

LEGAL DESCRIPTION

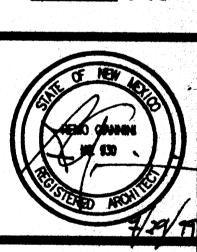
Lot 10-A-1-B, Midway Business Park, Albuquerque, New Mexico as the same is shown and designated on the Plat of Lots 10-A-1-A and 10-A-1-B, Midway Business Park, filed in the Office of the County Clerk of Bernalillo County, New Mexico on July 8, 1997, Book 97C, page 211.

CODE DATA

CODE: 1997 UNIFORM BUILDING CODE (UBC)
SEISMIC ZONE 2B
OCCUPANCY: MIXED
GROUP B (OFFICES)
GROUP S-1 (WAREHOUSE/STORAGE)
ALLOWABLE AREA: UNLIMITED
(FIRE SPRINKLERED THROUGHOUT)
CONSTRUCTION TYPE: II-F.R.
GROUND FLOOR AREA (TOTAL SQ.FT.): 20,000
OFFICES:
GROUND FLOOR: 2220
SECOND FLOOR: 1180
ATRIUM: 1600
LANDING AT SECOND FLOOR: 600
WAREHOUSE/STORAGE
GROUND FLOOR: 16120
SECOND FLOOR: 2378
TOTAL: 18498
PARKING SPACES
OFFICE (1ST FLR): 1/200SQFT = 11
OFFICE (2ND FLR): 1/300SQFT = 4
WAREHOUSE: 1/1000SQFT = 18
TOTAL REQUIRED = 33
HANDICAP REQUIRED = 2
TOTAL PROVIDED = 2

METAL BUILDING FOR LP GAS EQUIPMENT INC. 5910 MIDWAY PARK BLVD, NE ALBUQUEROUE, NEW MEXICO

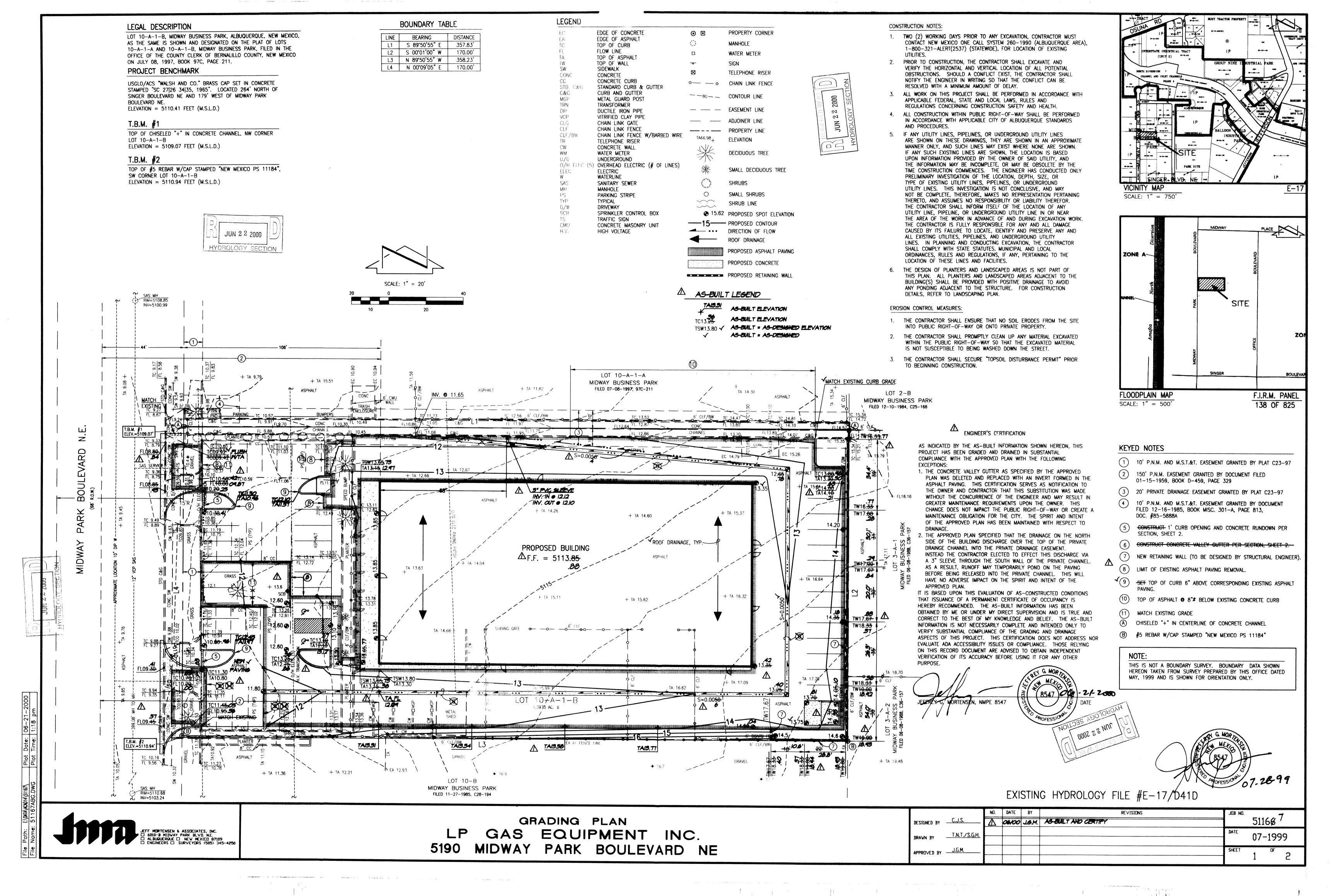
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SITE PLAN CODE DATA

