



City of Albuquerque

December 16, 1999

Gregory Krenik, P.E.
Mark Goodwin & Assoc.
P.O. Box 90606
Albuquerque, NM 87199

**RE: JEFFERSON COURT, TRACT C-3-D-3 (E17-D59). ENGINEER'S
CERTIFICATION FOR CERTIFICATE OF OCCUPANCY APPROVAL.
ENGINEER'S STAMP DATED NOVEMBER 30, 1999. G&D PLAN STAMPED
MARCH 24, 1999.**

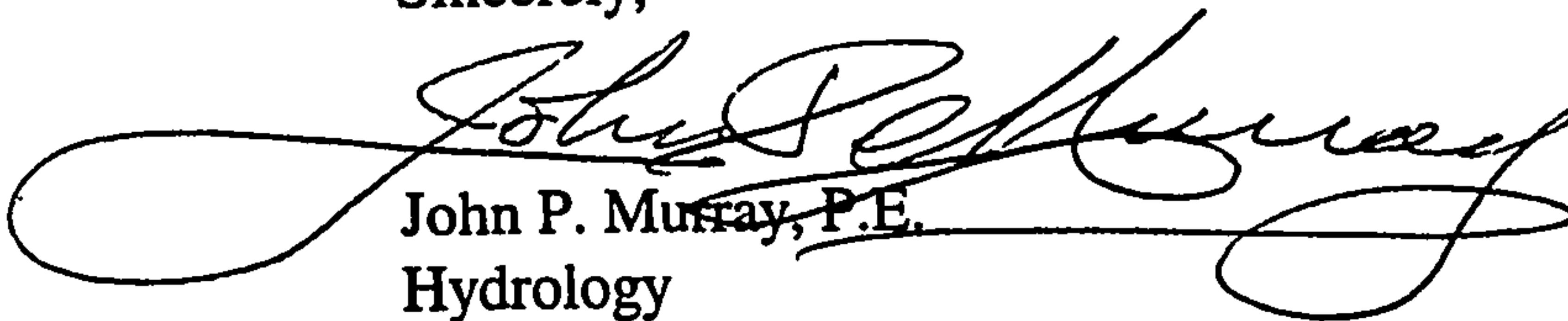
Dear Mr. Krenik:

Based on the information provided on your November 30, 1999 submittal, the above referenced project is approved for Certificate of Occupancy.

A 30-day temporary C.O. had been issued on December 2, 1999.

If I can be of further assistance, please feel free to contact me at 924-3984.

Sincerely,


John P. Murray, P.E.
Hydrology

c: WR
✓ File



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

April 23, 1999

Gregory Krenik, P.E.
Mark Goodwin & Assoc.
P.O. Box 90606
Albuquerque, NM 87199

**RE: JEFFERSON COURT, TRACT C-3-D-3 (E17-D59). DRAINAGE REPORT,
GRADING & DRAINAGE PLAN FOR SITE DEVELOPMENT PLAN FOR
BUILDING PERMIT AND BUILDING PERMIT APPROVALS. ENGINEER'S
STAMP DATED MARCH 24, 1999.**

Dear Mr. Krenik:

