



Subject: TCL (E17D041D) Comment Responses



arcLINE Architectural Design LLC has reviewed and responded to comments generated on 03-26-2024. Please see comment and response below.

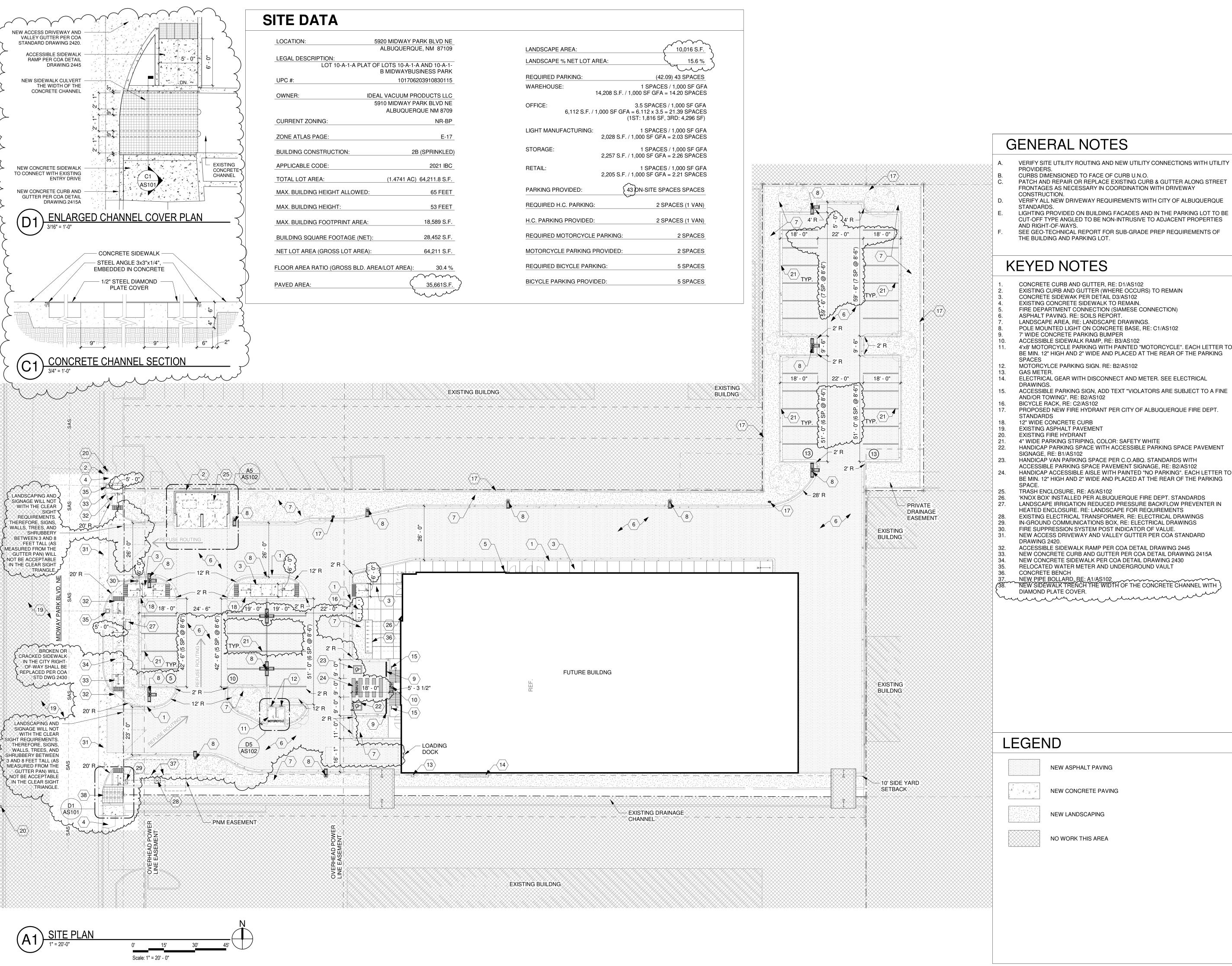
- 1. It appears the keyway in the North parking lot may be 5' deep due to the 4' radius, but please clarify with a depth dimension.
 - a. A dimension has been added to the site plan sheet AS101.
- 2. Provide drive aisle widths west and north of the building. The north-south aisle closest to the building does not appear to be the minimum of 22' wide for 2-way traffic.
 - a. Dimensions have been added to all drive aisle widths, including the aisles closest to the building which is now indicated at 22'. See attached sheet AS101.
- 3. The loading dock in the front of the building may create conflicts with the retail/office circulation in the parking lot. Provide the size of the vehicle that will be using the Loading Dock and show delivery vehicle travel pattern. This will help determine whether the loading dock will need to be moved to the back of the building/ separated from the retail/office circulation.
 - a. A straight box truck with 26-foot bed or shorter will make deliveries to this location. Any deliveries on a semi-truck is delivered to a different location and brought to this location via a box truck. A 35' box is indicated at the loading dock to show minimal interference with the adjacent circulation.
- 4. The southern curb return of the southern drive entrance does not tie properly/provide continuous radius to the curb ion Midway Park Blvd. It should look like the northern curb return. This entrance will have to be shifted north.
 - a. The drive has been shifted north to allow the proper radius and accessible sidewalk ramp. A steel channel cover has been added to the project to allow the flow of water without pedestrians walking through it. The adjacent sidewalk will be replaced to meet up evenly.
- 5. Provide sidewalk widths. The sidewalk along Midway Park Blvd is to be a minimum of 5' wide.
 - a. Dimensions have been added to the site plan sheet AS101.
- 6. Provide parking stall widths.
 - a. Dimensions have been added to the site plan sheet AS101.
- 7. Provide accessible aisle width and depth.
 - a. Dimensions have been added to the site plan sheet AS101.
- 8. A 6 ft. wide ADA accessible pedestrian pathway is required from the Public sidewalk to the building entrance(s). Please clearly show this pathway and provide details.
 - a. Dimensions have been added to the site plan sheet AS101.
- 9. For the van accessible parking space, add the "Van Accessible" sign (see attached image). I think the "Van No Parking" pavement markings is misleading and it is non-standard, so these pavement markings can be removed. I attached an image for the DPM.
 - a. The wording has been removed from the plan sheet AS101.

