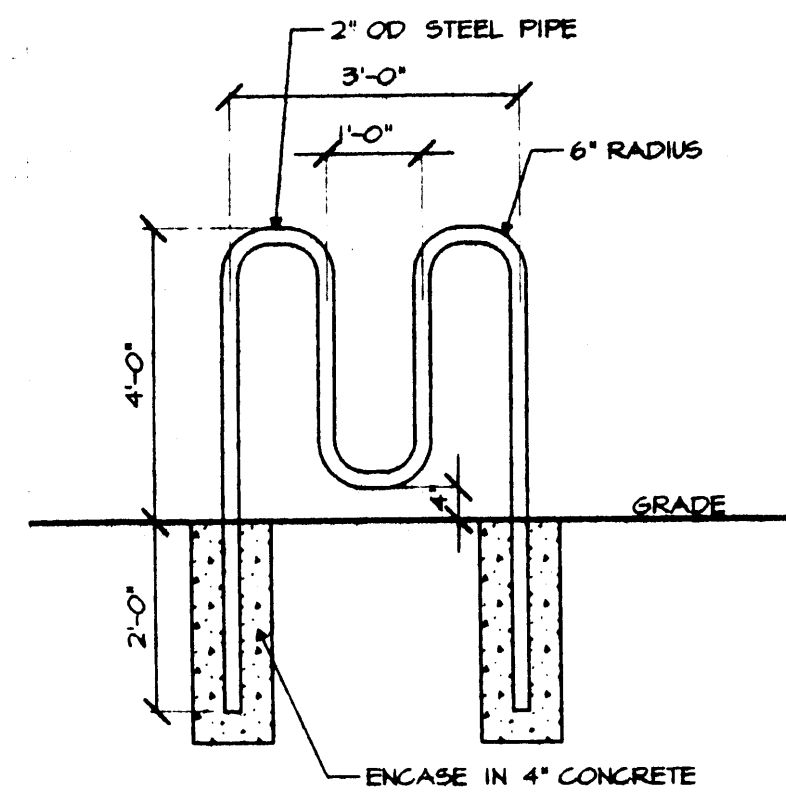




A BIKE RACK DETAIL
Scale: 1/2" = 1'-0"

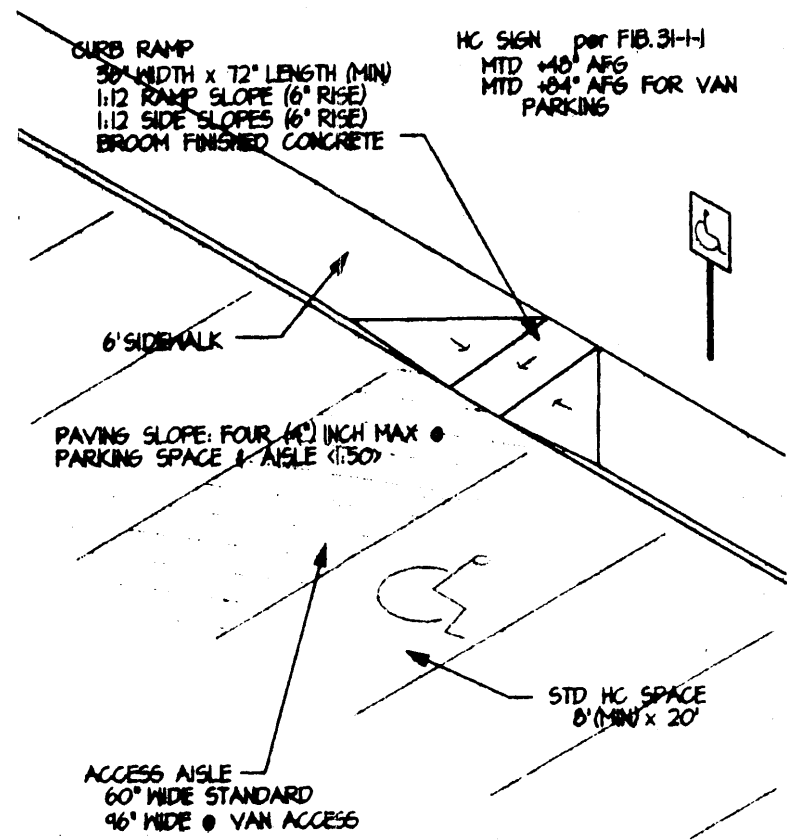
EARTHWORK COMPACTION
95% (MINIMUM) DENSITY • FOUNDATIONS
90% (MINIMUM) DENSITY UNDER SLABS
90% (MINIMUM) DENSITY • PAVING AREAS