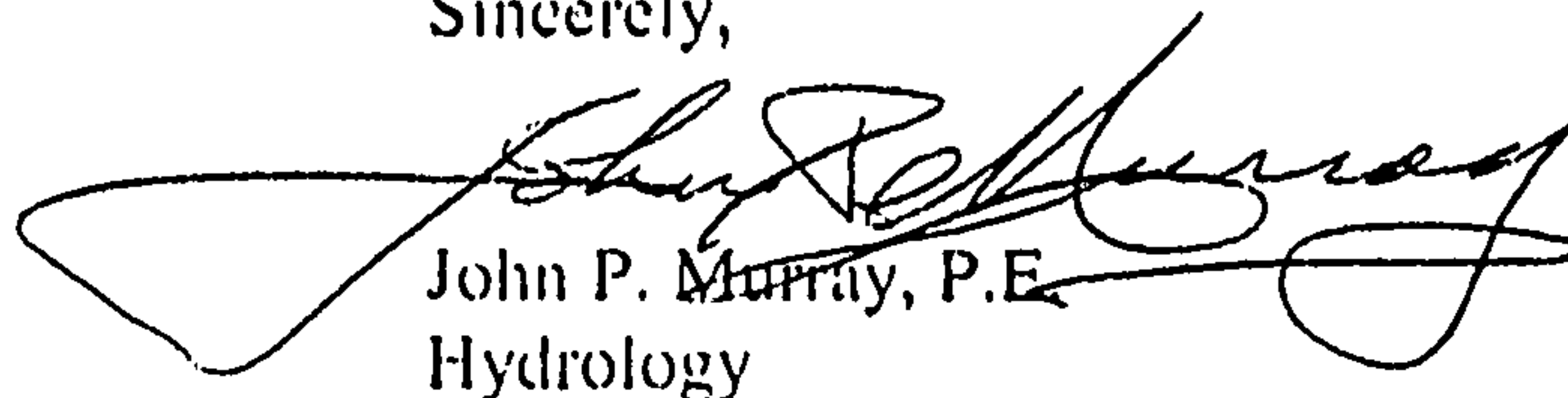
Based on the information provided on your March 25, 1999 submittal, the above referenced project is approved for Site Development Plan for Building Permit and for Building Permit.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Prior to Certificate of Occupancy approval, an Engineer's Certification per the DPM will be required.

If I can be of further assistance, please feel free to contact me at 924-3984.