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THIS PLAN REPRESENTS A DRAINAGE PLAN FOR THE CONSTRUCTION OF A FREESTANDING BUILDING ON AN EXISTING DEVELOPED SITE. THE SITE IS LOCATED IN NORTHEAST ALBUQUERQUE BETWEEN JEFFERSON ST. N.E. AND THE AMAFCA NORTH DIVERSION CHANNEL. ONSITE FLOWS WILL DISCHARGE INTO THE NORTH DIVERSION CHANNEL VIA MIDWAY PARK BLVD. N.E. A SMALL VOLUME OF OFFSITE FLOWS IMPACT THE SITE FROM LOTS 3-A-1 AND 3-A-2 LOCATED TO THE EAST. OFFSITE FLOWS WILL BE ACCEPTED AND CONVEYED THROUGHOUT THE SITE. THE PURPOSE OF THIS PLAN IS TO OBTAIN A BUILDING PERMIT.

AS SHOWN ON THE VICINITY MAP, THE SITE IS LOCATED ON MIDWAY PARK BLVD. N.E. JUST NORTH OF SINGER AVE. N.E. AND EAST OF THE AMAFCA NORTH DIVERSION CHANNEL. THE CURRENT LEGAL DESCRIPTION IS LOT 10-A-1-B, MIDWAY BUSINESS PARK, ALBUQUERQUE. NEW MEXICO. AS SHOWN BY F.I.R.M. PANEL 138 OF 825, THE SITE DOES NOT LIE WITHIN A DESIGNATED FLOOD HAZARD ZONE (ZONE A). THE NORTH DIVERSION CHANNEL WHICH IS LOCATED APPROXIMATELY 400 FEET WEST OF THE SITE IS LOCATED WITHIN A DESIGNATED FLOOD HAZARD ZONE, WITH THE 100-YEAR FLOOD CONFINED TO THE CONSTRUCTED CHANNEL.

BACKGROUND DOCUMENTS

THE FOLLOWING DOCUMENT WAS USED IN THE PREPARATION OF THIS

1) GRADING & DRAINAGE PLAN, SUNDANCE MECHANICAL, PREPARED BY THIS OFFICE, JANUARY, 1990. THIS PLAN REPRESENTS THE MASTER DRAINAGE PLAN FOR LOTS 10-A-1 AND 11-A1A, WHICH INCLUDES THE PROJECT SITE. THE PROJECT SITE LIES WITHIN DRAINAGE BASIN 3 WHICH IS ALLOWED FREE DISCHARGE OF DEVELOPED RUNOFF CALCULATED USING 96% IMPERVIOUS LAND TREATMENT.