EARTHWORK FILL
MATERIAL CLEAN & FREE OF ORGANIC MATTER
BACKFILL IN 6"-8" LIFTS
GRADE TO CONTOURS SHOWN ON PLANS
MINIMUM 1% GRADE ON LANDSCAPING

UTILITIES
EXTEND UTILITIES IN ACCORDANCE WITH:
MUNICIPAL ORDINANCES (WATER & SEWER)
REGULATIONS OF PRIVATE UTILITY COMPANIES

PAVING SUB-BASE
SCARIFY TO 6" (MINIMUM)
COMPACTION TO 90% (MINIMUM) DENSITY

PAVING
2" ASPHALTIC CONCRETE AT ALL DRIVEWAYS
2" ASPHALTIC CONCRETE AT PARKING SPACES
ROLLER COMPACTED AND SEALED
MINIMUM 1/2% SLOPE TO DRAINAGE



B STANDARD HC RAMP
No Scale

DEMOLITION NOTES
DEMOLITION AND REMOVAL FROM SITE: THE CURB
AND ASPHALT, INCLUDING CONCRETE AND
SOME LANDSCAPING AS INDICATED ON DRAWINGS.

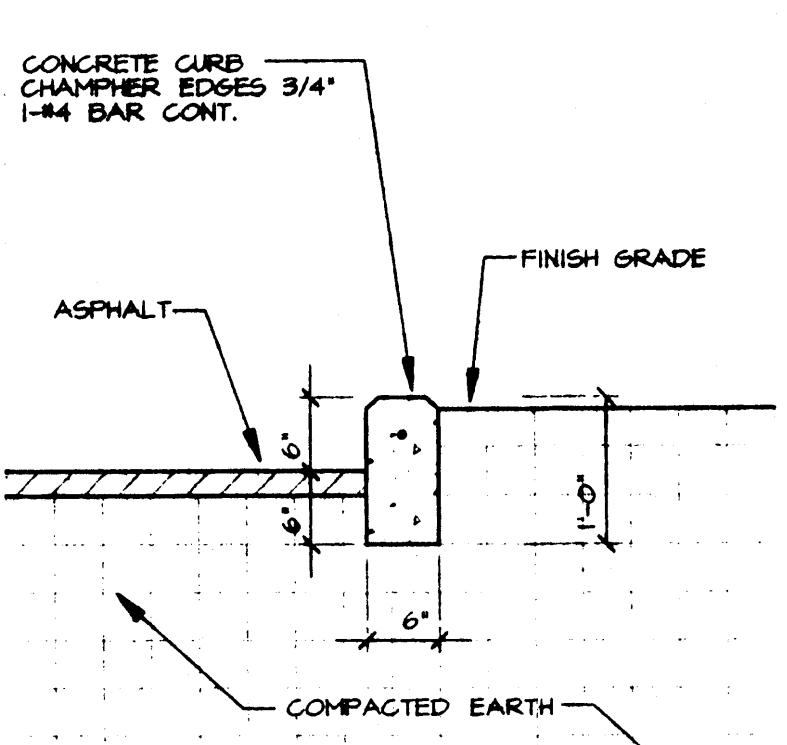
ENSURE SAFE PASSAGE AND PREVENT INJURY OF
PERSONS AROUND AREA OF DEMOLITION. CONDUCT
OPERATIONS TO PREVENT DAMAGE TO ADJACENT
BUILDINGS, STRUCTURES, OTHER FACILITIES,
LANDSCAPING, CONCRETE SIDEWALKS AND ASPHALT
PAVING.

PROMPTLY REPAIR DAMAGES CAUSED TO ADJACENT
FACILITIES BY DEMOLITION OPERATIONS AT NO COST
TO OWNER.

USE WATER SPRINKLING, TEMPORARY ENCLOSURES
AND OTHER SUITABLE METHODS TO LIMIT DUST AND
DIRT RISING AND SCATTERING IN AIR TO LOWEST
PRACTICABLE LEVEL, COMPLY WITH GOVERNING
REGULATIONS PERTAINING TO ENVIRONMENTAL
PROTECTION.

