

# CITY OF ALBUQUERQUE



July 29, 2016

Tom Prestidge, R.A.  
PSRBB Industrial Group, Inc.  
1845 Northwestern Dr Suite A.  
El Paso, TX 79912

**Re: Warehouse for Purvis Industries – 3815 Singer Blvd NE**  
**Request for Certificate of Occupancy- Transportation Development**  
Architect's Stamp dated 10-23-15 (E17D041F)  
Certification dated 07-22-16

Dear Mr. Prestidge,

Based upon the information provided in your submittal received 07-25-16, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact Monica Ortiz at (505) 924-3981 or me at (505)924-3991.

Sincerely,

Racquel M. Michel, P.E.  
Traffic Engineer, Planning Dept.  
Development Review Services

mao via: email  
C: CO Clerk, File

I, Harold Thomas Prestidge, NMRA No. 1639 of the architectural firm PSRBB Industrial Group, Inc., hereby certify that this project is in substantial compliance and in accordance with the design intent of the TCL approved plan (architectural site plan) dated December 14, 2015. The record information edited into the original design document has been obtained by Harold Thomas Prestidge of PSRBB Industrial Group, Inc. I further certify that I have personally visited the project site on Monday, July 19<sup>th</sup>, 2016 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support to a request for a Certificate of Occupancy for the project.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects for Purvis Industries new facility. Any entity who may be relying on the record document are advised to obtain independent verification of its accuracy before using it for any other intended purpose.





# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

**Project Title:** \_\_\_\_\_ **Building Permit #:** \_\_\_\_\_ **City Drainage #:** \_\_\_\_\_

**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_

**Legal Description:** \_\_\_\_\_

**City Address:** \_\_\_\_\_

**Engineering Firm:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Owner:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Architect:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Other Contact:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

Check all that Apply:

**DEPARTMENT:**

- ☐ HYDROLOGY/ DRAINAGE  
☐ TRAFFIC/ TRANSPORTATION  
☐ MS4/ EROSION & SEDIMENT CONTROL

**TYPE OF SUBMITTAL:**

- ☐ ENGINEER/ ARCHITECT CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ DRAINAGE MASTER PLAN  
☐ DRAINAGE REPORT  
☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ OTHER (SPECIFY) \_\_\_\_\_

**CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:**

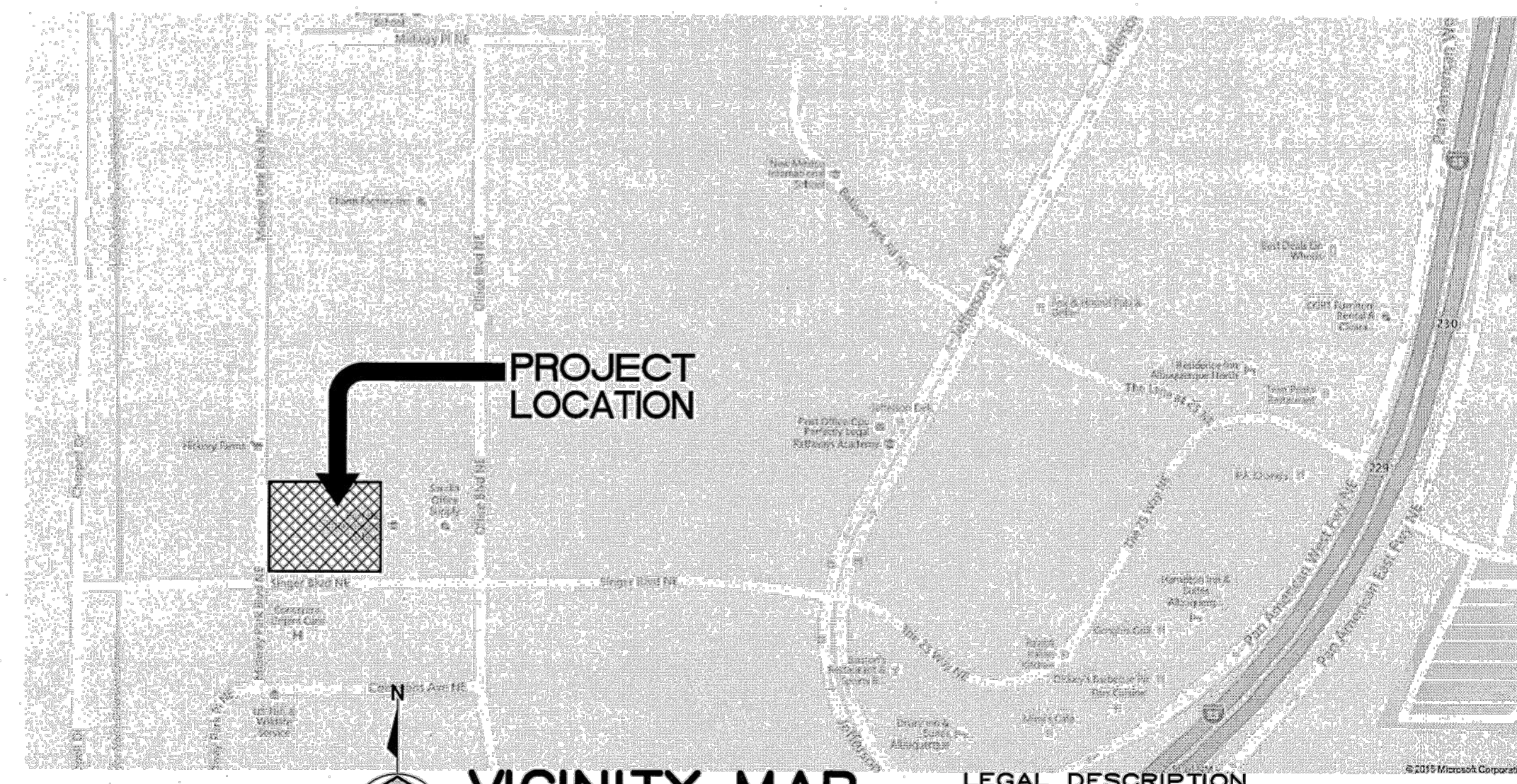
- ☐ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR
- ☐ PRE-DESIGN MEETING  
☐ OTHER (SPECIFY) \_\_\_\_\_

IS THIS A RESUBMITTAL?: ☐ Yes ☐ No

**DATE SUBMITTED:** \_\_\_\_\_ **By:** \_\_\_\_\_

COA STAFF: \_\_\_\_\_ ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_





## VICINITY MAP

NOT TO SCALE

## LEGAL DESCRIPTION

TRACT 7-B-1-A MIDWAY BUSINESS PARK  
CITY OF ALBUQUERQUE  
BERNILLO COUNTY, NEW MEXICO

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## PARKING CALCULATIONS

<b>AUTO PARKING</b>	
REQUIRED (WAREHOUSE: 1/2000 S.F. = 19 SPACES) (OFFICE: 1/200 S.F. = 25 SPACES)	44 SPACES
PROVIDED	58 SPACES
<b>ACCESSIBLE PARKING</b>	
REQUIRED (3 SPACES REQUIRED FOR 36 TO 50 TOTAL REQUIRED AUTO PARKING)	3 SPACES
PROVIDED	3 SPACES
<b>MOTORCYCLE PARKING</b>	
REQUIRED (2 SPACES REQUIRED FOR 26 TO 50 TOTAL REQUIRED AUTO PARKING)	2 SPACES
PROVIDED	2 SPACES
<b>BICYCLE SPACES</b>	
REQUIRED (1 SPACE REQUIRED PER EACH 20 REQUIRED AUTO PARKING)	2 SPACES
PROVIDED	4 BIKE RACK