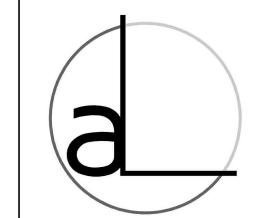
- 10. The bottom of the motorcycle parking sign is to be a minimum of 4' off the ground and the accessible sign 5' off the ground. Revise Detail B2.
 - a. Detail B2/AS102 has been revised.
- 11. Please discuss what appear to be two bridges across the drainage channel. They do not appear to be for vehicles, but please state the purpose/usage. Since the southern portion is on the adjoining lot, written approval (email or letter) from that property owner is required.
 - a. Ideal Vacuum is building this project and they also own the building to the south. The bridges are for forklifts to travel between the two buildings to move product as necessary. An email from Ideal Vacuum is attached.
- 12. Provide the widths of the proposed drive entrances.
 - a. Dimensions have been added to the site plan sheet AS101.
- 13. Provide the size of the vehicle to determine curb return radii of the drive entrances.
 - a. A straight box truck with 26-foot bed, trash truck, and fire ladder truck (north entrance) are the largest vehicles intended for the site.
- 14. Provide Fire and Solid Waste Department approvals.
 - a. The Fire Marshal and Solid Waste Department approvals are attached.
- Add a Note that broken or cracked sidewalk in the City ROW shall be replaced per COA STD DWG 2430.
 - a. A note has been added along Midway Park Blvd.
- 16. Detail C2, Bicycle Rack, revise the spacing between the racks as a bicycle parking space is 6' long x 2' wide.
 - a. Detail C2/AS102 has been revised to indicate the proper spacing.
- 17. Show the clear sight triangle and add the following note to the plan: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in the clear sight triangle.
 - a. The clear sight triangle and note has been added to the site plan sheet AS101.
- 18. Provide Sheet AS103.
 - a. There is no sheet AS103, the reference was included by mistake. The motorcycle enlarged plan has been added to sheet AS102 detail D5.

