

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

October 25, 2024

Jeff Mulbery, PE  
Bohannon Huston, Inc.  
7500 Jefferson St NE  
Albuquerque, NM 87109

**RE: Ideal Vacuum**  
**5920 Midway Park Blvd. NE**  
**Grading and Drainage Plan**  
**Engineer's Stamp Date: 10/23/24**  
**Hydrology File: E17D041D**

Dear Mr. Mulbery:

Based upon the information provided in your submittal received 10/24/2024, the Grading & Drainage Plan is approved for Grading Permit and SO-19 Permit. Permit and Grading Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

PO Box 1293

**PRIOR TO CERTIFICATE OF OCCUPANCY:**

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.
2. Please provide the Drainage Covenant with Exhibit A for the stormwater quality ponds per Article 6-15(C) of the DPM prior to Permanent Release of Occupancy. Please submit the original copies along with the \$ **25.00** recording fee check made payable to Bernalillo County to the Hydrology Section of Development Review Services on the Ground floor of Plaza de Sol.

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, [jhughes@cabq.gov](mailto:jhughes@cabq.gov), 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 505-924-3314 or [amontoya@cabq.gov](mailto:amontoya@cabq.gov).

Sincerely,

Anthony Montoya, Jr., P.E.  
Senior Engineer, Hydrology  
Planning Department, Development Review Services





# EXISTING CONDITIONS

Basin 1

60 30 0 60

1"=60'