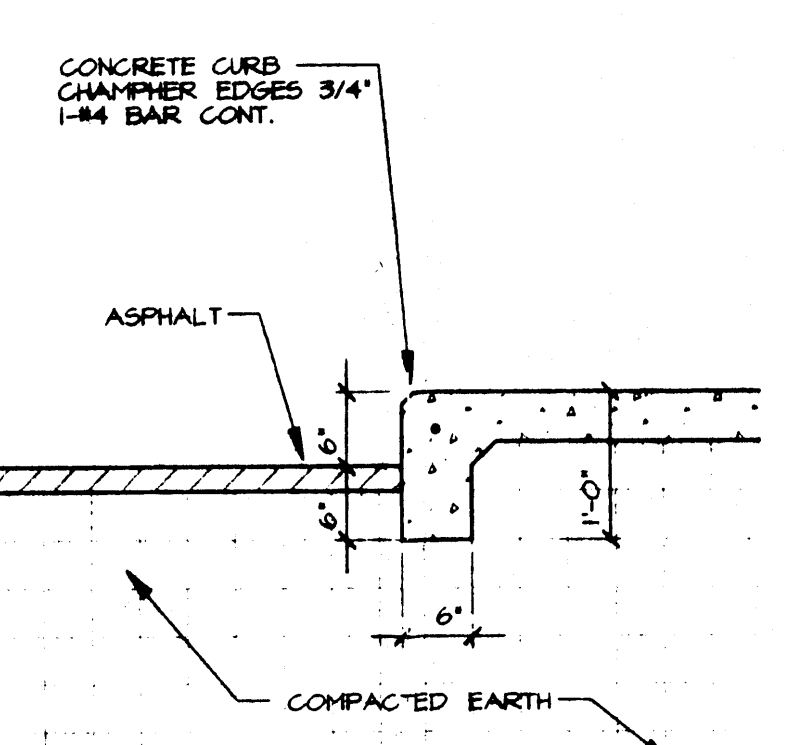
DEMOLISH AND REMOVE BELOW-GRADE
CONSTRUCTION AND CONCRETE SLABS ON GRADE
AND ALL NATURAL VEGETATION, HUMUS OR DEBRIS
ENCOUNTERED.

TRANSPORT MATERIALS REMOVED FROM DEMOLISHED
STRUCTURES AND DISPOSE OFF OF SITE ACCORDING
TO EXISTING REGULATION.



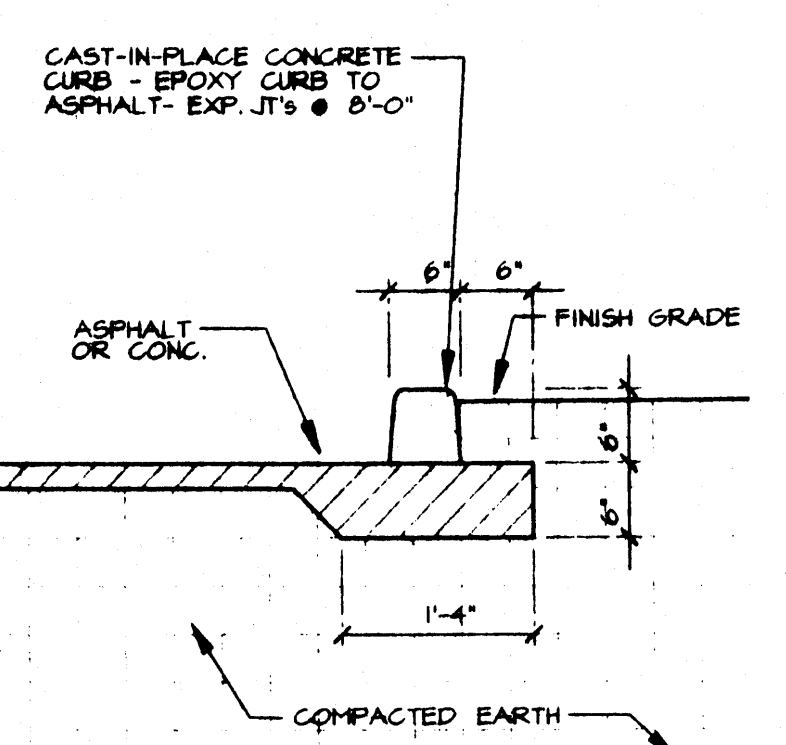
C TURNDOWN CURB DETAIL
Scale: 3/4" = 1'-0"

The engineer's certification required by the Hydrology section needs to include: certification that
this site was constructed in accordance with the Traffic Circulation Layout (TCL) before C.O. is
released.



