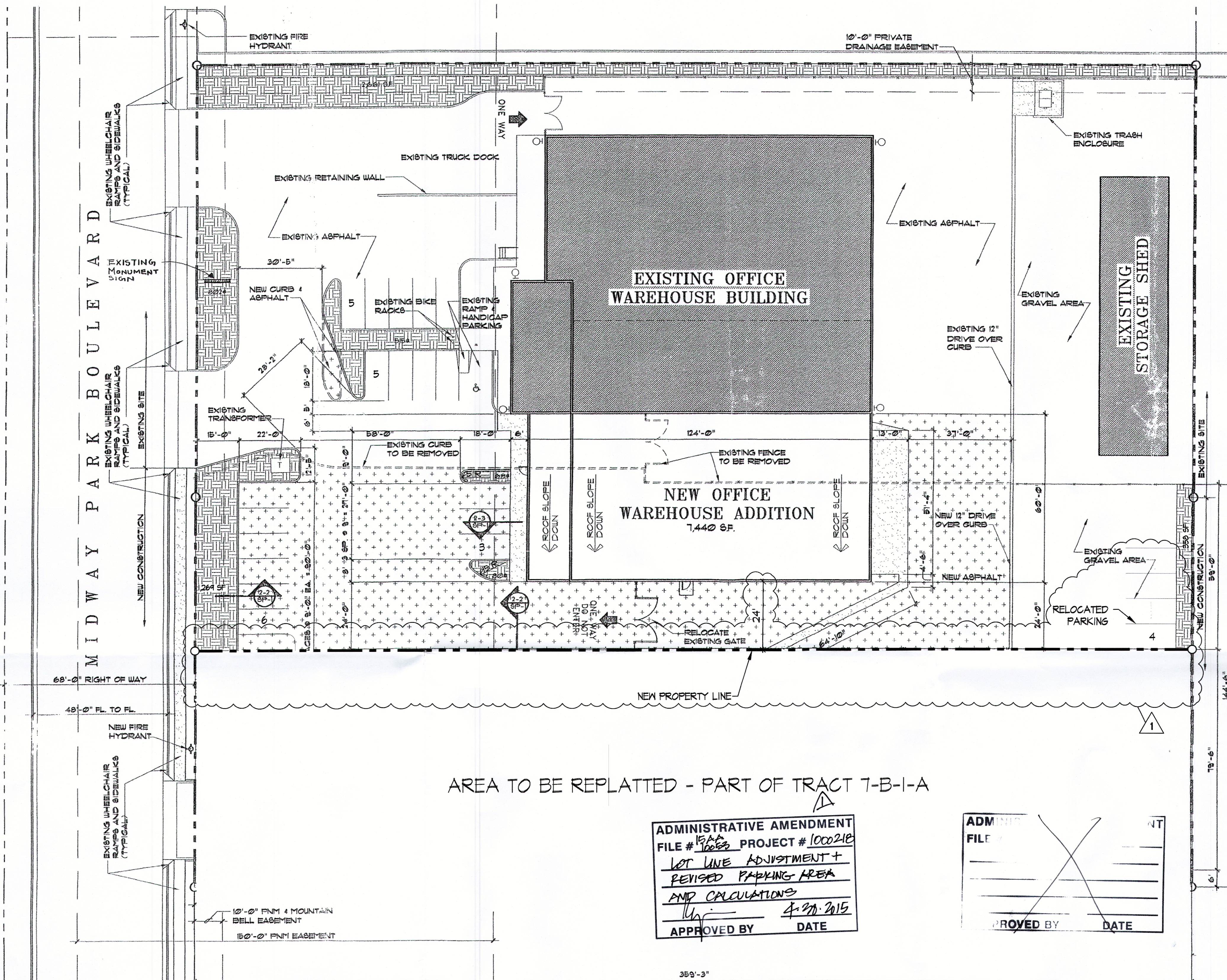




GENERAL NOTES

- 1. REFER TO THE OWNER'S SURVEY FOR THE MEETS AND BOUNDS DESCRIPTION.
- 2. VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO COMMENCING WITH CONSTRUCTION.
- 3. ALL WORK WITHIN THE RIGHT OF WAY SHALL CONFORM TO THE CITY OF ALBUQUERQUE STANDARDS.
- 4. SQUARE FOOTAGES SHOWN ON THESE PLANS ARE FOR ARCHITECTURAL AND BUILDING CODE PURPOSES ONLY.
- 5. A LOCATION SO IT IS PLAINLY VISIBLE AND LEGIBLE FROM THE STREET.
- 6. - - - - - INDICATES EXISTING TO BE REMOVED.