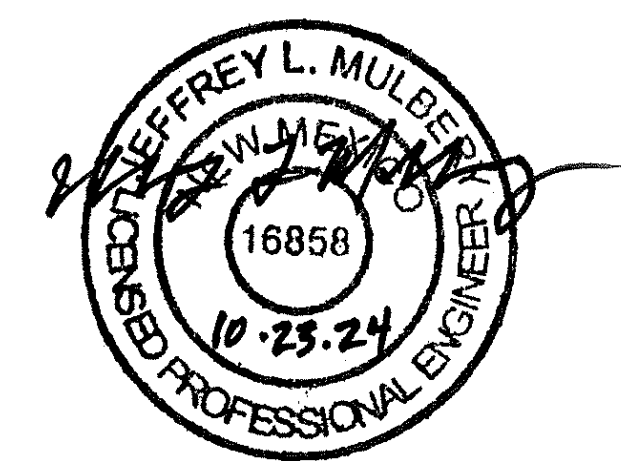
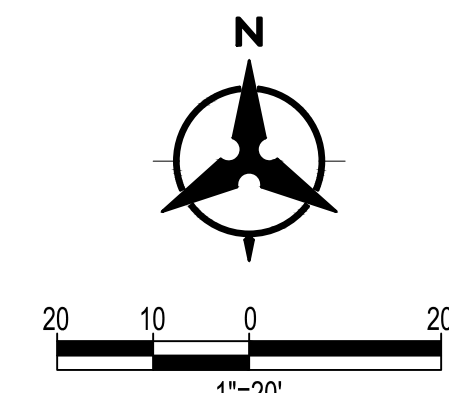
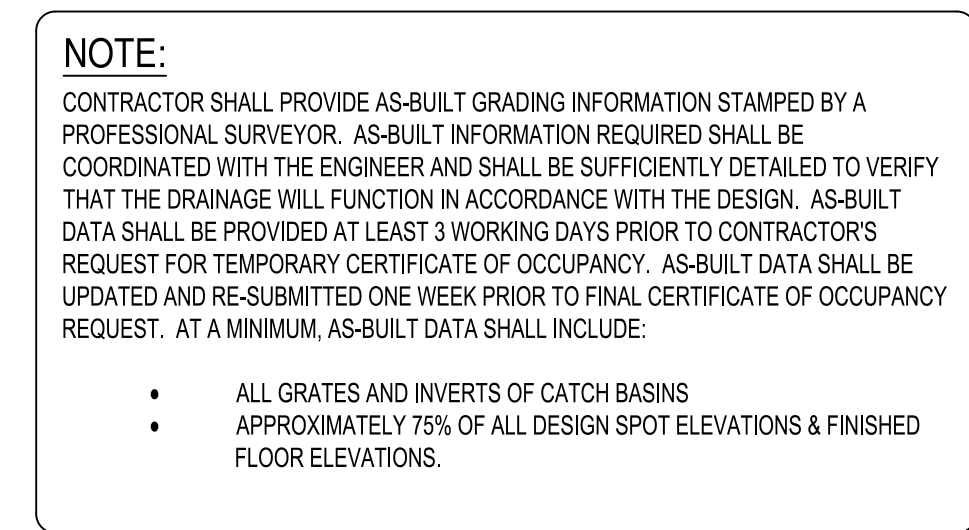
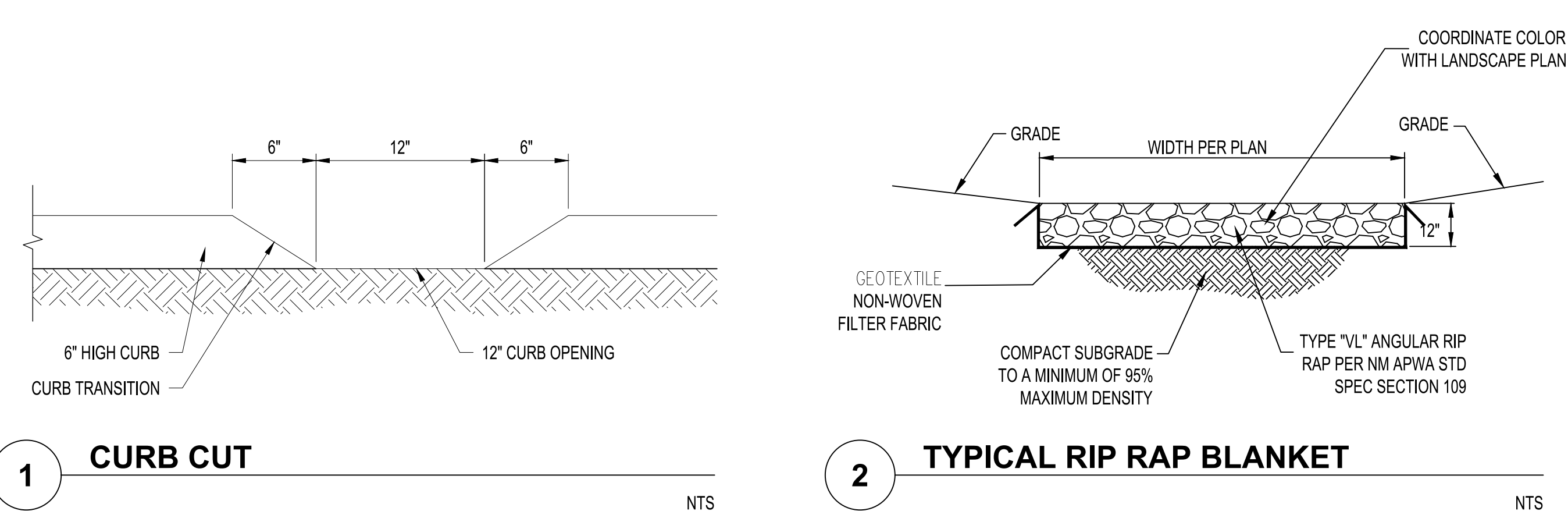
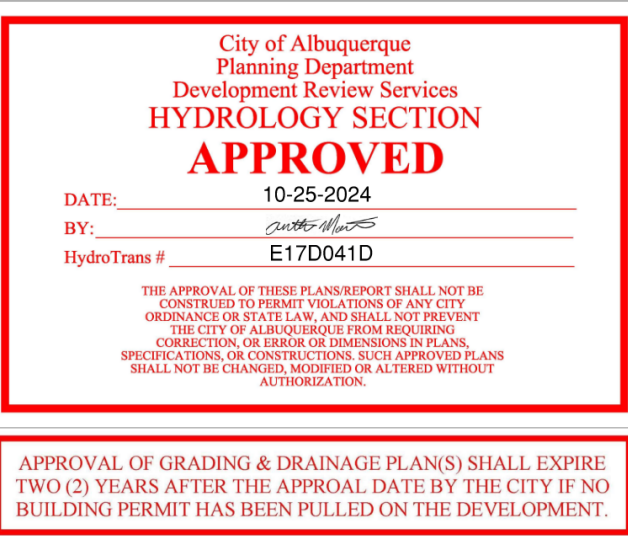
Basin Data Table															0.26
This table is based on page 6-10 of the DPM, Zone: 2															SWQV
Basin ID	Area	Area	Land Treatment Percentages				Q(100yr)	Q(100yr)	E(100yr)	V <sub>(100yr-6hr)</sub>	V <sub>(100yr-24hr)</sub>	V <sub>(100yr-10d)</sub>	V <sub>(100yr-10d)</sub>	SWQV REQ'D	Provided
	(SQ. FT)	(AC.)	A	B	C	D	(cfs/lac.)	(CFS)	(inches)	(CF)	(CF)	(CF)	(AC-FT)	(CF)	
SITE															
1	3,970	0.09	0.0%	0.0%	73.1%	26.9%	3.4	0.3	1.4	456	483	575	0.01	23	238 351 26 106 88 403
2	7,301	0.17	0.0%	0.0%	29.5%	70.5%	4.0	0.7	1.9	1184	1313	1755	0.04	111	
3	1,488	0.03	0.0%	0.0%	20.2%	79.8%	4.1	0.1	2.1	256	286	388	0.01	26	
4	4,939	0.11	0.0%	0.0%	6.5%	93.5%	4.3	0.5	2.2	924	1039	1436	0.03	100	
5	4,340	0.10	0.0%	0.0%	8.3%	91.7%	4.2	0.4	2.2	804	903	1245	0.03	86	
6	9,904	0.23	0.0%	0.0%	14.6%	85.4%	4.2	0.9	2.1	1766	1977	2703	0.06	183	
7	17,311	0.40	0.0%	0.0%	12.5%	87.5%	4.2	1.7	2.2	3126	3505	4804	0.11	328	
8	14,943	0.34	0.0%	0.0%	18.7%	81.3%	4.1	1.4	2.1	2598	2902	3944	0.09	263	
SITE SUBTOTAL	64,196	1.47	-	-	-	-	-	6.0	16.3	11,115	12,408	16,849	0.39	1,121	1,211