If you have any questions or comments regarding anything contained herein, please do not hesitate to contact me at 505-681-7274 or via email at jarrod@arcline-arch.com.

Sincerely,

R. Jarrod Cline Owner / Architect





PO Box 91462 Albuquerque New Mexico 87199 P 505.681.7274 www.arcLINE-arch.com

ARCHITECT/ENGINEER



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CONCRETE CURB AND GUTTER, RE: D1/AS102 EXISTING CURB AND GUTTER (WHERE OCCURS) TO REMAIN CONCRETE SIDEWAK PER DETAIL D3/AS102

EXISTING CONCRETE SIDEWALK TO REMAIN. FIRE DEPARTMENT CONNECTION (SIAMESE CONNECTION) ASPHALT PAVING. RE: SOILS REPORT. LANDSCAPE AREA, RE: LANDSCAPE DRAWINGS POLE MOUNTED LIGHT ON CONCRETE BASE, RE: C1/AS102

7' WIDE CONCRETE PARKING BUMPER ACCESSIBLE SIDEWALK RAMP, RE: B3/AS102 4'x8' MOTORCYCLE PARKING WITH PAINTED "MOTORCYCLE". EACH LETTER TO

BE MIN. 12" HIGH AND 2" WIDE AND PLACED AT THE REAR OF THE PARKING MOTORCYLCE PARKING SIGN. RE: B2/AS102

GAS METER.

ELECTRICAL GEAR WITH DISCONNECT AND METER. SEE ELECTRICAL

ACCESSIBLE PARKING SIGN, ADD TEXT "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING". RE: B2/AS102 BICYCLE RACK, RE: C2/AS102

PROPOSED NEW FIRE HYDRANT PER CITY OF ALBUQUERQUE FIRE DEPT. STANDARDS

12" WIDE CONCRETE CURB EXISTING ASPHALT PAVEMENT

EXISTING FIRE HYDRANT 4" WIDE PARKING STRIPING, COLOR: SAFETY WHITE

HANDICAP PARKING SPACE WITH ACCESSIBLE PARKING SPACE PAVEMENT SIGNAGE, RE: B1/AS102

HANDICAP VAN PARKING SPACE PER C.O.ABQ. STANDARDS WITH ACCESSIBLE PARKING SPACE PAVEMENT SIGNAGE, RE: B2/AS102 HANDICAP ACCESSIBLE AISLE WITH PAINTED "NO PARKING". EACH LETTER TO

BE MIN. 12" HIGH AND 2" WIDE AND PLACED AT THE REAR OF THE PARKING TRASH ENCLOSURE, RE: A5/AS102 'KNOX BOX' INSTALLED PER ALBUQUERQUE FIRE DEPT. STANDARDS

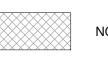
HEATED ENCLOSURE. RE: LANDSCAPE FOR REQUIREMENTS EXISTING ELECTRICAL TRANSFORMER, RE: ELECTRICAL DRAWINGS IN-GROUND COMMUNICATIONS BOX, RE: ELECTRICAL DRAWINGS FIRE SUPPRESSION SYSTEM POST INDICATOR OF VALUE. NEW ACCESS DRIVEWAY AND VALLEY GUTTER PER COA STANDARD

DRAWING 2420. ACCESSIBLE SIDEWALK RAMP PER COA DETAIL DRAWING 2445 NEW CONCRETE CURB AND GUTTER PER COA DETAIL DRAWING 2415A NEW CONCRETE SIDEWALK PER COA DETAIL DRAWING 2430

RELOCATED WATER METER AND UNDERGROUND VAULT CONCRETE BENCH

NEW ASPHALT PAVING NEW CONCRETE PAVING

NEW LANDSCAPING



NO WORK THIS AREA

REVISIONS

REV DATE DESCRIPTION

DATE PROJECT NO.