PROJECT NUMBER: 1057449  
APPLICATION NUMBER: 15DRB-70337

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC) dated June 17, 2005 and the findings and conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) YES (X) NO. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

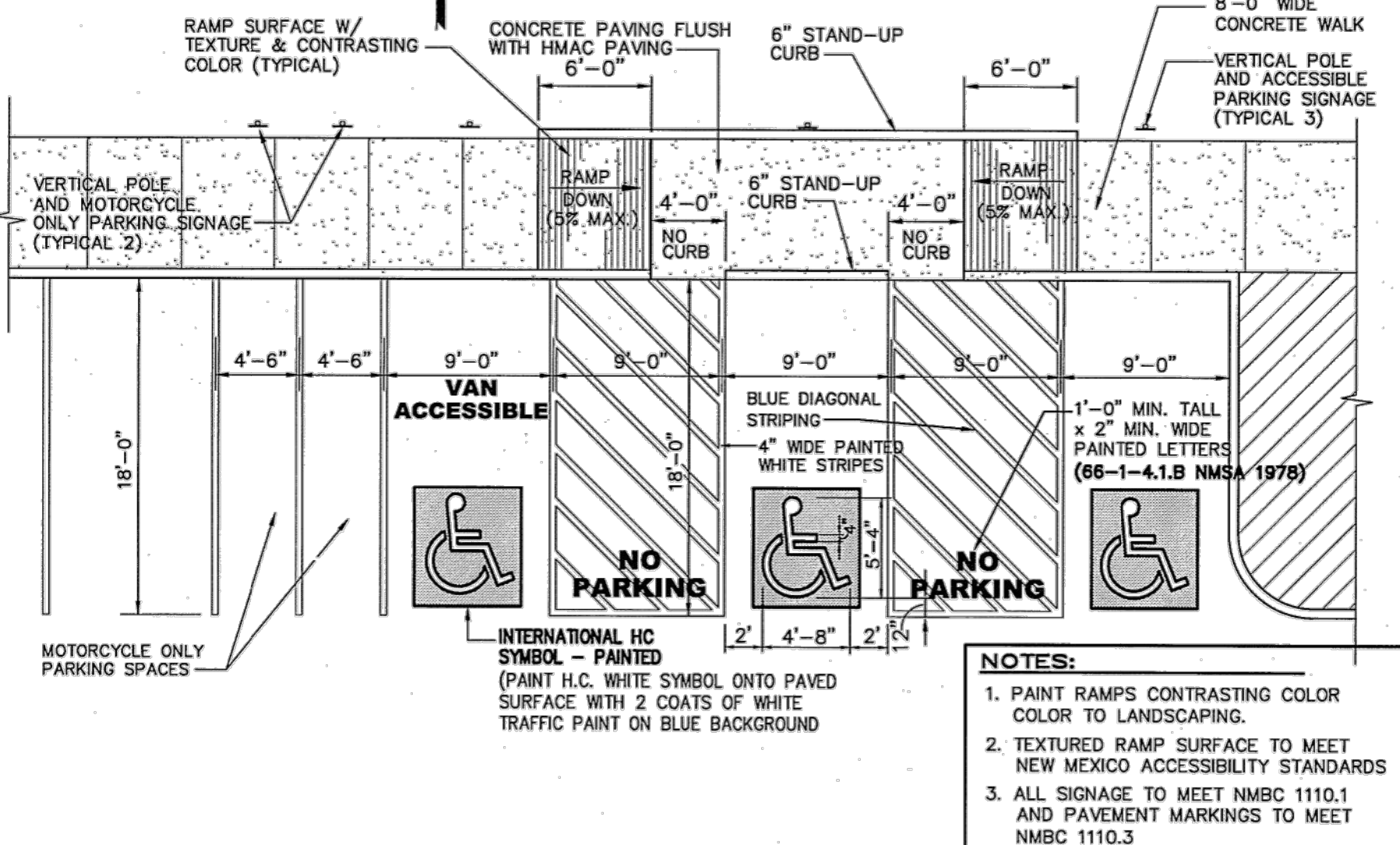
**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL**