The site plan illustrates the layout of the proposed wastewater treatment plant. It includes the following components:

- Ponds:**
  - POND 1:** TOP = 5118.5 FT, BOT = 5118 FT,  $V_{(PROVIDED)} = 238$  CF
  - POND 2:** TOP = 5116.7 FT, BOT = 5115 FT,  $V_{(PROVIDED)} = 351$  CF
  - POND 3:** TOP = 5116.7 FT, BOT = 5116 FT,  $V_{(PROVIDED)} = 26$  CF
  - POND 4:** TOP = 5116.7 FT, BOT = 5116 FT,  $V_{(PROVIDED)} = 88$  CF
  - POND 5:** TOP = 5116 FT, BOT = 5115 FT,  $V_{(PROVIDED)} = 106$  CF
  - POND 6:** TOP = 5114.5 FT, BOT = 5114 FT,  $V_{(PROVIDED)} = 403$  CF
  - POND 6A:** TOP = 5113 FT, BOT = 5111 FT
- Basins:**
  - BASIN 1:** Located near POND 1.
  - BASIN 2:** Located near POND 2.
  - BASIN 3:** Located near POND 3.
  - BASIN 4:** Located near POND 4.
  - BASIN 5:** Located near POND 5.
  - BASIN 6:** Located near POND 6.
  - BASIN 7:** Located near POND 6A.
  - BASIN 8:** Located near POND 6A.
- Flow Paths:** Indicated by arrows showing the direction of wastewater flow from the basins and ponds.
- Elevation:** The finished floor (FF) is noted as 5117.25.
- Orientation:** A north arrow is located in the bottom right corner.





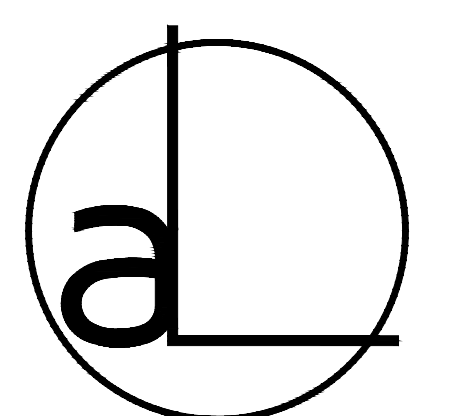


LEGAL DESCRIPTION: LOT 10-A-1-A PLAT OF LOTS 10-A-1-A AND 10-A-1-B MIDWAYBUSINESS PARK CONT 1.4741 AC

ZONE ATLAS: E-17-Z

1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
2. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
3. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE 'IDEAL VACUUM WAREHOUSE GEOTECHNICAL ENGINEERING REPORT' PREPARED BY TERRACON, PROJECT NO. 66235181 DATED JANUARY 11, 2024. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, SPECIFICATIONS (FIRST PRIORITY), AND/OR THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS (SECOND PRIORITY).
4. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
5. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
6. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY.
7. A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
8. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
9. VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.
10. GRADES SHOWN REPRESENT FINISHED GRADES. FINISHED GRADES SHALL BE ADJUSTED TO ACCOUNT FOR LANDSCAPE TREATMENTS, PAVEMENT SECTIONS, AND BUILDING FLOOR SLABS AND/OR OTHER FOUNDATION PREPARATION.
11. FOR THE BUILDING AREA, OVER EXCAVATION AND BACKFILL SHALL OCCUR PER GEOTECHNICAL REPORT.
12. SIDE SLOPES MUST BE STABILIZED WITH NATIVE GRASS SEEDING PER APWA STANDARD SPECIFICATION SECTION 1012 WITH AGGREGATE MULCH OR EQUAL (MUST SATISFY FINAL STABILIZATION CRITERIA, AS DEFINED BY CGP 2.2.14.b).

1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
2. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
3. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS (FIRST PRIORITY) AND/OR THE NMAPWA STANDARD SPECIFICATIONS FOR PUBLIC WORKS.
4. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
5. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
6. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY.
7. A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
8. PAVING AND ROADWAY GRADES SHALL BE  $\pm 0.1'$  FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE  $\pm 0.05'$  FROM BUILDING PLAN ELEVATION.
9. ALL PROPOSED CONTOURS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR MEDIANS AND ISLANDS.
10. VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.