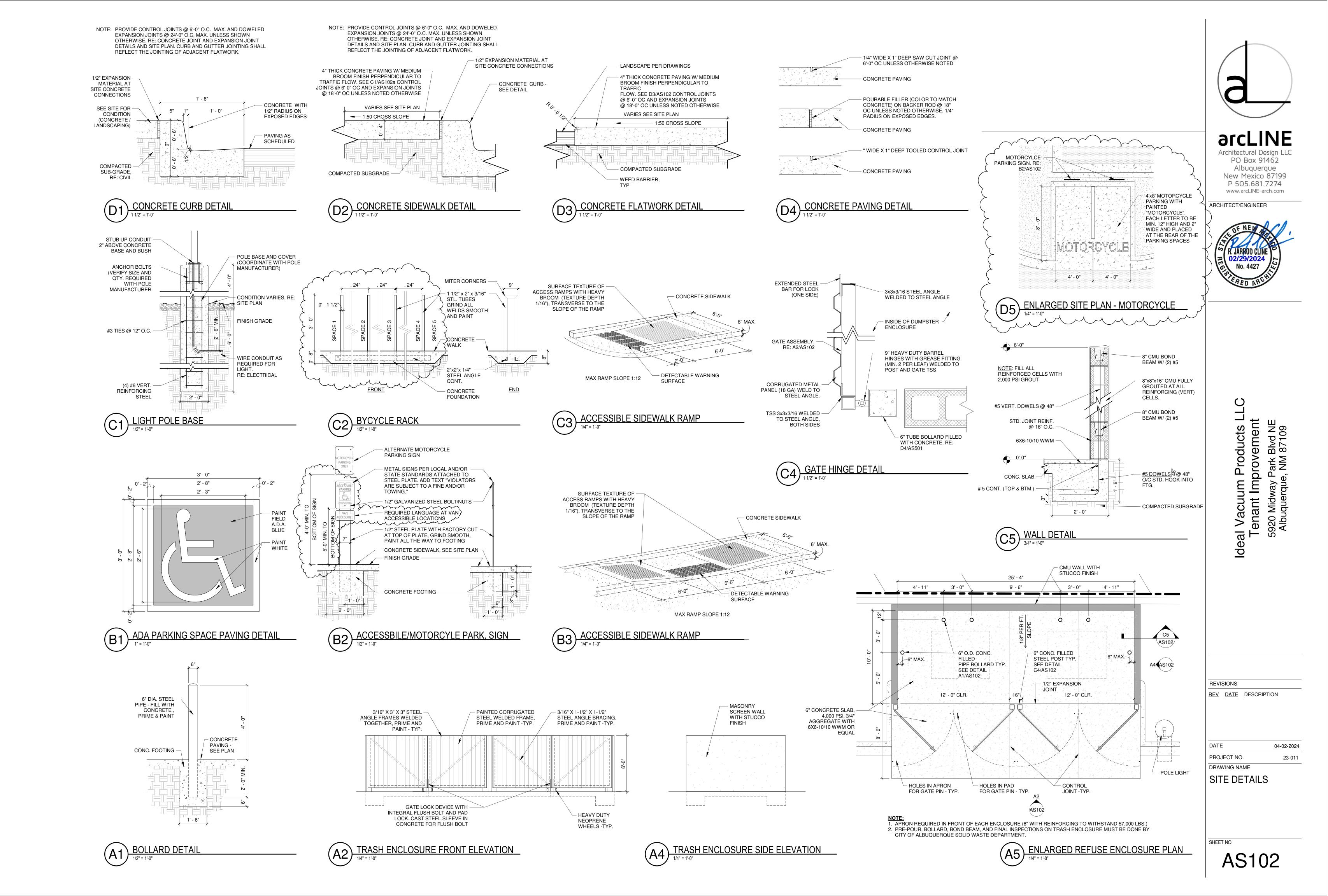
04-02-2024

23-011

DRAWING NAME SITE PLAN

SHEET NO.

AS101



R. Jarrod Cline

From: Tony Smith <tony.smith@idealvac.com>
Sent: Tuesday, April 16, 2024 11:08 AM

To: R. Jarrod Cline

Subject: Access Between 5910 and 5920

Hi Jarrod,

Ideal Vacuum operates three side-by-side warehouses: 5900, 5910, and 5920. We will use a bridge across the drainage ditch between 5910 and 5920 to allow forklift access between these two facilities. This proposal is ideal as forklifts will not need to enter the street at Midway Park Blvd. Please let me know if you have other questions. Thank you.