<i>Harold Thomas Prestidge</i> Traffic Engineering, Transportation Division	10/28/15 Date
<i>Michael Cade</i> Water Utility Department	10/28/15 Date
<i>Carol S. Dumont</i> Parks and Recreation Department	10-28-15 Date
<i>John T. H.</i> City Engineer	10-28-15 Date
<i>[Signature]</i> Environmental Health Department *(conditional)	11-17-15 Date
<i>[Signature]</i> Solid Waste Management	11-17-15 Date
<i>[Signature]</i> DRB Chairperson, Planning Department	11-17-15 Date

\* Environmental Health, if necessary

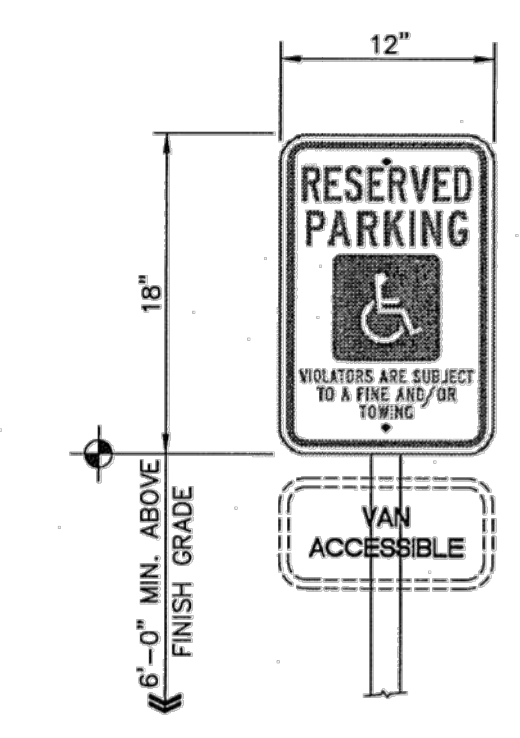
## PROJECT RECAP

<b>BUILDING AREA</b>	
WAREHOUSE AREA	37,545 S.F.
OFFICE AREA	4,965 S.F.
TOTAL BUILDING AREA	42,510 S.F.
<b>LAND AREA</b>	137,825 S.F.± 3.16 ACRES±
<b>CONSTRUCTION TYPE:</b>	II-B
<b>BUILDING HEIGHT</b>	34'-0" TALL



## 2 ENLARGED ACCESSIBLE PARKING PLAN

SCALE: 1/8" = 1'-0"