**arcLINE**  
Architectural Design LLC  
PO Box 91462  
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New Mexico 87199  
P 505.681.7274  
[www.arcLINE-arch.com](http://www.arcLINE-arch.com)

ARCHITECT/ENGINEER



**Ideal Vacuum Products LLC**  
5920 Midaway Park Blvd NE  
Albuquerque, NM 87109

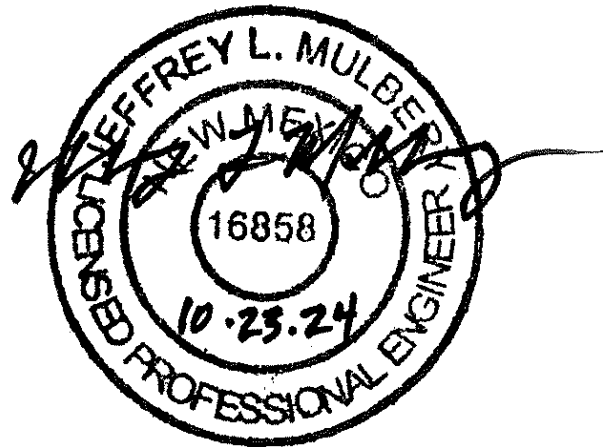
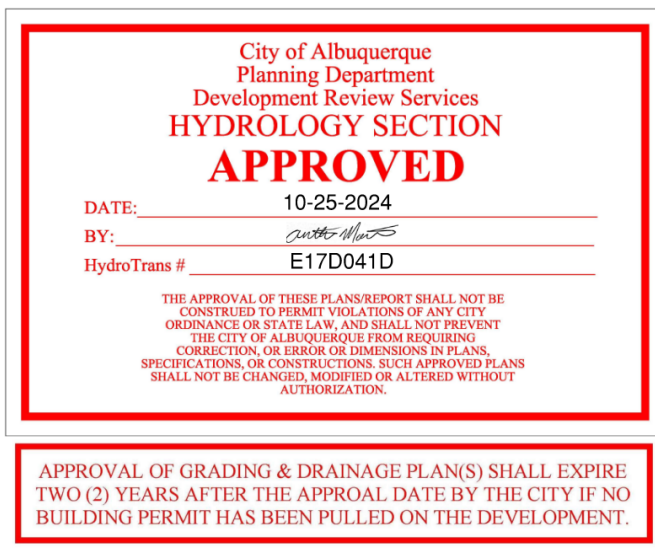
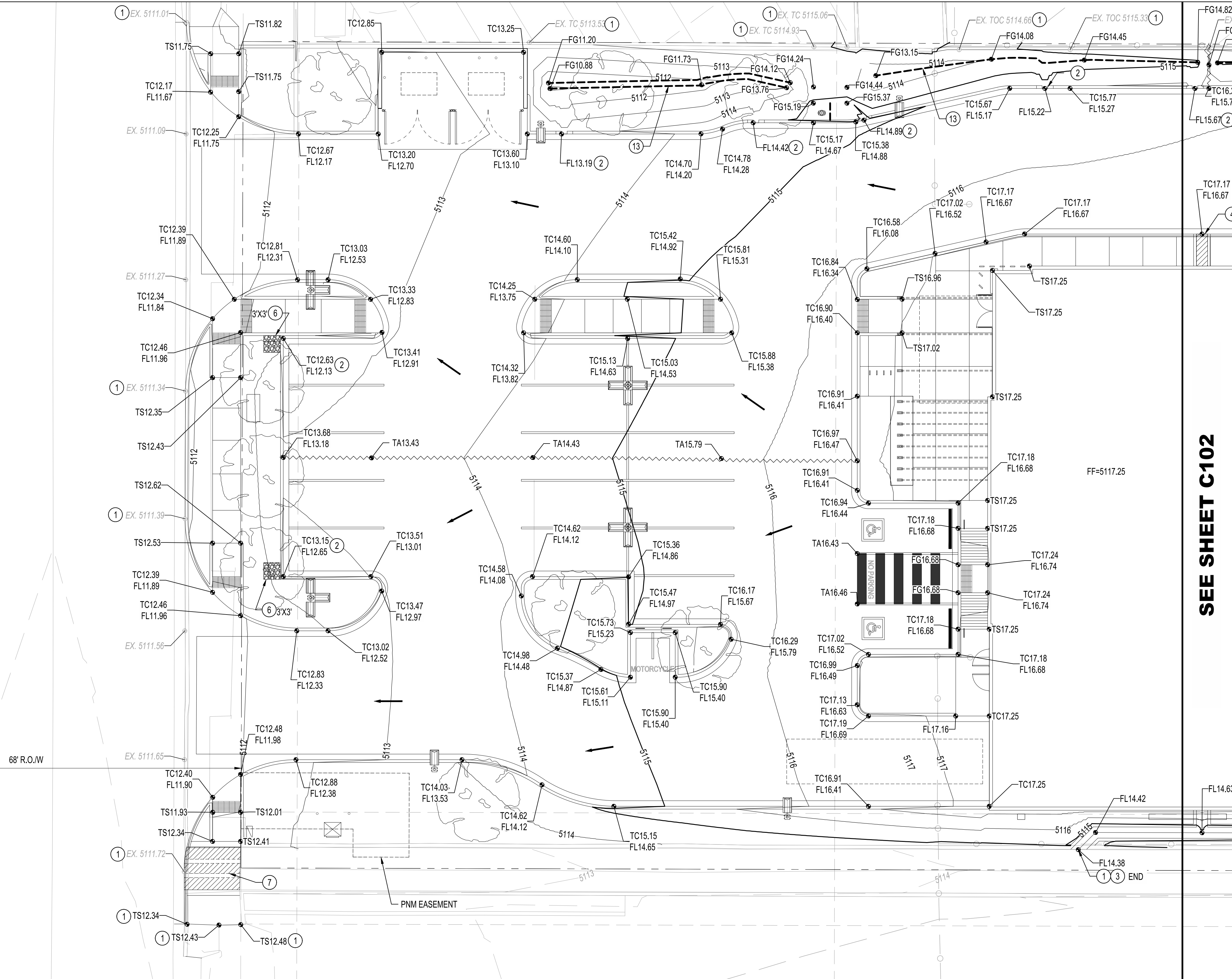
REVISIONS	
<u>DATE</u>	<u>DESCRIPTION</u>
DATE	07-26-2024
PROJECT NO.	23-011
DRAWING NAME	

# OVERALL GRADING PLAN

SHEET NO.