BUILDING CRITERIA

OWNER: INDUSTRIAL AND MINE SUPPLY COMPANY
5840-A MIDWAY PARK BOULEVARD, N.E.
ALBUQUERQUE, NEW MEXICO

ARCHITECT: CLAUDIO VIGIL ARCHITECTS
825 PENNSYLVANIA STREET, N.E.
ALBUQUERQUE, NEW MEXICO

LEGAL DESCRIPTION: TRACT 7-B-1-A, MIDWAY BUSINESS PARK, E-17-Z

ZONING ATLAS MAP: IF, INDUSTRIAL PARK ZONE

ZONING CLASSIFICATION: IF, INDUSTRIAL PARK ZONE

BUILDING TYPE: ADDITION TO OFFICE/WAREHOUSE BUILDING

CONSTRUCTION TYPE: TYPE II-N CONSTRUCTION

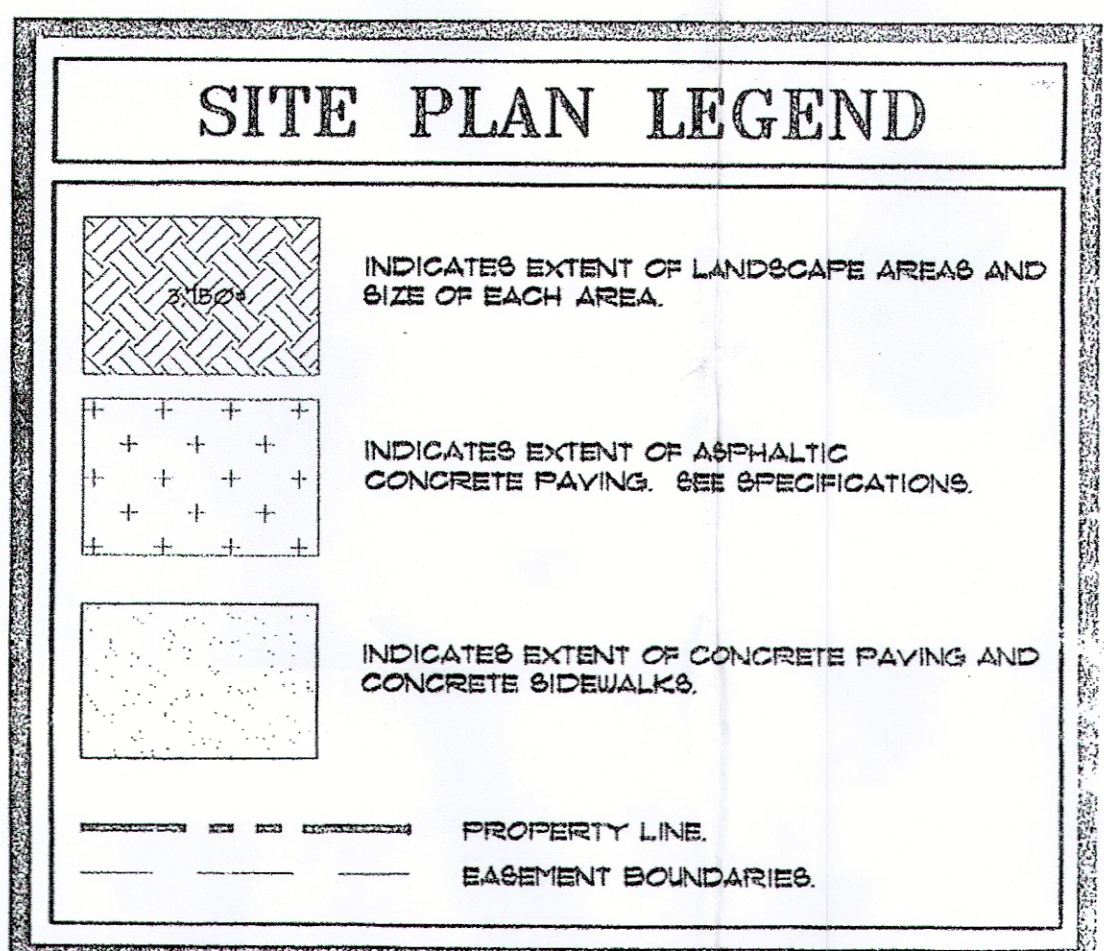
OCCUPANT LOAD:
OFFICE AREA = 10.01 OCCUPANTS
WAREHOUSE AREA = 12.818 OCCUPANTS
TOTAL = 22.828 OCCUPANTS
TOTAL OCCUPANT LOAD = 23 OCCUPANTS