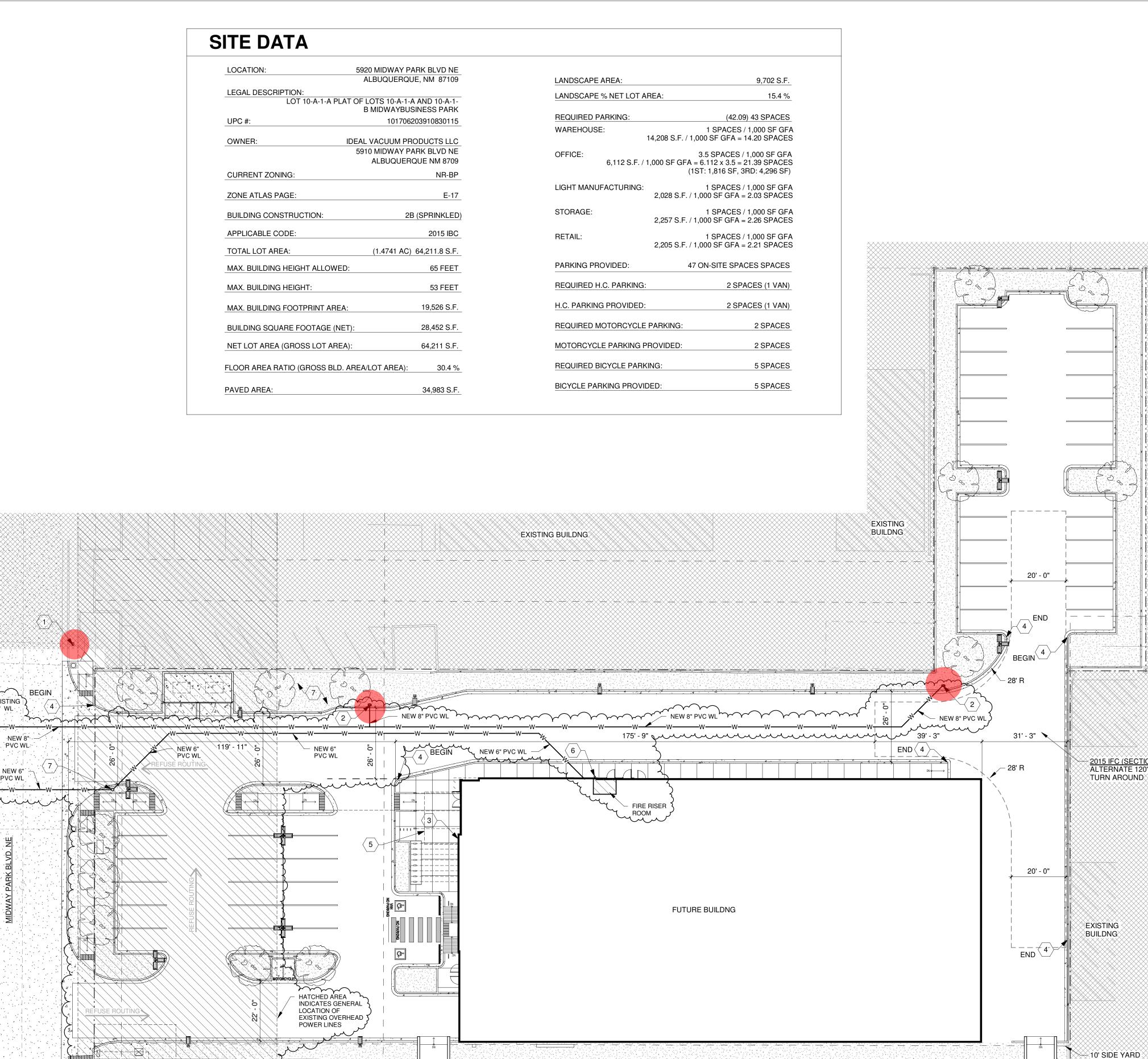
Sincerely,

Tony Smith Ideal Vacuum Products 5910 Midway Park Blvd Ne Albuquerque, NM 87109 Phone: (505) 872-0037