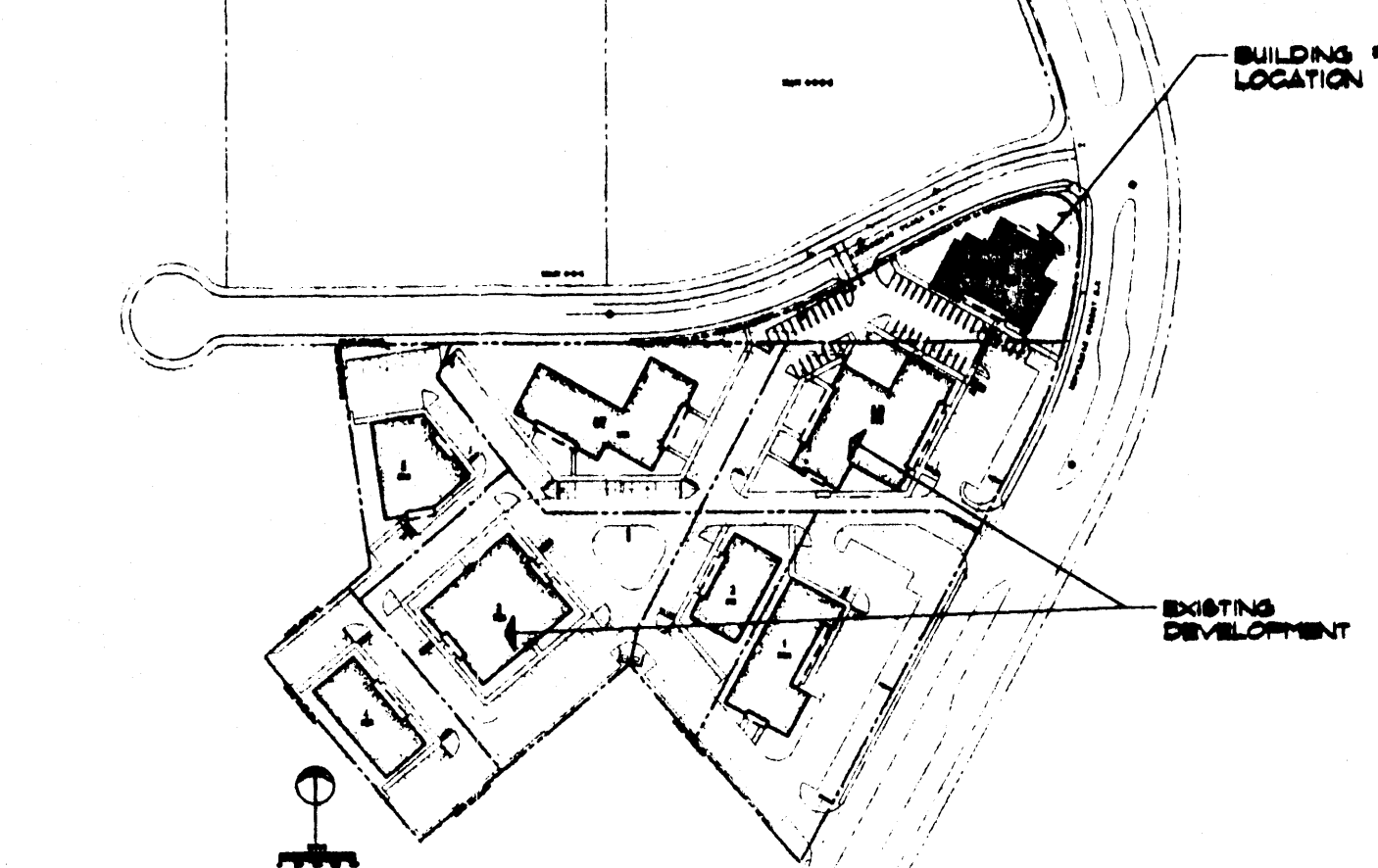
D STANDUP CURB DETAIL
Scale: 3/4" = 1'-0"

The engineer's certification required by the Hydrology section needs to include: certification that
this site was constructed in accordance with the Traffic Circulation Layout (TCL) before C.O. is
released.