C100





## SO-19 STANDARD NOTES

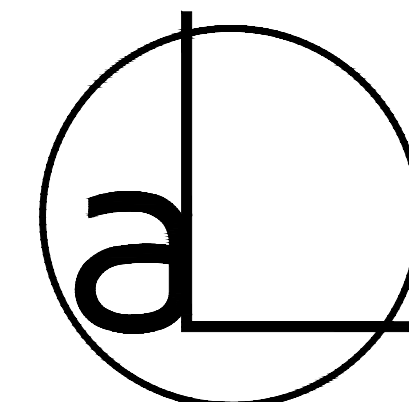
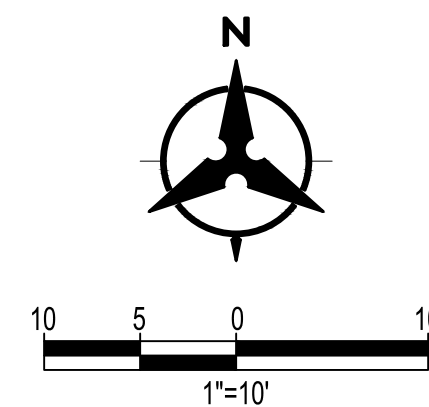
1. BUILD SIDEWALK CULVERT PER COT STD DWG 2236.
2. CONTACT STORM MAINTENANCE AT (505) 857-8033 TO SCHEDULE A MEETING PRIOR TO FORMING.
3. AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
4. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
5. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL, DIAL "811" [OR (505) 260-1990] FOR THE LOCATION OF EXISTING UTILITIES.
6. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
7. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
8. MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
9. WORK ON ARTERIAL STREETS MAY BE REQUIRED ON A 24-HOUR BASIS.
10. CONTRACTOR MUST CONTACT STORM MAINTENANCE AT (505) 857-8033 TO SCHEDULE A CONSTRUCTION INSPECTION. FOR EXCAVATING AND BARRICADING INSPECTIONS, CONTACT CONSTRUCTION COORDINATION AT 924-3416

## ○ GRADING KEYNOTES

1. TIE TO EXISTING AND MATCH GRADES. NOTIFY ENGINEER IF FIELD CONDITIONS VARY FROM SURVEY AND DESIGN GRADES SHOWN IN PLAN.
2. INSTALL CURB CUT PER DETAIL 1, SHEET C100.
3. INSTALL 24" CONCRETE RIBBON CHANNEL PER COA STD. DWG 2236 (SANS GRATE).
4. INSTALL 24" SIDEWALK CULVERT PER COA STD. DWG 2236. DAYLIGHT ROOF DRAIN 90" INTO CULVERT.
5. INSTALL RETAINING WALL PER DETAIL B3, SHEET AS103.
6. INSTALL RIP RAP BLANKET FOR EROSION PROTECTION PER DETAIL 3, SHEET C100.
7. INSTALL 3 - 24" SIDEWALK CULVERTS PER COA STD. DWG 2236, REFER TO SO-19 NOTES ABOVE.
8. INSTALL ALLEY GUTTER PER COA STD. DWG 2415B.
9. DAYLIGHT ROOF DRAIN INTO RIBBON CHANNEL.
10. DAYLIGHT ROOF DRAIN AT GRADE.
11. SIDEWALK FLUSH WITH PAVING.
12. INSTALL ADA RAMP. SEE ARCHITECTURAL PLANS FOR DETAILS.
13. WATER HARVESTING AREA. SEE LANDSCAPE PLAN FOR DETAILS.

## LEGEND

- - - - - PROPERTY LINE  
 - - - - - EXISTING EASEMENT  
 — 5320 — PROPOSED INDEX CONTOUR  
 — 5319 — PROPOSED INTERMEDIATE CONTOUR  
 - - - 5320 - - - EXISTING INDEX CONTOUR  
 - - - 5319 - - - EXISTING INTERMEDIATE CONTOUR  
 - - - - - PROPOSED GRADING LIMITS  
 [Thick black and white striped bar] PROPOSED RETAINING WALL  
 —> —> —> — PROPOSED SWALE  
 [Line with central wavy line and arrows] RIDGELINE  
 • XX.XX SPOT GRADE  
 FG=FINISHED GRADE; TA=TOP OF ASPHALT; TC=TOP OF CURB; FL=FLOWLINE; TS=TOP OF SIDEWALK  
 - - - - - FIRST FLUSH RETENTION POND BOTTOM