Fax: (505) 872-9001

Email: tony.smith@idealvac.com
Website: http://www.idealvac.com/







GENERAL NOTES

- FIRE FLOW REQUIREMENTS CONSTRUCTION TYPE: 2B SPRINKLERED FINAL MAX SQUARE FOOTAGE: 29,300 SF FIRE FLOW PER TABLE B105.1(2): 3,500 GPM ACTUAL REQUIRED PER TABLE B105.2: 3,500 GPM @ 3 HOUR DURATION NUMBER OF HYDRANTS REQUIRED PER TABLE C102.1: 4 FIRE LANE: LESS THAN 210 FEET
- ALL FIRE APPARATUS ACCESS ROAD SURFACES SHALL BE CAPABLE OF SUPPORTING 75,000 POUNDS
- FIRE ACCESS ROADS SHALL NOT EXCEED 10 PERCENT GRADE
- KEY BOXES SHALL BE LOCATED AT THE MAIN BUILDING ENTRY AND SHALL BE MOUNTED BETWEEN 4 AND 6 FEET ABOVE GRADE. KEY BOX SHALL BE ILLUMINATED
- REFERENCE 2015 INTERNATIONAL FIRE CODE APPENDIX B, C, AND D, FOR CODE CRITERIA
- VERIFY SITE UTILITY ROUTING AND NEW UTILITY CONNECTIONS WITH UTILITY **PROVIDERS**
- VERIFY ALL NEW DRIVEWAY REQUIREMENTS WITH CITY OF ALBUQUERQUE
- SEE GEO-TECHNICAL REPORT FOR SUB-GRADE PREP REQUIREMENTS OF THE BUILDING AND PARKING LOT

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ARCHITECT/ENGINEER



roducts Lark Blvd NE

KEYED NOTES

- PROPOSED NEW FIRE HYDRANT PER CITY OF ALBUQUERQUE FIRE DEPT. STANDARDS
- 'KNOX BOX' INSTALLED PER BERNALILO COUNTY FIRE DEPT. AT 5'-0" ABOVE FINISH GRADE CURB PAINTED RED WITH "NO PARKING FIRE LANE" PER IFC SECTION 505.3
- 'MARKINGS' 12" TALL BUILDING ADDRESS NUMBERS MOUNTED TO BUILDING FACE NEAR
- THE TOP OF THE WALL ABOVE THE BUILDING ENTRANCE
- FIRE DEPARTMENT CONNECTION (SIAMESE CONNECTION) FIRE SUPRESSION POST INDICATOR VALVE (PIV)

Ideal Va

VICINITY MAP

2015 IFC (SECTION: D103)
ALTERNATE 120' HAMMERHEAD
TURN AROUND

EXISTING \\\BUILDNG\\

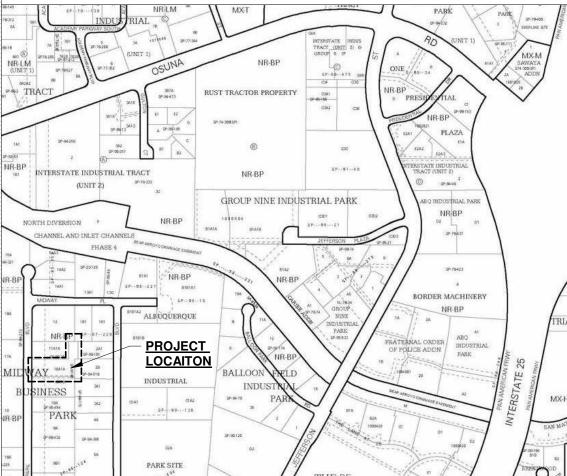
> 10' SIDE YARD ×SETBACK ×

EXISTING DRAINAGE

EXISTING BUILDING

(A1) FIRE 1 - SITE PLAN

1" = 20'-0"