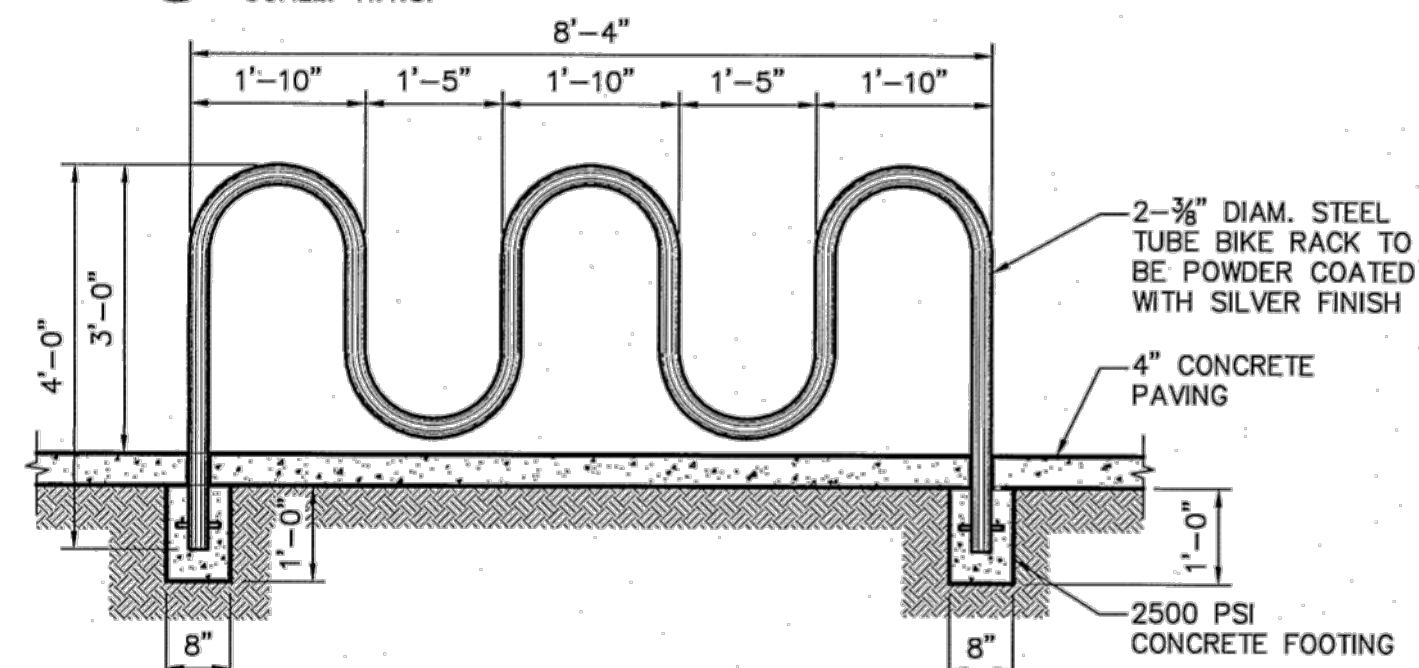


## SIGN NOTES

1. SIGNAGE TO COMPLY WITH 66-7-352.4C NMSA 1978.
  2. VERIFY MOUNTING TYPE AND LOCATION WITH ARCHITECT. MOUNT BOTTOM OF SIGN 6'-0" ABOVE FINISH GRADE.
  3. ONE IN EVERY SIX ACCESSIBLE PARKING SPACES TO BE DESIGNATED "VAN ACCESSIBLE" PARKING. BOTTOM OF "VAN ACCESSIBLE" SIGN SHALL BE 5'-0" ABOVE FINISH GRADE
- ALL DISABLED PARKING SPACES MUST HAVE PROPER SIGNAGE AND HAVE PAVEMENT MARKINGS PER CITY REQUIREMENTS.

## 3 ACCESSIBLE PARKING SIGN

SCALE: N.T.S.

