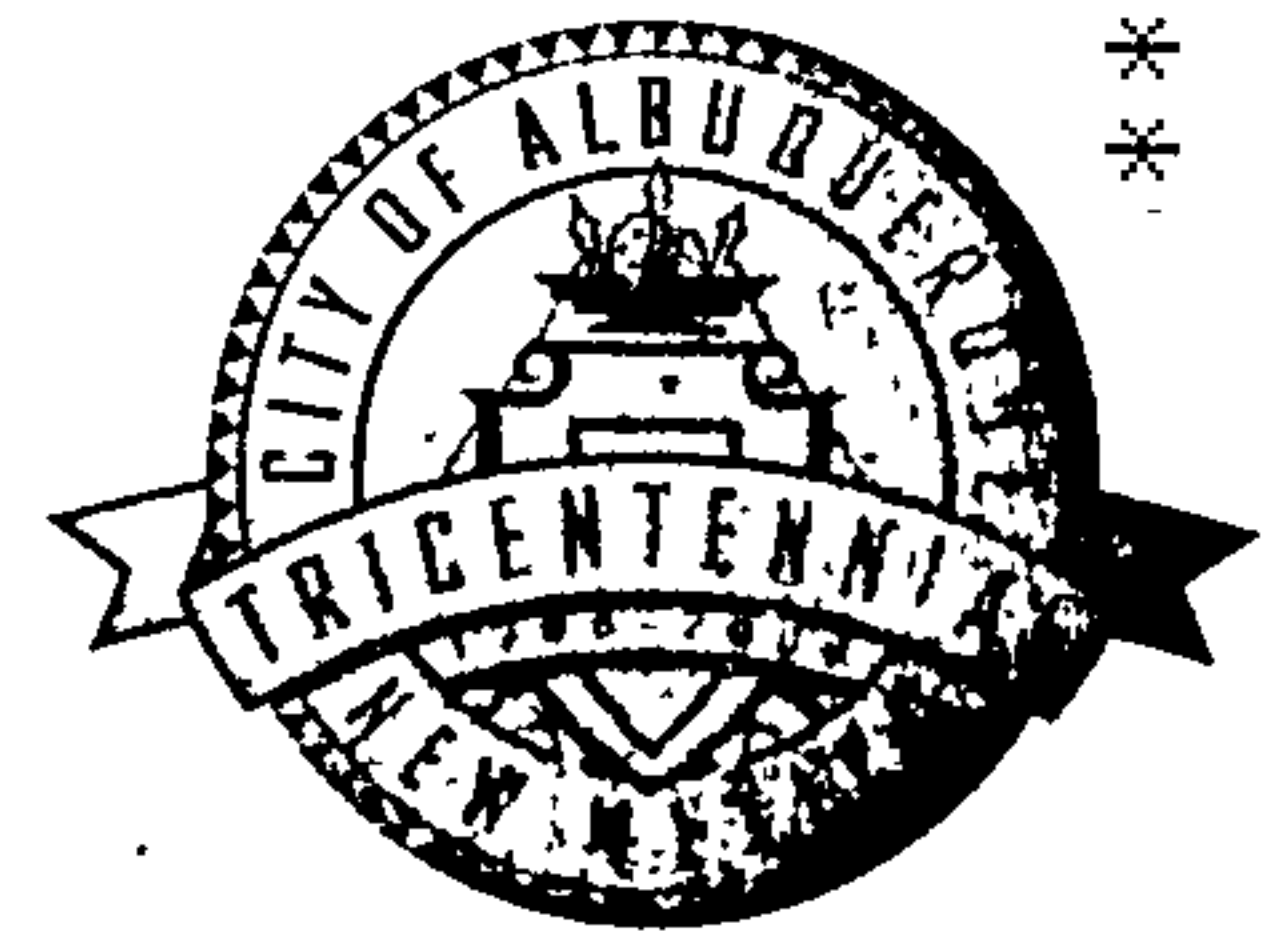


# CITY OF ALBUQUERQUE



**Planning Department  
Transportation Development Services Section**

August 1, 2007

Dale Dekker, Registered Architect,  
Dekker/Perich/Sabatini  
7601 Jefferson NE, Ste. 100  
Albuquerque, NM 87109

Re: Approval of Temporary Certificate of Occupancy (C.O.) for  
Calvary Church Addition (Coffee shop, Bookstore, & Foyer), [E-17 / D35]  
4001 Osuna Road NE  
Architect's Stamp Dated 07/26/07

Dear Mr. Dekker:

Based on the information provided on your submittal dated July 31, 2007, the above referenced project is approved for a 90-day Temporary C.O.