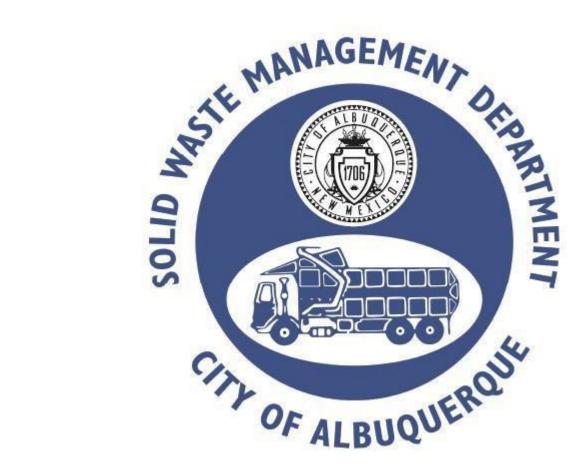
REVISIONS

REV DATE DESCRIPTION

DATE 12-12-2023 PROJECT NO. 23-011 DRAWING NAME

LIFE SAFETY PLAN AND CODE ANALYSIS

FIRE 1

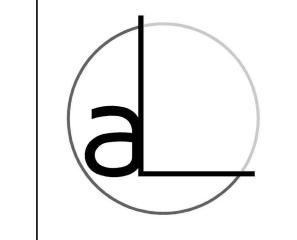


Approved for access by the Solid Waste Department. All containers must be made accessible for pick up between the hours of 5AM and 8PM. Reviewer: <u>Herman Gallegos</u>

Date: 03-20-24 **Entry gates not included in this submittal**

LOCATION:	5920 MIDWAY PARK BLVD NI
	ALBUQUERQUE, NM 8710
LEGAL DESCRIPTION:	
LOT 10-A-1-A PLAT	OF LOTS 10-A-1-A AND 10-A-1 B MIDWAYBUSINESS PARI
UPC #:	10170620391083011
OWNER: IE	DEAL VACUUM PRODUCTS LLO
	5910 MIDWAY PARK BLVD NE
	ALBUQUERQUE NM 8709
CURRENT ZONING:	NR-BF
ZONE ATLAS PAGE:	E-1:
BUILDING CONSTRUCTION:	2B (SPRINKLEI
APPLICABLE CODE:	2021 IBO
TOTAL LOT AREA:	(1.4741 AC) 64,211.8 S.F
MAX. BUILDING HEIGHT ALLOWED:	65 FEE
MAX. BUILDING HEIGHT:	53 FEE
MAX. BUILDING FOOTPRINT AREA:	18,589 S.F
BUILDING SQUARE FOOTAGE (NET)): 28,452 S.F
NET LOT AREA (GROSS LOT AREA)	: 64,211 S.F
FLOOR AREA RATIO (GROSS BLD. A	REA/LOT AREA): 30.4 %
DAVED ADEA.	05.077.0.5
PAVED AREA:	35,977 S.F

ANDSCAPE AREA:	9,645 S.F.
ANDSCAPE % NET LOT	AREA: 15 %
EQUIRED PARKING:	(42.09) 43 SPACES
AREHOUSE:	1 SPACES / 1,000 SF GFA 14,208 S.F. / 1,000 SF GFA = 14.20 SPACES
FFICE: 6,112 S.F. /	3.5 SPACES / 1,000 SF GFA 1,000 SF GFA = 6.112 x 3.5 = 21.39 SPACES (1ST: 1,816 SF, 3RD: 4,296 SF)
GHT MANUFACTURING:	1 SPACES / 1,000 SF GFA 2,028 S.F. / 1,000 SF GFA = 2.03 SPACES
TORAGE:	1 SPACES / 1,000 SF GFA 2,257 S.F. / 1,000 SF GFA = 2.26 SPACES
ETAIL:	1 SPACES / 1,000 SF GFA 2,205 S.F. / 1,000 SF GFA = 2.21 SPACES
ARKING PROVIDED:	47 ON-SITE SPACES SPACES
EQUIRED H.C. PARKING	: 2 SPACES (1 VAN)
C. PARKING PROVIDED	: 2 SPACES (1 VAN)
EQUIRED MOTORCYCLE	E PARKING: 2 SPACES
OTORCYCLE PARKING	PROVIDED: 2 SPACES
EQUIRED BICYCLE PAR	KING: 5 SPACES
CYCLE PARKING PROV	DED: 5 SPACES