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ARCHITECT/ENGINEER



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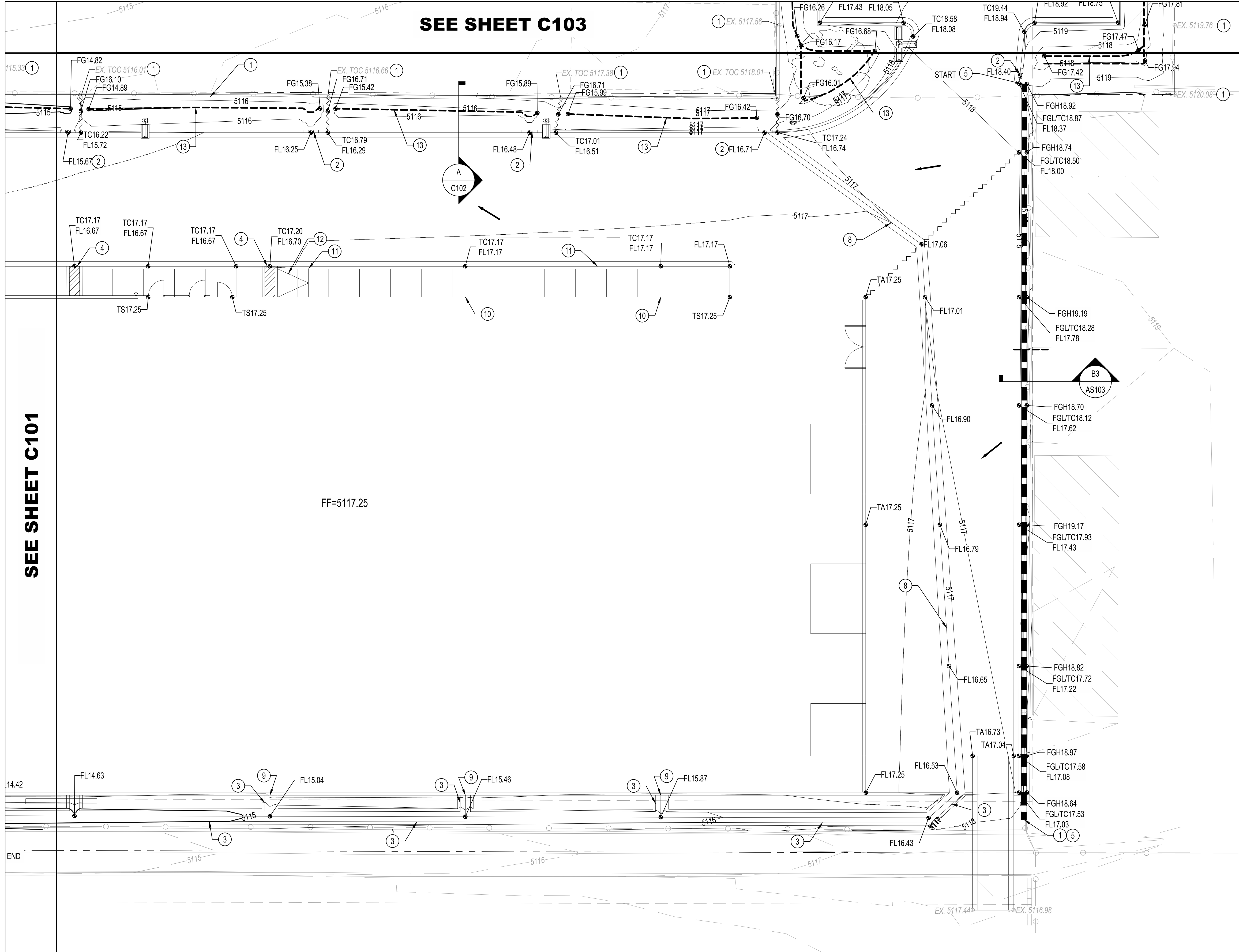
REVISIONS	
<u>DATE</u>	<u>DESCRIPTION</u>
DATE	07-26-2024
PROJECT NO.	23-011
DRAWING NAME	

## GRADING PLAN

SHEET NO

C101





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ARCHITECT/ENGINEER

**Bohannon  
Huston**  
www.bhinc.com  
800.877.5332

**GRADING KEYNOTES**

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- INSTALL CURB CUT PER DETAIL 1, SHEET C100.
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- INSTALL 12" SIDEWALK CULVERT PER COA STD. DWG 2236. DAYLIGHT ROOF DRAIN 90" INTO CULVERT.
- INSTALL RETAINING WALL PER DETAIL B3, SHEET AS103.
- INSTALL RIP RAP BLANKET FOR EROSION PROTECTION PER DETAIL 3, SHEET C100.
- INSTALL 2 - 24" SIDEWALK CULVERTS PER COA STD. DWG 2236.
- INSTALL ALLEY GUTTER PER COA STD. DWG 2415B.
- DAYLIGHT ROOF DRAIN INTO RIBBON CHANNEL.
- DAYLIGHT ROOF DRAIN AT GRADE.
- SIDEWALK FLUSH WITH PAVING.
- INSTALL ADA RAMP. SEE ARCHITECTURAL PLANS FOR DETAILS.
- WATER HARVESTING AREA. SEE LANDSCAPE PLAN FOR DETAILS.