OCCUPANCY GROUP: B OCCUPANCY

NUMBER OF FLOORS: ONE

GROSS SQUARE FOOTAGE:
EXISTING BUILDING = 12,376 SQUARE FEET
NEW BUILDING = 7,440 SQUARE FEET
TOTAL = 19,816 SQUARE FEET

NET USEABLE SQUARE FOOTAGE:
OFFICE AREA = 853 SQUARE FEET
WAREHOUSE AREA = 6,280 SQUARE FEET



SIGNATURE BLOCK

P# 1000218
A# 00450-0000-0015

D.R.B. CASE NO. _____
C. CASE NO. _____

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) ON _____ AND THAT THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTICE: NOTIFICATION OF DECISION HAVE BEEN COMPLIED WITH:

SITE DEVELOPMENT PLAN

Rachel Davis 4-04-00
TRAFFIC ENGINEER, TRANSPORTATION DIVISION DATE

Edward A. Stang 4-10-00
PARKS & RECREATION DEPARTMENT DATE

Rogel Shea 4-10-00
PUBLIC WORKS, WATER UTILITIES DIVISION DATE

Paul J. Aguirre 3-1-00
CITY ENGINEER, ENGINEERING DIVISION / AMAFCA DATE

APPROVAL AND CONDITIONAL ACCEPTANCE: AS SPECIFIED BY THE DEVELOPMENT PROCESS MANUAL.

Paul J. Aguirre 4/19/00
CITY PLANNER, ALBUQUERQUE DATE

PLAN(10706) 4/96

PARKING SPACES SIZES:
REGULAR CAR PARKING SPACES = 9'-0" x 18'-0" WITH 4'-2'-0" OVERHANG.
HANDICAP CAR PARKING SPACES = 12'-0" x 18'-0" WITH 4'-2'-0" OVERHANG.

BICYCLE SPACES:
REQUIRED PARKING - 22/20 = 11 BICYCLE SPACES
TOTAL BICYCLE SPACES REQUIRED = 1 BICYCLE SPACE
TOTAL BICYCLE SPACES PROVIDED = 4 EXISTING
(2 BICYCLE RACK POSTS AT 2 BICYCLES PER POST)

SITE LIGHTING: SITE LIGHTING SHALL BE LOCATED ON THE BUILDING AND SHALL BE MOUNTED SO AS NOT TO GLARE ONTO ADJACENT SITES.

