITY - 40 CU. YDS.

NUMBER OF EMPLOYEES FOR SHOPPING CENTER APPROX. 124

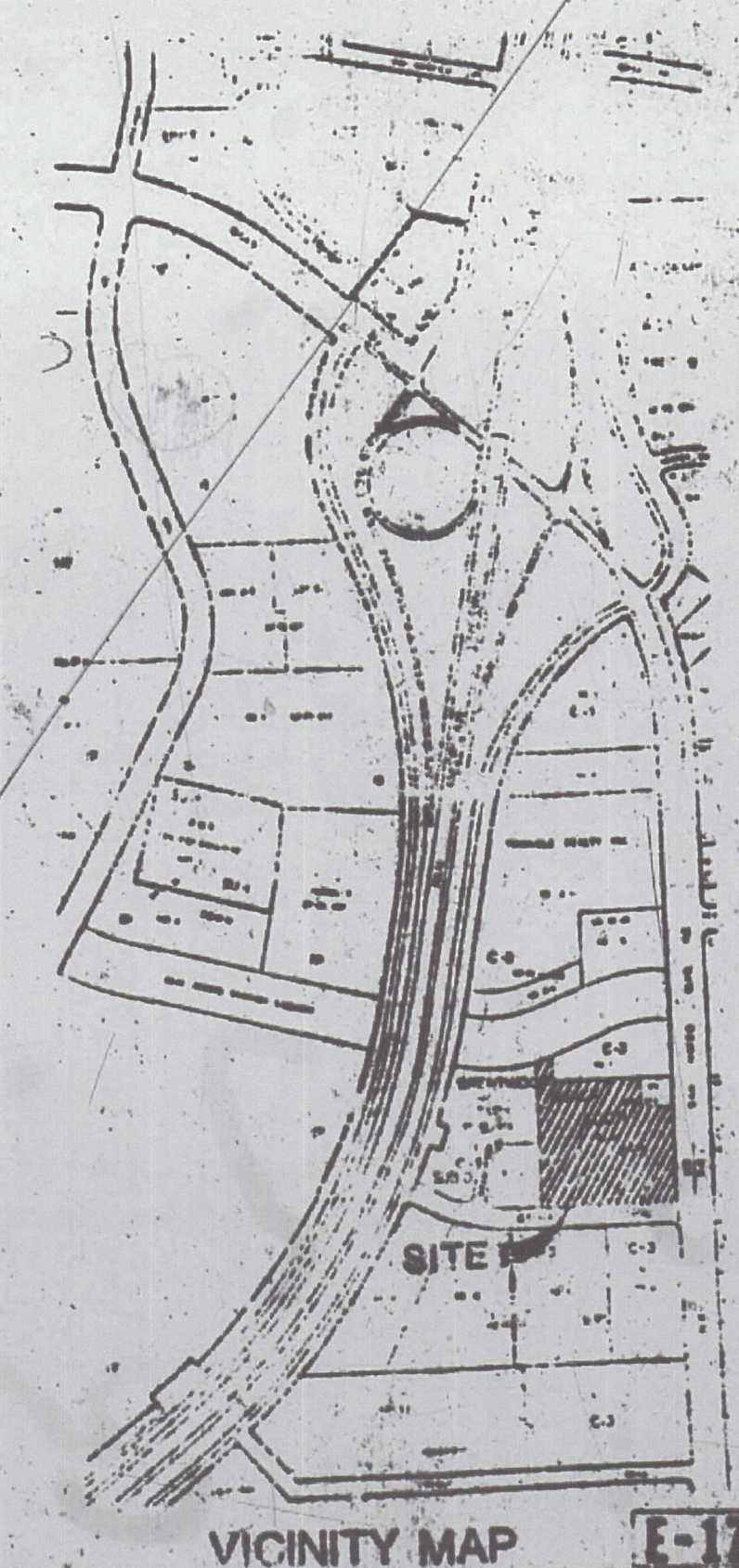
TOTAL BUILDING AREA 67,774 SQ. FT.

A	10,480 SQ. FT.
B	11,080 SQ. FT.
C	6,840
D	10,480
E	9,960
F	6,200
G	13,894

- NOTE:
1. PONY WALL WILL BE REQUIRED AROUND ALL MECHANICAL EQUIPMENT ON ROOF.
  2. BUILDING A & E ARE NOT PART OF THIS BUILDING PERMIT.

FILE # 2-78-47-1  
SITE PLAN IS IN ACCORDANCE WITH SPC DESIGN

*Richard J. Hall*  
3rd Floor  
3rd Floor  
3rd Floor  
*John J. Hall*  
3rd Floor  
*John J. Hall*  
3rd Floor  
*John J. Hall*  
3rd Floor



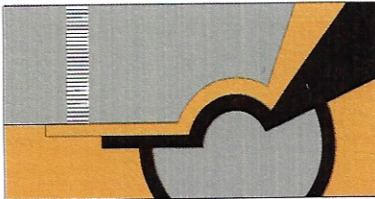
VICINITY MAP E-17-1

HALL ENGINEERING COMPANY INC.

ADMINISTRATIVE AMENDMENT

SCALE: 1" = 50'





**SCOTT C. ANDERSON**  
**& associates architects**

7604 rio penasco nw  
albuquerque, nm 87120  
andersonscottc@comcast.net  
505.401.7575

August 28, 2019

**Ms. Racquel Michel**  
Planning Department  
Transportation Development  
600 2<sup>nd</sup> St. NW, Suite 201  
Albuquerque, NM 87102  
505 924-3991

Re: Traffic layout certification, Outdoor Seating, 6001 San Mateo NE (BP2019-23262)

Dear Ms. Michel:

I, Scott C. Anderson NMRA #4341, of the firm Scott C. Anderson & Associates Architects, hereby certify that this project is in substantial compliance with and in accordance with the design intent of the Administrative Amendment approved 7/12/19. The record information edited onto the original design document has been obtained by Scott Anderson. I further certify that I have personally visited the project site on 8/27/19 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for a Certificate of Occupancy.

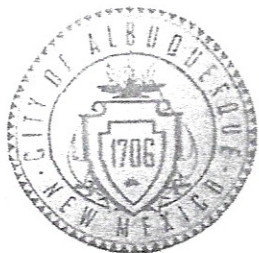
The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

\_\_\_\_\_  
Signature Architect

8/28/19

\_\_\_\_\_  
Date





# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: Enchante Cr Patio Building Permit #: 2019-23262 Hydrology File #: \_\_\_\_\_

DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: Tract 3A1 Black Addition

City Address: 6001 San Mateo Blvd NE

Applicant: Scott Anderson Contact: \_\_\_\_\_

Address: 4419 4th St NW Ste B

Phone#: 401-7575 Fax#: \_\_\_\_\_ E-mail: scott@searchitects.com

Other Contact: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

TYPE OF DEVELOPMENT: \_\_\_\_\_ PLAT (# of lots) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL? \_\_\_\_\_ Yes ☒ No

DEPARTMENT ☒ TRANSPORTATION \_\_\_\_\_ HYDROLOGY/DRAINAGE

Check all that Apply:

### TYPE OF SUBMITTAL:

- ☒ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) \_\_\_\_\_
- ☐ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) \_\_\_\_\_

DATE SUBMITTED: 8/28/19 By: [Signature]

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_