**LEGEND**

- PROPERTY LINE
- EXISTING EASEMENT
- 5320 PROPOSED INDEX CONTOUR
- 5319 PROPOSED INTERMEDIATE CONTOUR
- 5320 EXISTING INDEX CONTOUR
- 5319 EXISTING INTERMEDIATE CONTOUR
- PROPOSED GRADING LIMITS
- PROPOSED RETAINING WALL
- PROPOSED SWALE
- RIDGELINE
- SPOT GRADE  
FG=FINISHED GRADE; TA=TOP OF ASPHALT; TC=TOP OF CURB; FL=FLOWLINE; TS=TOP OF SIDEWALK
- FIRST FLUSH RETENTION POND BOTTOM

**REVISIONS**

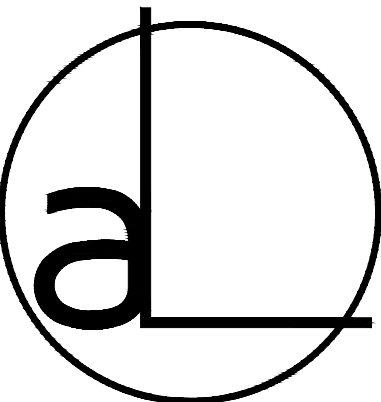
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07-26-2024	
23-011	

DATE: 07-26-2024  
PROJECT NO. 23-011  
DRAWING NAME

**GRADING PLAN**

SHEET NO. C102





ARCHITECT/ENGINEER

**Ideal Vacuum Products LLC**  
5920 Midawby Park Blvd NE  
Albuquerque, NM 87109

VISIONS

<u>TE</u>	<u>DESCRIPTION</u>
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07-26-2024

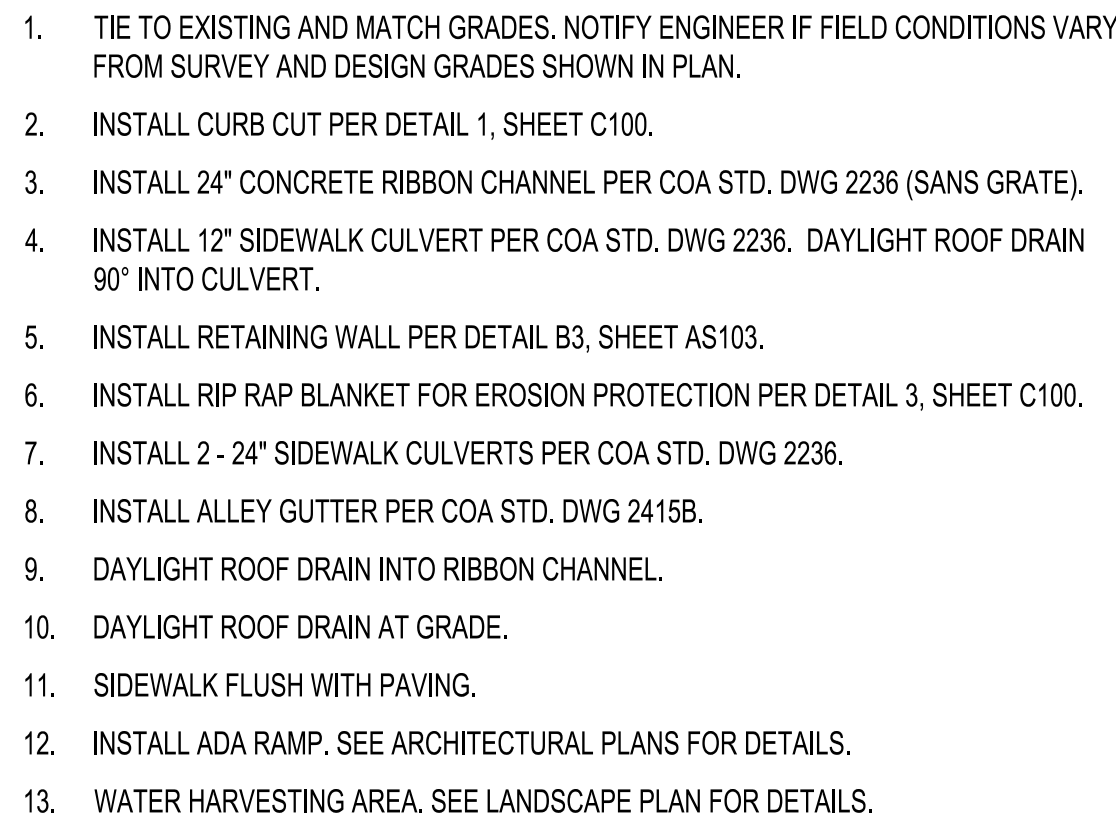
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DRAWING NAME