TOTAL LOT AREA: 1.7502 ACRES, 76,237 SQUARE FEET

TOTAL PARKING/PAVED AREA:
TOTAL PAVED AREA = 39,015 SQUARE FEET

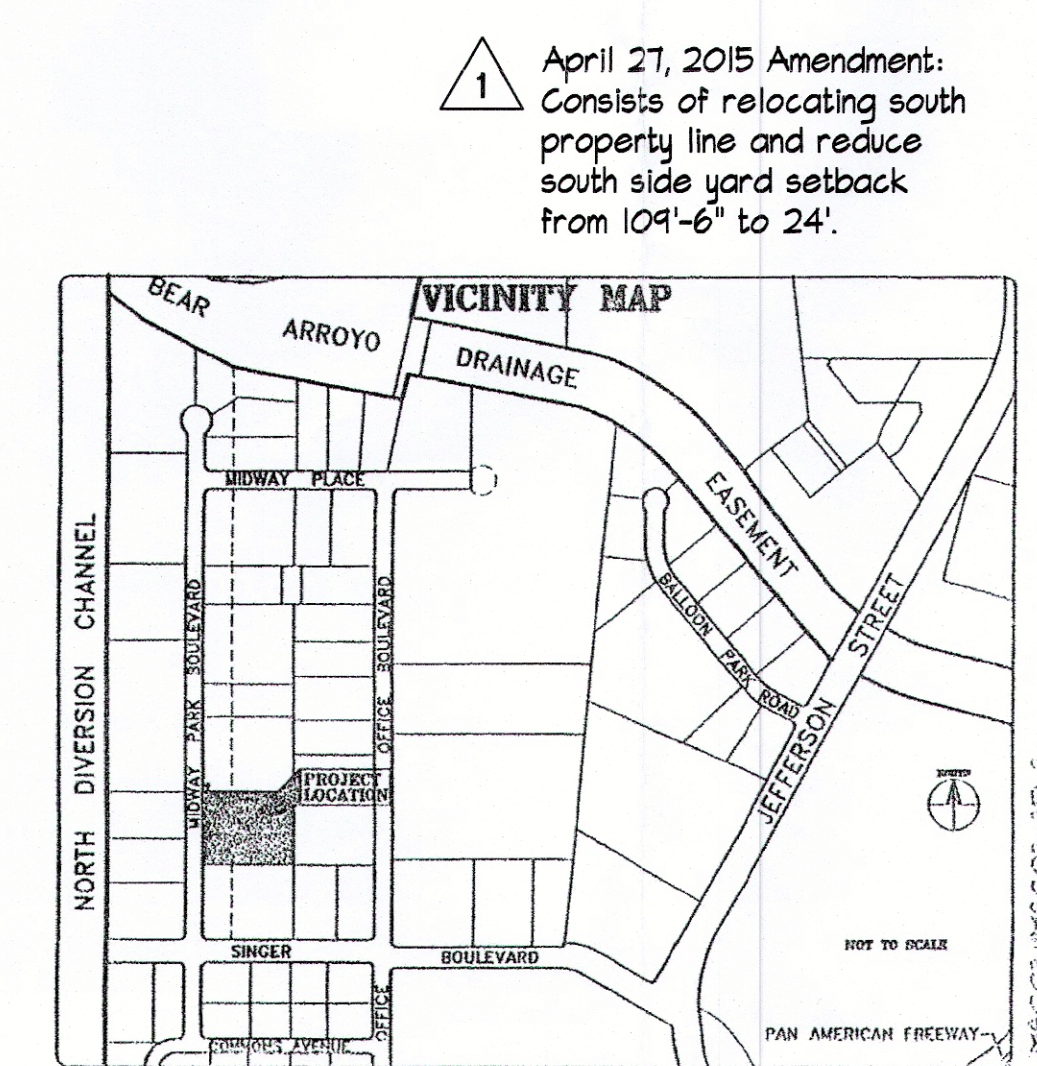
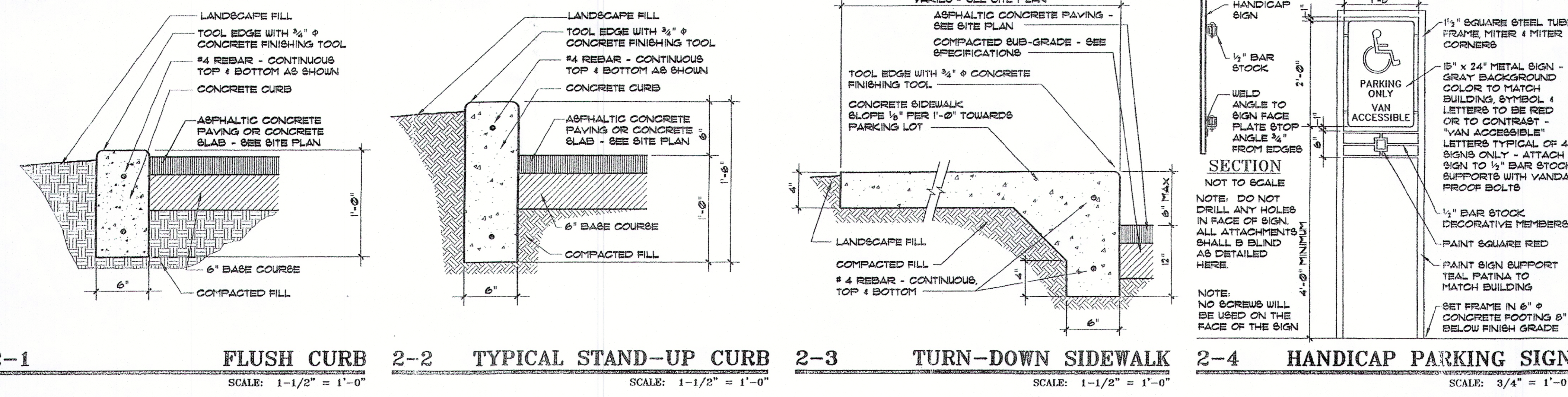
LANDSCAPE AREA:
TOTAL LANDSCAPE AREA = 5,753 SQUARE FEET

LANDSCAPE TO PARKING AREA RATIO: 1 TO 6.8

NORTH

SITE PLAN

FEBRUARY 1, 2000 SCALE: 1" = 20'-0" (U.N.O.)



CLAUDIO VIGIL ARCHITECTS

INDUSTRIAL AND MINE SUPPLY COMPANY
PHASE III BUILDING ADDITION
5840 MIDWAY PARK BOULEVARD, N.E.
ALBUQUERQUE, NEW MEXICO

SHEET
SP-1

1305 Tijeras NW Albuquerque, NM 87102-2882
Phone: 505/842-1113 Fax: 505/842-1330