EXISTING CONDITIONS

AT PRESENT, THE SITE IS DEVELOPED AND CONSISTS OF ASPHALT PAVING ON MOST OF THE SITE WITH A SMALL PORTION OF LANDSCAPED AREA. A SMALL PRIVATE CONCRETE CHANNEL RUNS ALONG THE NORTH EDGE OF THE SITE AND DISCHARGES TO THE WEST ONTO MIDWAY PARK BLVD. N.E. THE CHANNEL DRAINS RUNOFF FROM THE PROJECT SITE AS WELL AS LOT 10-A-1 LOCATED TO THE NORTH AND LOTS 2-B, 3-A-1, AND 3-A-2 LOCATED TO THE EAST. WHILE MOST OF THE OFFSITE FLOWS FROM THE EAST ARE DIVERTED INTO THE PRIVATE CONCRETE CHANNEL, A SMALL AMOUNT OF RUNOFF FROM THESE SITES IMPACTS THE PROJECT SITE. A PORTION OF THE ONSITE FLOWS DISCHARGE DIRECTLY INTO MIDWAY PARK BLVD. THROUGH THE ENTRANCES TO THE SITE. RUNOFF DISCHARGED INTO MIDWAY PARK BLVD. FLOWS NORTH AND ENTERS THE AMAFCA NORTH DIVERSION CHANNEL LOCATED TO THE WEST THROUGH A SMALL CONCRETE RUNDOWN LOCATED NEAR THE NORTH END OF MIDWAY PARK

DEVELOPED CONDITIONS
THE PROPOSED DEVELOPMENT WILL DECREASE STORMWATER RUNOFF AS SHOWN IN THE DRAINAGE CALCULATIONS CONTAINED HEREIN. THIS IS DUE TO THE ADDITION OF LANDSCAPED AREAS. THE ABOVE MENTIONED MASTER DRAINAGE PLAN FOR THE SITE ALLOWS 96% IMPERVIOUS LAND TREATMENT IN THE DEVELOPED CONDITION. THE PROPOSED CONDITION CONTAINS 90% IMPERVIOUS AREA, WHICH MEETS THE GUIDELINES SET FORTH IN THE MASTER DRAINAGE PLAN. ONSITE FLOWS WILL DISCHARGE ONTO MIDWAY PARK BLVD. AS DICTATED IN THE ABOVE LISTED MASTER DRAINAGE PLAN. A PORTION OF THE ONSITE FLOWS WILL REACH MIDWAY PARK BLVD. VIA THE PRIVATE CONCRETE CHANNEL RUNNING ALONG THE NORTH EDGE OF THE SITE, WHILE THE REMAINDER WILL DISCHARGE DIRECTLY ONTO MIDWAY PARK BLVD. JUST AS IN THE EXISTING CONDITION FOR THE SITE, ONSITE FLOWS WITHIN MIDWAY PARK WILL BE DIVERTED INTO THE AMAFCA NORTH DIVERSION CHANNEL UTILIZING THE EXISTING CONCRETE RUNDOWN. AGAIN, ALL OFFSITE FLOWS WILL BE ACCEPTED AND CONVEYED THROUGHOUT THE SITE.

GRADING PLAN

THE GRADING PLAN SHOWS: 1) EXISTING GRADES INDICATED BY SPOT ELEVATIONS AND CONTOURS AT 1'0" INTERVALS AS TAKEN FROM THE TOPOGRAPHIC SURVEY PREPARED BY THIS OFFICE, DATED MAY 1999, 2) PROPOSED GRADES INDICATED BY SPOT ELEVATIONS AND CONTOURS AT 1'0" INTERVALS, 3) THE LIMIT AND CHARACTER OF THE EXISTING IMPROVEMENTS, 4) THE LIMIT AND CHARACTER OF THE PROPOSED IMPROVEMENTS. AND 5) CONTINUITY BETWEEN EXISTING AND PROPOSED GRADES. THE GRADING PLAN APPEARS ON SHEET 1.