Sincerely,


John P. Murray, P.E.
Hydrology

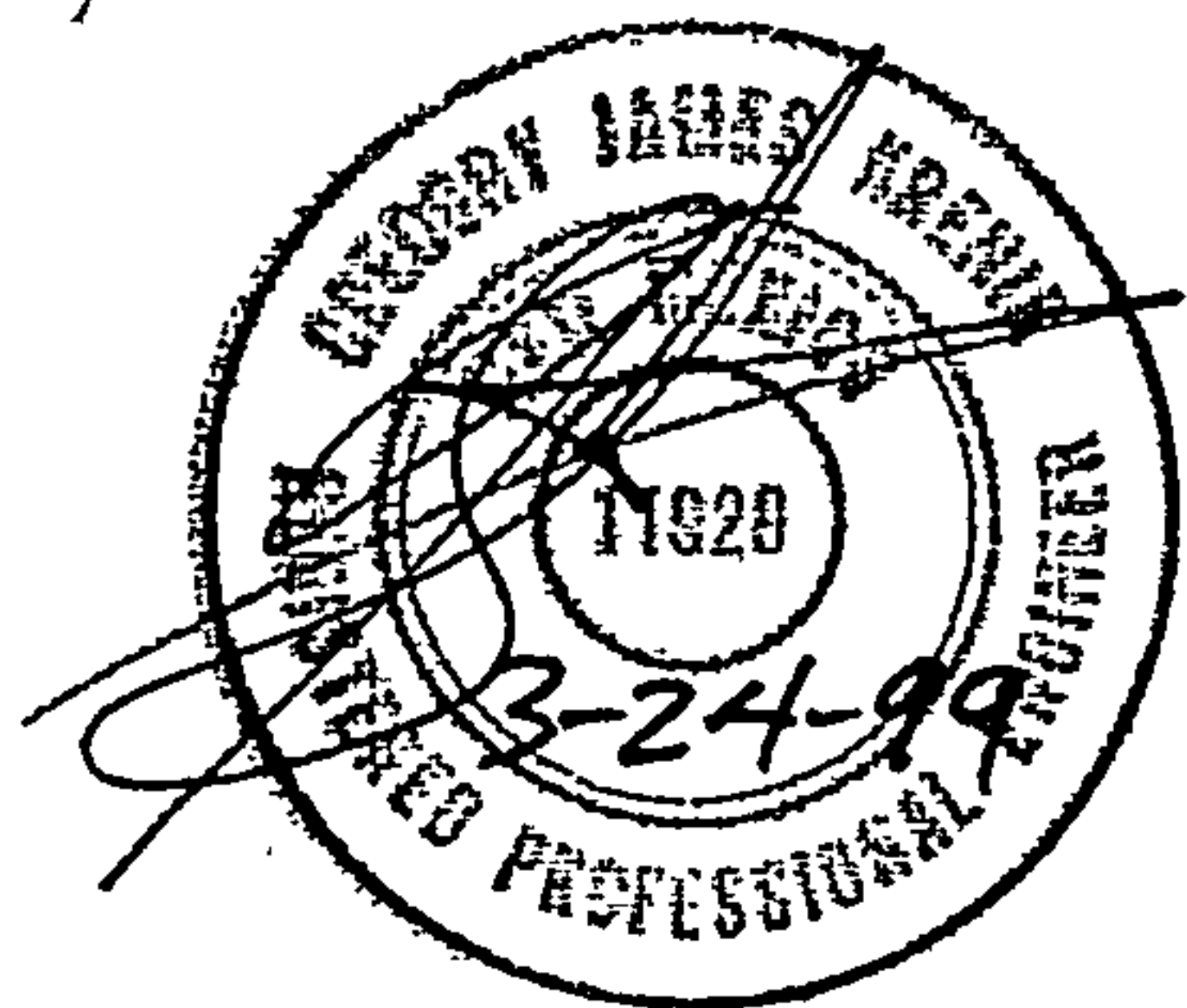
c: ✓ Andrew Garcia
File

DRAINAGE CALCULATIONS

FOR

JEFFERSON COURT

TRACT C-3 - D-3





D. Mark Goodwin & Associates, P.A.
Consulting Engineers

P.O. BOX 90606, ALBUQUERQUE, NM 87199
(505) 828-2200 FAX 797-9539
e-mail: dmgs@swcp.com

PROJECT JEFFERSON COURT C-3-E-1
SUBJECT DRAINAGE CALCS
BY GSK DATE 3-24-99
CHECKED _____ DATE _____
SHEET 1 OF _____

- SITE DOES NOT LIE IN A 100 YR FLOOD ZONE PER FIRM MAP NO. 35001C0139 DATED SEPT. 20, 1996
- OFFSITE FLOWS DO NOT IMPACT THE SITE.
- THIS IS PART OF THE DRAINAGE MANAGEMENT PLAN FOR GROUP NINE INDUSTRIAL PARK BY BOHANNAN HUSTON - 1/95 (SEE ENCLOSED PLAN)
- TOTAL AREA = 0.7693 AC
TYPE "D" = 60.68%
TYPE "B" = 39.32%
 $P_1 = 2.05 \text{ in}$
 $P_6 = 2.38 \text{ in}$
 $P_{24} = 2.72 \text{ in}$
- FROM HYMO OUTPUT SHEETS 2-4
 $Q = 2.96 \text{ CFS.}$
THIS IS LESS THAN THE ALLOWABLE 3.30 CFS PER THE MASTER PLAN.
- DIRECT DISCHARGE IS ALLOWED TO JEFFERSON PLAZA PER THE MASTER PLAN.

Schlegel Lewis Architects

January 21, 2000

Mr. Mike Zamora
City of Albuquerque
Traffic Division
P.O. Box 1293
Albuquerque, NM 87103

Re: 5981 Jefferson Court
Letter of Architectural Certification submitted for final Certificate of Occupancy

Dear Mr. Zamora,

We have visited the above referenced site and to the best of our knowledge, the circulation areas, parking spaces, including HC spaces, sidewalks, ramps and landscaped areas are in general conformance with the approved site plan.

If you have any questions, please feel free to call our office at 247-1529.

Sincerely,

A large, stylized handwritten signature in black ink, appearing to be 'JCL' with a long horizontal stroke extending to the right.

James C Lewis

jcl/nqm