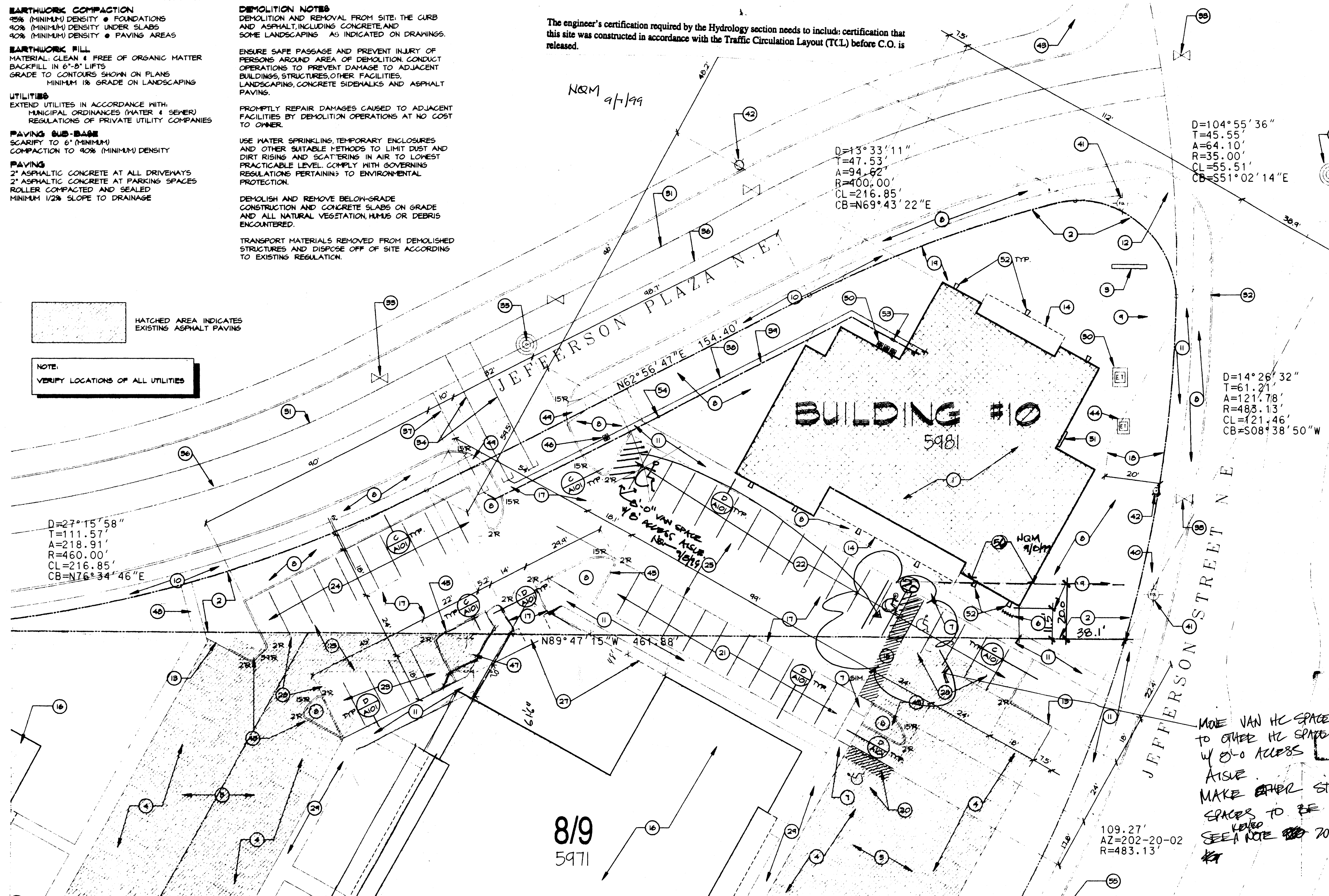


E ALTERNATE CURB DETAIL
Scale: 3/4" = 1'-0"

The engineer's certification required by the Hydrology section needs to include: certification that
this site was constructed in accordance with the Traffic Circulation Layout (TCL) before C.O. is
released.