A Temporary C.O. has been issued allowing the outstanding Site Plan (need to provide an approved site plan) issue to be completed within this time period. When these remaining issues have been fully completed, are in substantial compliance, and a final Certification for Transportation has been resubmitted to the City's Hydrology office for approval, a Permanent C.O. will be issued.

The Certification package for Final C.O. must include an exact copy of the approved TCL, or signed off D.R.B. Site Plan, which is in each of the two City Permit Plan Sets—the contractor's City field set and the City's plan set in the basement of the Plaza Del Sol building. Package also must include a letter of certification on designer's letterhead-stamped with his seal, signed, and dated. Submit package along with fully completed Drainage Information Sheet to front counter personnel for log in and evaluation by Transportation.

If you have any questions, please call me at 924-3630.

Sincerely,

  
Nilo E. Salgado-Fernandez, P.E.  
Senior Traffic Engineer  
Development and Building Services  
Planning Department

c: Engineer  
Hydrology file  
CO Clerk

P.O. Box 1293

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)



Dekker/Perich/Sabatini

architecture  
interiors  
planning  
engineering

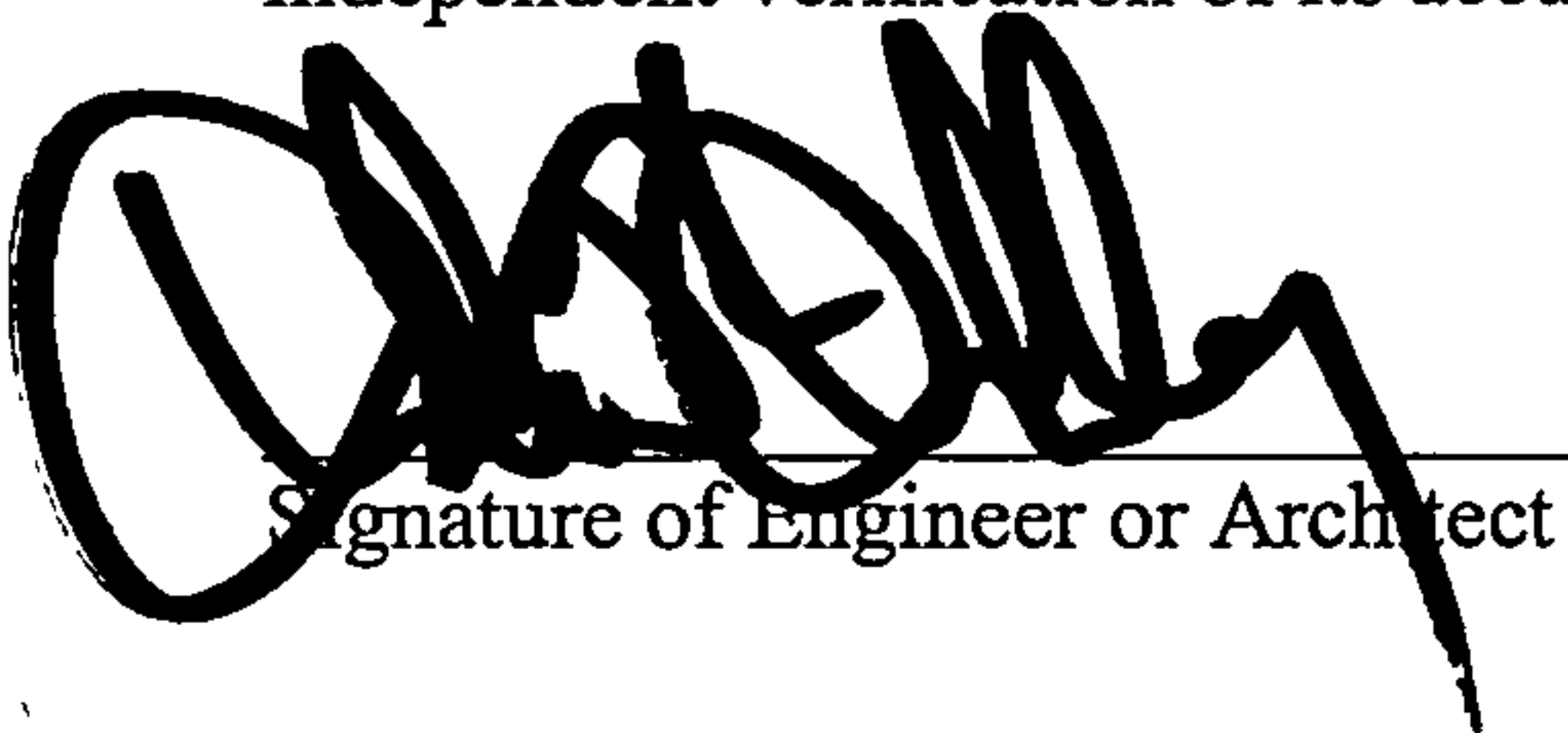
## TRAFFIC CERTIFICATION

I, Dale Dekker, NMRA 001054, of the firm Dekker/Perich/Sabatini, hereby certify that this project is in substantial compliance with and in accordance with the design intent of the approved plan dated 5<sup>th</sup> of August 2002. The record information edited onto the original design document has been obtained by Dekker/Perich/Sabatini. I further certify that Dekker/Perich/Sabatini visited the project site on 7/26/07 and has determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief, with the following exception:

- A. The parking lot curb south of the handicap parking is flush with the sidewalk. Parking lot poles have been installed in lieu of the parking bumpers.
- B. Three (3) parking spaces have been designated for motorcycle parking. Please see the attached sketch indicating these modifications.

This certification is submitted in support of a request for Certificate of Occupancy.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.