CALCULATIONS

THE CALCULATIONS CONTAINED HEREIN ANALYZE BOTH THE EXISTING AND DEVELOPED CONDITIONS FOR THE 100-YEAR, 6-HOUR RAINFALL EVENT. THE PROCEDURE FOR 40-ACRE AND SMALLER BASINS, AS SET FORTH IN THE REVISION OF SECTION 22.2, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, VOLUME 2, DESIGN CRITERIA, DATED JANUARY, 1993, HAS BEEN USED TO QUANTIFY THE PEAK RATE OF DISCHARGE AND VOLUME OF RUNOFF GENERATED.

CONCLUSION

THE PROPOSED IMPROVEMENTS WILL DECREASE THE PEAK FLOWRATE AND THE VOLUME OF RUNOFF GENERATED BY THE SITE. FREE DISCHARGE INTO MIDWAY PARK BLVD. N.E. AS OUTLINED IN THE MASTER DRAINAGE PLAN FOR THE SITE WILL BE OBSERVED. ALL RUNOFF REACHING MIDWAY PARK BLVD. WILL BE DIVERTED INTO THE AMAFCA NORTH DIVERSION CHANNEL.

CALCULATIONS

I. SITE CHARACTERISTICS

A. PRECIPITATION ZONE = 2

B. $P_{6,100} = P_{360} = 2.35$ IN.

C. TOTAL AREA $(A_T) = 1.40 \text{ AC/}60,980 \text{ SF}$

D. EXISTING LAND TREATMENT

TREATMENT AREA (SF/AC) 3,600/0.08 57,500/1.32

E. DEVELOPED LAND TREATMENT

TREATMENT AREA (SF/AC) 6,100/0.14 54,880/1.26

II. EXISTING CONDITION

A. VOLU**M**E

 $E^{M} = (E^{A}A^{A} + E^{B}A^{B} + E^{C}A^{C} + E^{D}A^{D}) \setminus A^{L}$

 $E_{W} = [0.78(0.08) + 2.12(1.32)]/1.40 = 2.04 \text{ IN}.$

 $V_{100} = (E_{W}/12)A_{T}$

 $V_{100} = (2.04/12)1.40 = 0.2384 \text{ AC.FT.} = 10,380 \text{ CF}$

B. PEAK DISCHARGE

 $\sigma^{b} = \sigma^{b} \varphi^{a} + \sigma^{b} \varphi^{B} + \sigma^{b} \varphi^{C} + \sigma^{b} \varphi^{D}$

 $Q_P = Q_{100} = 2.28(0.08) + 4.70(1.32) = 6.4 CFS$

III. DEVELOPED CONDITION

A. VOLU**M**E

 $E^{M} = (E^{A}A^{A} + E^{B}A^{B} + E^{C}A^{C} + E^{D}A^{D}) \setminus A^{L}$

 $E_{W} = [0.78(0.14) + 2.12(1.26)]/1.40 = 1.99 \text{ IN}.$

 $V_{100} = (E_{W}/12)A_{T}$

 $V_{100} = (1.99/12)1.40 = 0.2322 \text{ AC.FT.} = 10,120 \text{ CF}$

B. PEAK DISCHARGE

 $Q_{P} = Q_{PA}A_{A} + Q_{PB}A_{B} + Q_{PC}A_{C} + Q_{PD}A_{D}$

 $Q_p = Q_{100} = 2.28(0.14) + 4.70(1.26) = 6.1 CFS$

IV. COMPARISON

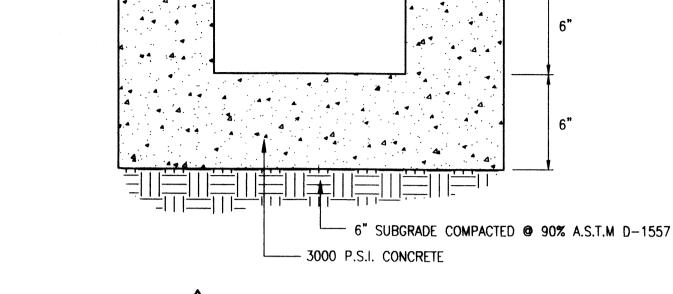
 $\Delta V_{100} = 10,120 - 10,380 = -260 \text{ CF (DECREASE)}$ $\Delta Q_{100} = 6.1 - 6.4 = -0.3 \text{ CFS (DECREASE)}$