F OVERALL SITE PLAN
No Scale



HATCHED AREA INDICATES
EXISTING ASPHALT PAVING

NOTE:
VERIFY LOCATIONS OF ALL UTILITIES

8/9
5971

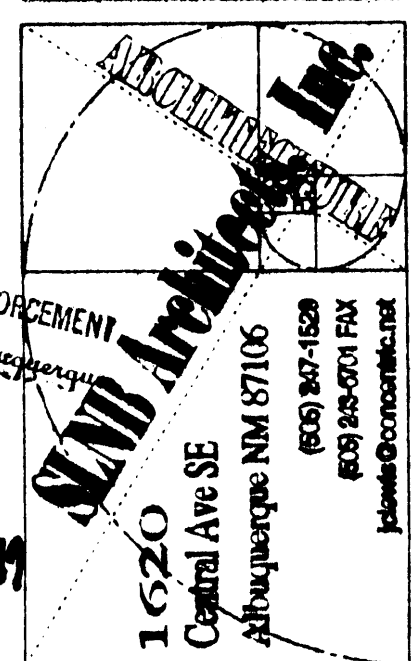
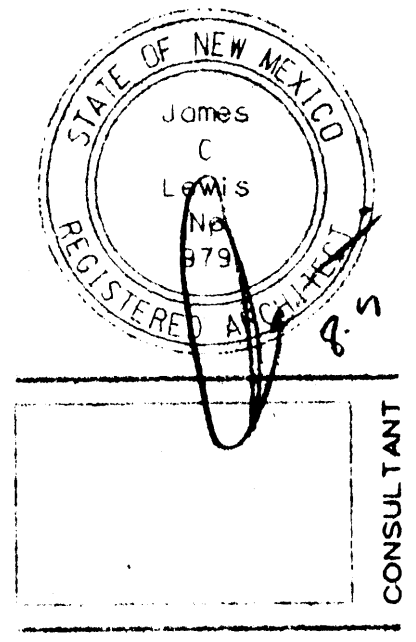
- PROPOSED BUILDING LOCATION
- PROPERTY LINE
- MONUMENT SIGN LOCATION. SEE SHEET A201, DTL. 'F'
- EXISTING PARKING LOT
- EXISTING 24'-0" WIDE DRIVE AISLE
- BIKE RACK. SEE DTL. 'A' (1/20 PARKING SPACES)
- NEW HC RAMP. SEE DTL. 'B' THIS SHEET
- LANDSCAPED AREA. SEE SHEET L101
- 10'-0" PUBLIC UTILITY EASEMENT
- EXISTING 4'-0" SIDEWALK
- NEW 6'-0" SIDEWALK
- EXISTING HC RAMP
- EXISTING CURB TO REMAIN
- LINE OF CANOPY
- 5'-0" WIDE PAINTED CROSSWALK
- EXISTING BUILDING
- NEW 2" ASPHALT PAVING
- 20'-0" SETBACK LINE
- 15'-0" SETBACK LINE (1) VAN 8'-0" W/ 4' ACCESS
(2) 15'-0" SETBACK LINE (1) VAN 8'-0" W/ 4' ACCESS
(2) 15'-0" SETBACK LINE (1) VAN 8'-0" W/ 4' ACCESS
- NEW 3'x20' PARKING SPACES
- NEW 3'x20' PARKING SPACES INCLUDING
(2) 15'-0" SETBACK LINE (1) VAN 8'-0" W/ 4' ACCESS
- NEW 3'x20' PARKING SPACES
- NEW 3'x20' PARKING SPACES
- NEW 24'-0" WIDE DRIVE AISLE
- NEW 32'-0" WIDE DRIVE ENTRY PER CITY STD.
- NEW 6' HIGH CEDAR FENCE W/ GATE
- EXISTING CURB & ASPHALT TO BE
DEMOLISHED & REPAIRED AS REQUIRED
- EXISTING 6'-0" SIDEWALK TO REMAIN
- EXISTING ELECTRICAL TRANSFORMER TO REMAIN
- EXISTING WATER MAIN TO REMAIN
- EXISTING FIBER OPTICS / COMM. PULLBOX TO REMAIN
- EXISTING WATER VALVE IN STREET
- EXISTING WATER LINE STUB-OUT TO REMAIN
- EXISTING SANITARY SEWER MANHOLE
- EXISTING SANITARY SEWER MAIN IN STREET
- EXISTING SANITARY SEWER LINE STUB-OUT TO REMAIN
- 1" WATER LINE CONNECTION TO PROPOSED BLDG.
- 4" SEWER LINE CONNECTION TO PROPOSED BLDG.
- TELEPHONE MANHOLE
- EXISTING FIBER OPTICS LINE
- EXISTING FIRE HYDRANT
- EXISTING TELEPHONE PEDESTAL
- NEW ELECTRICAL TRANSFORMER FOR PROPOSED
BUILDING. LOCATION TO BE VERIFIED.
- NEW PARKING ISLAND
- PROPOSED WATER METER, VERIFY LOCATION.
- REMOVE EXISTING FENCE & GATE AND REPLACE
TO NEW LOCATION & CONFIGURATION. SEE NOTE 27.
- NEW 4" CONCRETE WALK
- NEW HC RAMP PER CITY STANDARDS. SEE DTL. 'B'
SIMILAR.
- PROPOSED GAS METERS LOCATION.
- PROPOSED ELECTRICAL ENTRANCE. SEE SHEET E101.
- PRECAST SPLASH BLOCK.
- TWO-WAY CLEANOUT TO GRADE W/ CONC. COLLAR
- ONE-WAY CLEANOUT TO GRADE W/ CONC. COLLAR.
(NOTE: ONE-WAY CLEANOUT EVERY 100'-0")
- EXISTING FIRE HYDRANT APPROX. 500'-0" SOUTH
OF PROPERTY LINE
- PERMANENT 1-HOUR FIRE RATED WALL
ASSEMBLY. NOM 9/10/99
DOES NOT REQUIRE 30" PARAPET.
SEE UBC '97 709.4.1. NOM 9/10/99