Engineer's or Architect's Stamp

Signature of Engineer or Architect

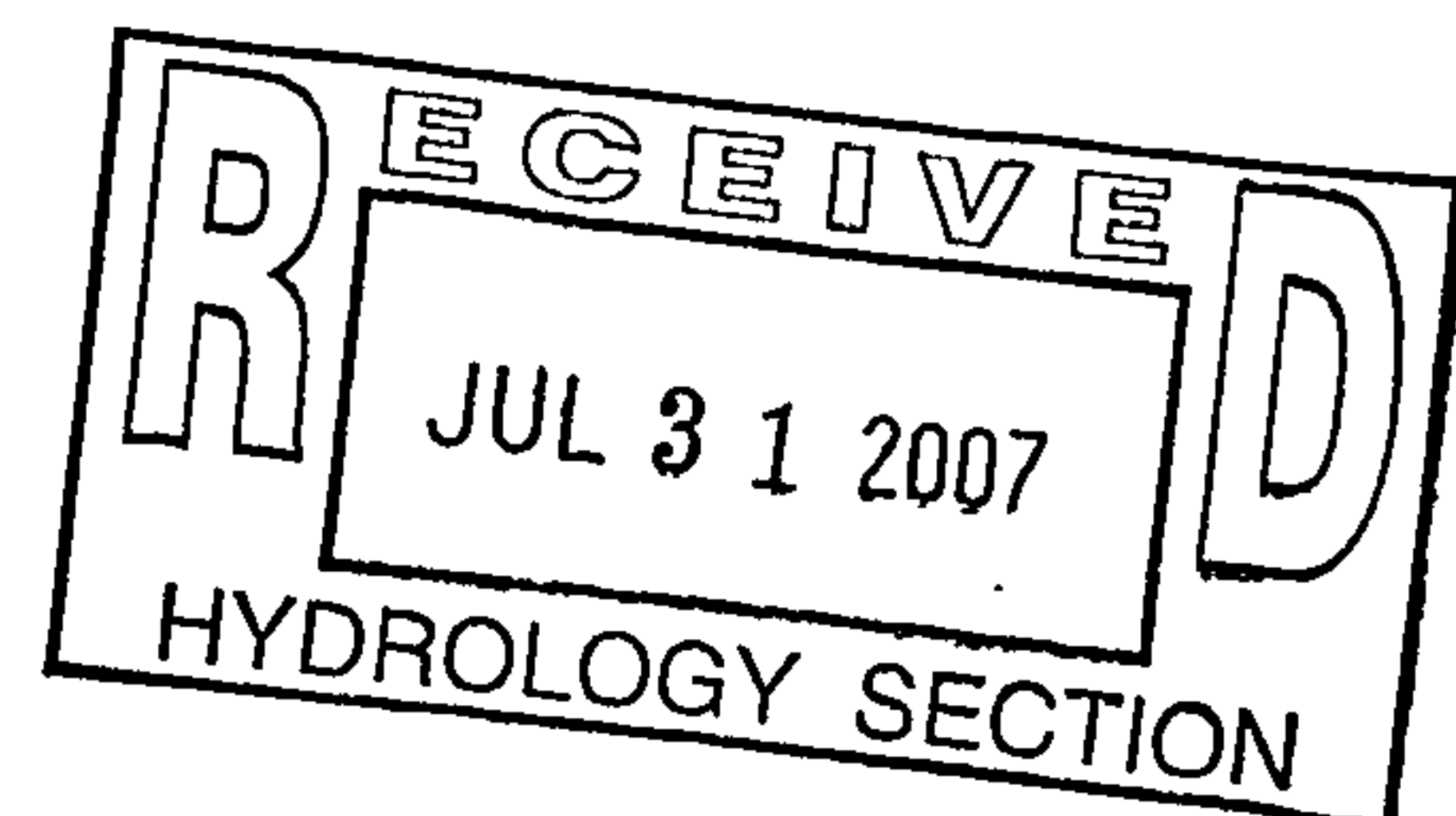


7/26/07

Date

Encl:

A041



# CITY OF ALBUQUERQUE



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August 8, 2007

Dale Dekker, R.A.  
**Dekker / Perich/ Sabitini**  
7601 Jefferson NE Ste. 100  
Albuquerque, NM 87109

**Re: Calvary Church Addition, 4001 Osuna Rd. NE,  
Approval of Permanent Certificate of Occupancy (C.O.)  
Architect's Stamp dated 07/26/07 (E-17/D035) ☐  
Certification dated 06/04/07**

Dear Mr. Dekker,

Based upon the information provided in your submittal received 07/31/07, the above referenced certification is approved for release of permanent Certificate of Occupancy by Transportation Development.

If you have any questions, you can contact me at 924-3991.

Sincerely,

Wilfred Gallegos, P.E.  
Traffic Engineer, Planning Dept.  
Development and Building Services