arcLINE

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ARCHITECT/ENGINEER

GENERAL NOTES

- PROVIDERS. CURBS DIMENSIONED TO FACE OF CURB U.N.O.
 PATCH AND REPAIR OR REPLACE EXISTING CURB & GUTTER ALONG STREET

VERIFY SITE UTILITY ROUTING AND NEW UTILITY CONNECTIONS WITH UTILITY

- CUT-OFF TYPE ANGLED TO BE NON-INTRUSIVE TO ADJACENT PROPERTIES
- SEE GEO-TECHNICAL REPORT FOR SUB-GRADE PREP REQUIREMENTS OF THE BUILDING AND PARKING LOT.

KEYED NOTES

18' - 0"

22' - 0"

- CONCRETE CURB AND GUTTER, RE: D1/AS102
- CONCRETE SIDEWAK PER DETAIL D3/AS102
- FIRE DEPARTMENT CONNECTION (SIAMESE CONNECTION) ASPHALT PAVING. RE: SOILS REPORT.
- LANDSCAPE AREA, RE: LANDSCAPE DRAWINGS. POLE MOUNTED LIGHT ON CONCRETE BASE, RE: C1/AS102
- 7' WIDE CONCRETE PARKING BUMPER
- ACCESSIBLE SIDEWALK RAMP, RE: B3/AS102 4'x8' MOTORCYCLE PARKING WITH PAINTED "MOTORCYCLE". EACH LETTER TO
- BE MIN. 12" HIGH AND 2" WIDE AND PLACED AT THE REAR OF THE PARKING MOTORCYLCE PARKING SIGN. RE: B2/AS102
- ELECTRICAL GEAR WITH DISCONNECT AND METER. SEE ELECTRICAL
- ACCESSIBLE PARKING SIGN, ADD TEXT "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING". RE: B2/AS102
- BICYCLE RACK, RE: C2/AS102 PROPOSED NEW FIRE HYDRANT PER CITY OF ALBUQUERQUE FIRE DEPT.
- **EXISTING ASPHALT PAVEMENT**
- 4" WIDE PARKING STRIPING, COLOR: SAFETY WHITE
- HANDICAP VAN PARKING SPACE PER C.O.ABQ. STANDARDS WITH
- ACCESSIBLE PARKING SPACE PAVEMENT SIGNAGE, RE: B2/AS102 HANDICAP ACCESSIBLE AISLE WITH PAINTED "NO PARKING". EACH LETTER TO BE MIN. 12" HIGH AND 2" WIDE AND PLACED AT THE REAR OF THE PARKING
- TRASH ENCLOSURE, RE: A5/AS102
- 'KNOX BOX' INSTALLED PER ALBUQUERQUE FIRE DEPT. STANDARDS
- LANDSCAPE IRRIGATION REDUCED PRESSURE BACKFLOW PREVENTER IN HEATED ENCLOSURE. RE: LANDSCAPE FOR REQUIREMENTS EXISTING ELECTRICAL TRANSFORMER, RE: ELECTRICAL DRAWINGS
- IN-GROUND COMMUNICATIONS BOX, RE: ELECTRICAL DRAWINGS FIRE SUPPRESSION SYSTEM POST INDICATOR OF VALUE.
- ACCESSIBLE SIDEWALK RAMP PER COA DETAIL DRAWING 2445 NEW CONCRETE CURB AND GUTTER PER COA DETAIL DRAWING 2415A
- NEW CONCRETE SIDEWALK PER COA DETAIL DRAWING 2430 RELOCATED WATER METER AND UNDERGROUND VAULT
- CONCRETE BENCH NEW PIPE BOLLARD, RE: A1/AS102

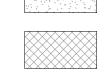
roducts L ark Blvd NE NM 87109 Ideal Va

LEGEND

NEW CONCRETE PAVING

NEW ASPHALT PAVING

NEW LANDSCAPING



NO WORK THIS AREA

REVISIONS REV DATE DESCRIPTION

02-29-2024

23-011

PROJECT NO. DRAWING NAME

SITE PLAN

SHEET NO.

AS101