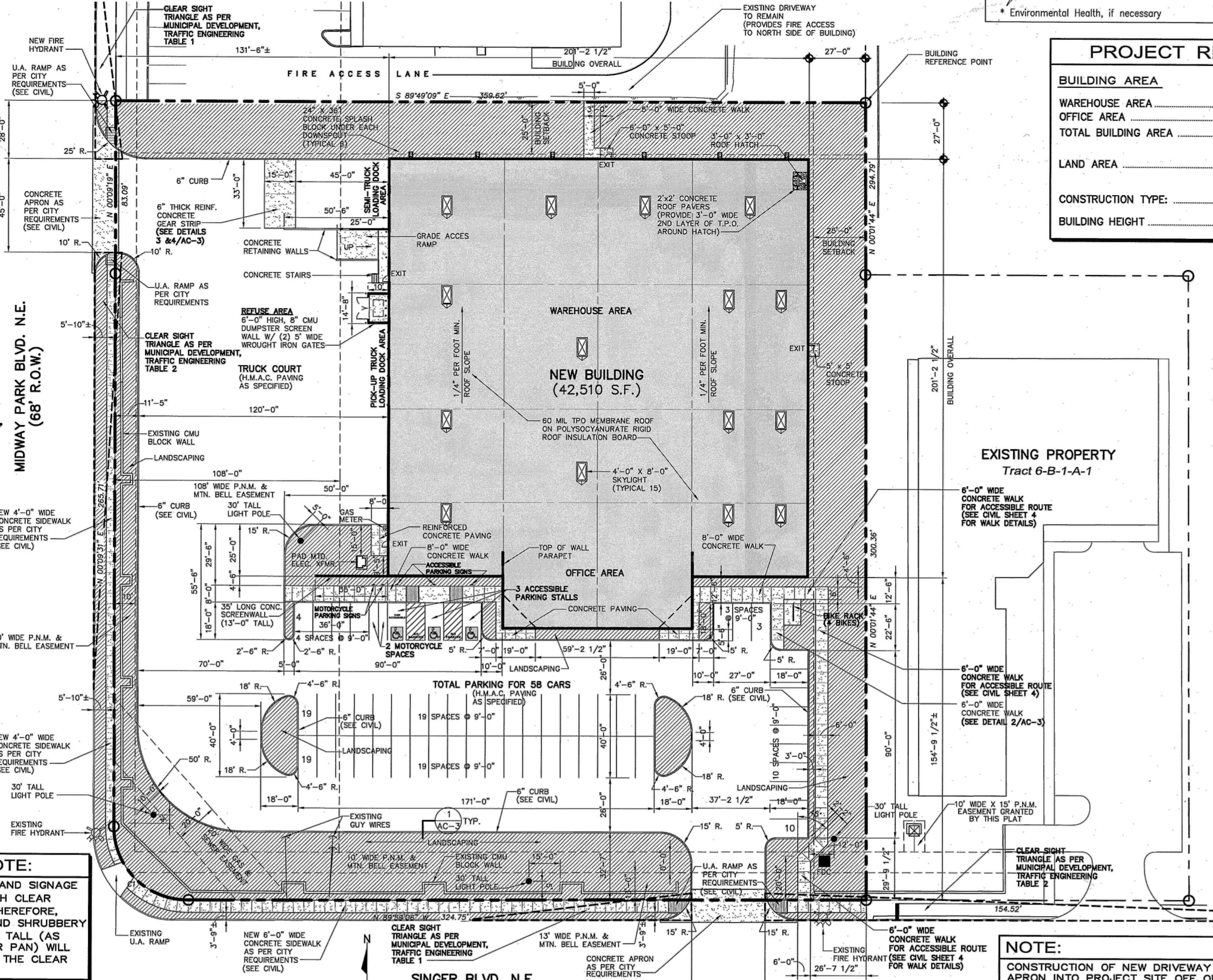


**CLEAR SIGHT NOTE:**

LANDSCAPING, FENCING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

## Curve Table

CURVE	RADIUS	ARC LENGTH	TANGENT	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
CI	35.00'	55.88'	35.92'	91°28'47"	N 45°18'46" W	50.13'
	(35.00)	(55.88)	(35.92)	(90°08'05")		



## SITE PLAN

SCALE: 1" = 30'-0"

**NOTE:**

CONSTRUCTION OF NEW DRIVEWAY APRON INTO PROJECT SITE OFF OF SINGER BLVD. TO BE COORDINATED WITH THE NEW SINGER WIDENING PROJECT #6322.91

## SITE DEVELOPMENT PLAN

ALBUQUERQUE, NEW MEXICO 87109

3815 SINGER BLVD. N.E.

A NEW OFFICE / WAREHOUSE for

**PURVIS INDUSTRIES**

EL PASO, TEXAS 79912  
EL PASO, TEXAS 79912  
EL PASO, TEXAS 79912

1845 NORTHWESTERN DRIVE, SUITE A  
915 877-2020

OMMISSION No. 15-121

DATE 09-11-2015

REV A10-23-2015

SHEET: AC-1

1 OF 2