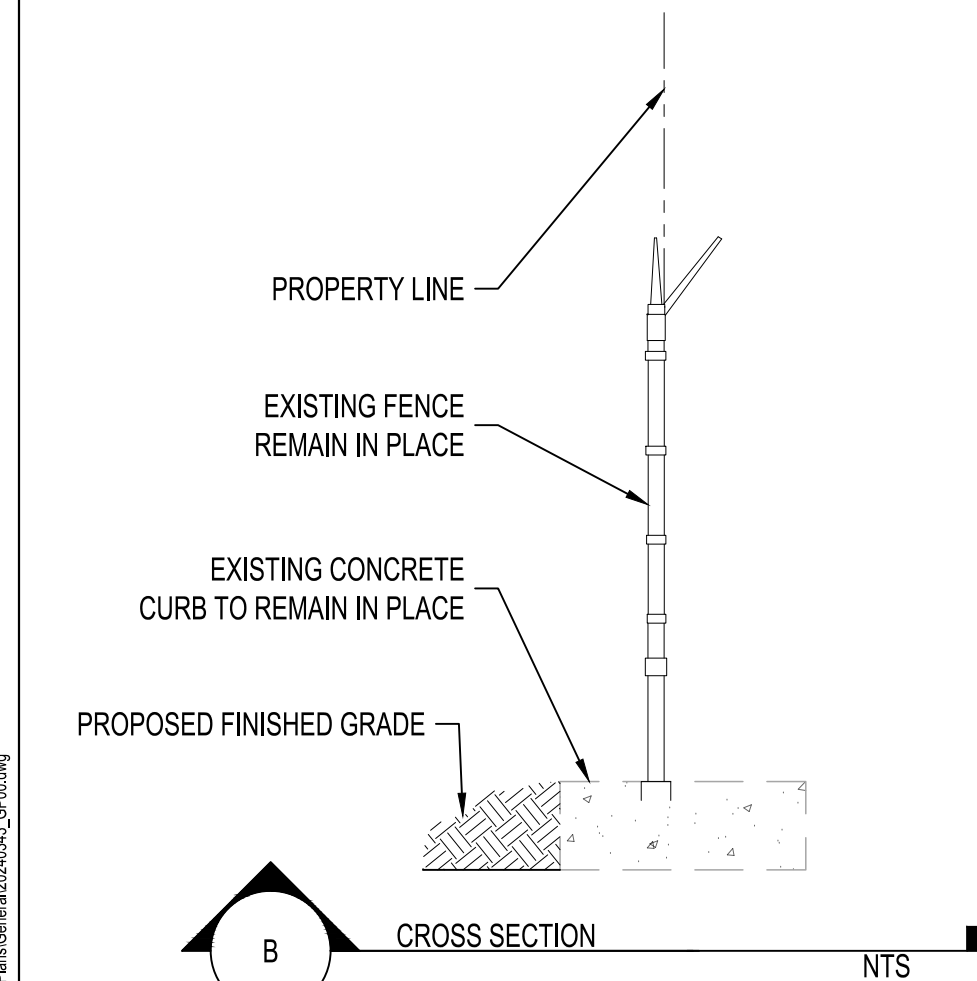
## TRADING PLAN

ET NO.

C103



	PROPERTY LINE
	EXISTING EASEMENT
	PROPOSED INDEX CONTOUR
	PROPOSED INTERMEDIATE CONTOUR
	EXISTING INDEX CONTOUR
	EXISTING INTERMEDIATE CONTOUR
	PROPOSED GRADING LIMITS
	PROPOSED RETAINING WALL
	PROPOSED SWALE
	RIDGELINE
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	FIRST FLUSH RETENTION POND BOTTOM

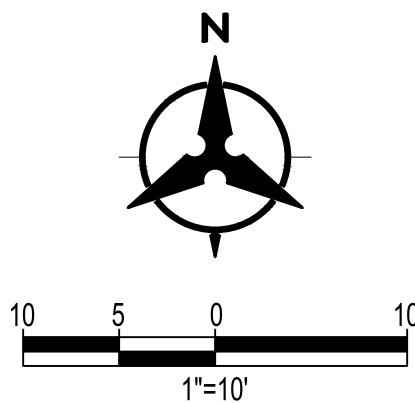


City of Albuquerque  
 Planning Department  
 Development Review Services  
**HYDROLOGY SECTION**  
**APPROVED**

DATE: 10-25-2024  
 BY: [Signature]  
 HydroTeam # E17D041D

THE APPROVAL OF THIS PLAN/SKETCH SHALL NOT BE  
 A GUARANTEE OF PERMIT VALIDITY AND SHALL NOT PREVENT  
 THE OFFICE OF ALBUQUERQUE PLANNING DEPARTMENT  
 CORRECTION, OR ERROR OR OMISSIONS IN PLANS,  
 SPECIFICATIONS, OR CONDITIONS OF APPROVAL. PLANS  
 SHALL NOT BE CHANGED, MODIFIED OR ALTERED WITHOUT  
 AUTHORIZATION.

APPROVAL OF GRADING & DRAINAGE PLANS SHALL EXPIRE  
 TWO (2) YEARS AFTER THE APPROVAL DATE BY THE CITY IF NO  
 BUILDING PERMIT HAS BEEN PULLED ON THE DEVELOPMENT.



Wed, 23-Oct-2024 - 7:57am, Plotted by: JRESTREPO  
2024/10/23 07:57:00 CEST