ENGINEER'S CERTIFICATION

AS INDICATED BY THE AS-BUILT INFORMATION SHOWN HEREON, THIS PROJECT HAS BEEN GRADED AND DRAINED IN SUBSTANTIAL COMPLIANCE WITH THE APPROVED PLAN WITH THE FOLLOWING **EXCEPTIONS:**

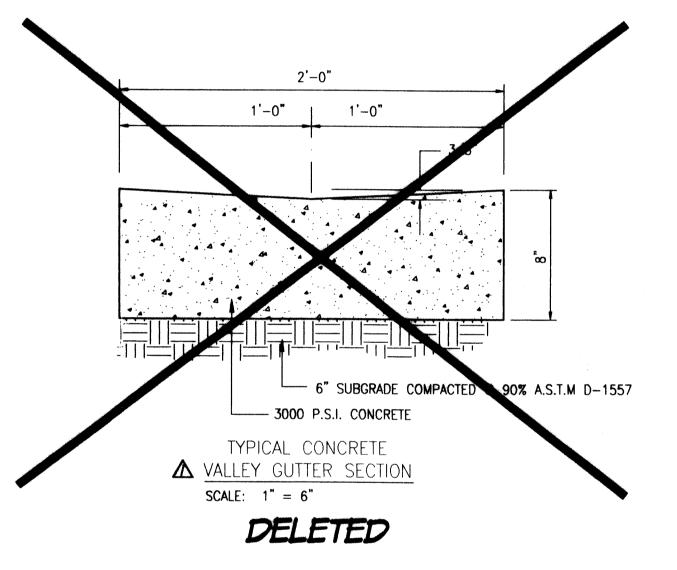
- 1. THE CONCRETE VALLEY GUTTER AS SPECIFIED BY THE APPROVED PLAN WAS DELETED AND REPLACED WITH AN INVERT FORMED IN THE ASPHALT PAVING. THIS CERTIFICATION SERVES AS NOTIFICATION TO THE OWNER AND CONTRACTOR THAT THIS SUBSTITUTION WAS MADE WITHOUT THE CONCURRENCE OF THE ENGINEER AND MAY RESULT IN GREATER MAINTENANCE REQUIREMENTS UPON THE OWNER. THIS CHANGE DOES NOT IMPACT THE PUBLIC RIGHT-OF-WAY OR CREATE A MAINTENANCE OBLIGATION FOR THE CITY. THE SPIRIT AND INTENT OF THE APPROVED PLAN HAS BEEN MAINTAINED WITH RESPECT TO
- 2. THE APPROVED PLAN SPECIFIED THAT THE DRAINAGE ON THE NORTH SIDE OF THE BUILDING DISCHARGE OVER THE TOP OF THE PRIVATE DRAINGE CHANNEL INTO THE PRIVATE DRAINAGE EASEMENT. INSTEAD THE CONTRACTOR ELECTED TO EFFECT THIS DISCHARGE VIA A 3" SLEEVE THROUGH THE SOUTH WALL OF THE PRIVATE CHANNEL. AS A RESULT. RUNOFF MAY TEMPORARILY POND ON THE PAVING BEFORE BEING RELEASED INTO THE PRIVATE CHANNEL. THIS WILL HAVE NO ADVERSE IMPACT ON THE SPIRIT AND INTENT OF THE APPROVED PLAN.
- IT IS BASED UPON THIS EVALUATION OF AS-CONSTRUCTED CONDITIONS THAT ISSUANCE OF A PERMANENT CERTIFICATE OF OCCUPANCY IS HEREBY RECOMMENDED. THE AS-BUILT INFORMATION HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THE AS-BUILT INFORMATION IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THIS CERTIFICATION DOES NOT ADDRESS NOR EVALUATE ADA ACCESSIBILITY ISSUES OR COMPLIANCE. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

(8547) 00-21-2000



1 - 0"

▲ TYPICAL RUNDOWN SECTION SCALE: 1" = 6"



FF MORTENSEN & ASSOCIATES, INC. 6010-B MIDWAY PARK BLVD. N.E. ALBUQUERQUE | NEW MEXICO 87109

DRAINAGE PLAN, CALCULATIONS AND SECTIONS GAS EQUIPMENT INC.

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