C: CO Clerk-Katrina Sigala  
File

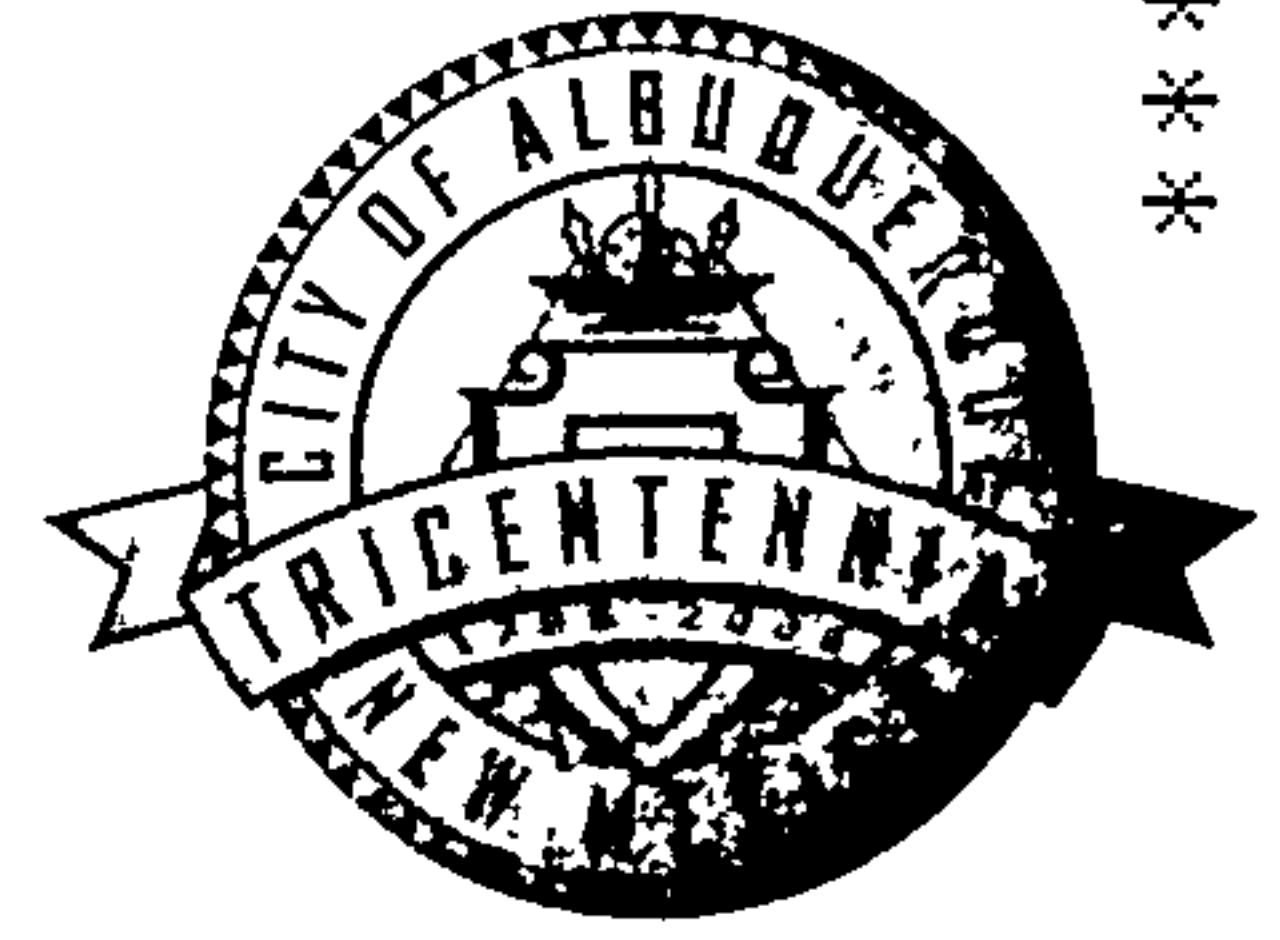
P.O. Box 1293

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

# CITY OF ALBUQUERQUE



August 1, 2007

Thomas Issacson, P.E.  
Isaacson & Arfman, PA  
128 Monroe St. NE  
Albuquerque, NM 87108

**Re: Calvary Chapel Foyer and Bookstore, 4001 Osuna Rd. NE,  
Approval of Permanent Certificate of Occupancy (C.O.)  
Engineer's Stamp dated 06/14/02 (E-17/D035)  
Certification dated 012/03/04**

Based upon the information provided in your submittal received 07/31/07, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

P.O. Box 1293

If you have any questions, you can contact me at 924-3982.

Albuquerque

Sincerely,

New Mexico 87103

Timothy Sims  
Plan Checker - Hydrology  
Development and Building Services

[www.cabq.gov](http://www.cabq.gov)

C: CO Clerk-Katrina Sigala  
File





# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

July 10, 2002

Thomas Isaacson, P.E.  
Isaacson & Arfman  
128 Monroe NE  
Albuquerque, NM 87108

**Re: Calvary Chapel Foyer Additions and Bookstore/Coffee Shop  
Grading & Drainage Plan, with Engineer's stamp dated 6/13/02 (E17/D35)  
CONDITIONAL BUILDING PERMIT APPROVAL**

Dear Mr. Isaacson,

After our phone discussion today, City Hydrology hereby approves the Calvary Chapel Foyer Addition and Bookstore/Coffee Shop Grading and Drainage Plan for Building Permit, with the following condition placed on the project:

**Before release of the Certificate of Occupancy (C.O.), the existing buried telephone easement, existing utility easement, and existing P.U.E located within the limits of the proposed structures must be vacated by action of the Development Review Board (DRB) and the property must be re-platted.**

If you have any questions, please call me at 924-3988.

Sincerely,

Nancy Musinski, P.E.  
Hydrology/Utility Development  
City of Albuquerque Public Works

cc: Terri Martin – City of Albuquerque  
Mark Aylward – Dekker/Perich/Sabatini  
file



# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

July 3, 2002

Thomas Isaacson, P.E.  
Isaacson & Arfman  
128 Monroe NE  
Albuquerque, NM 87108

**Re: Calvary Chapel Foyer Additions and Bookstore/Coffee Shop Grading & Drainage Plan,  
with Engineer's stamp dated 6/13/02  
Calvary Chapel Master Drainage Plan, with Engineer's stamp dated 6/14/02  
(E17/D35)**

Dear Mr. Isaacson,

Based on the information contained in your submittals dated June 14, 2002, the above referenced plans are approved for Master Drainage Plan and SO-19 permit.

The proposed foyer addition and coffee shop/bookstore are located on an existing buried telephone easement, existing utility easement, and existing P.U.E. Before Hydrology can approve the Building Permit, these easements must be vacated by action of the Development Review Board (DRB).

If you have any questions, please call me at 924-3988.

Sincerely,

Nancy Musinski, P.E.  
Hydrology/Utility Development  
City of Albuquerque Public Works

cc: Pam Lujan - Permits  
Matt Cline - COA Storm Drainage Inspector, w/attached plan  
file