ALBUQUERQUE
BLDG & SAFETY
AUG 18 1999
U.S.C.
PLAN CHECK
SECTION

MAKE VAN HC SPACE
TO OTHER HC SPACES
W/ 8'-0" ACCESS
AISLE.
MAKE OTHER STD
SPACES TO BE 8'-10" x 20'-0"
SEE A NOTE 20. NO
12/9/99

F-17-D059

KEYER NOTES



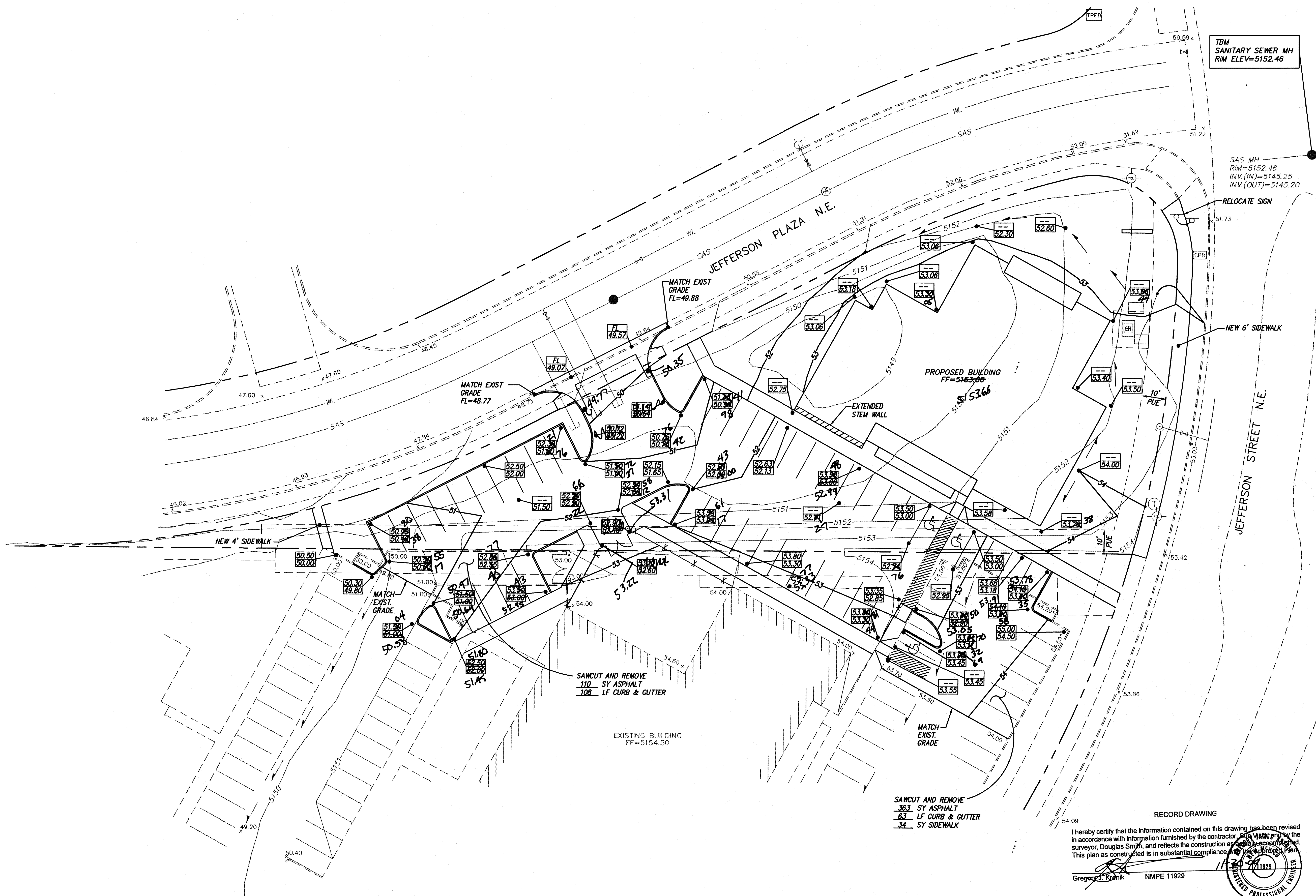
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Jefferson Court
Building Number Ten
5981 Jefferson Street NE
Albuquerque, New Mexico

ISSUE DATE:
03 AUG 99
REVISIONS:

**SITE AND
UTILITY PLAN**

A101

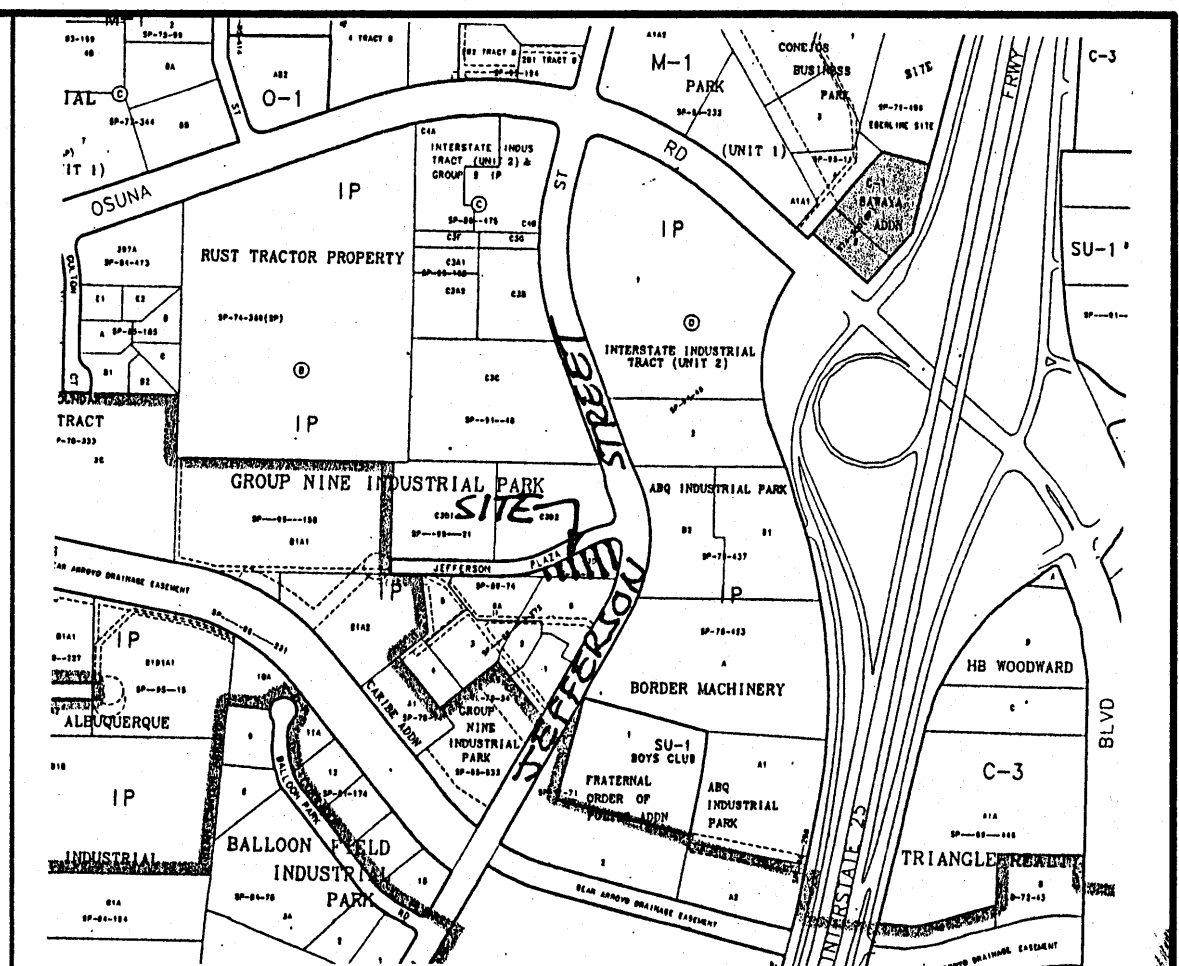


RECORD DRAWING

I hereby certify that the information contained on this drawing has been revised in accordance with information furnished by the contractor, and that I am a duly licensed surveyor, Douglas Smith, and reflects the construction as shown on this plan. This plan as constructed is in substantial compliance with the approved plan.

Gregory J. Kranik NMPE 11929

REGISTERED PROFESSIONAL ENGINEER



VICINITY MAP ZONE MAP: E-17-Z

T B M (TEMPORARY BENCHMARK)

SANITARY SEWER MANHOLE AT INTERSECTION OF JEFFERSON STREET AND JEFFERSON PLAZA RIM ELEVATION = 5152.46.

ACS BENCHMARK

NMSHC BRASS TABLE STAMPED "1-25-16, 1969" STATION IS LOCATED 0.6 MILES NE OF DOWNTOWN ALBUQUERQUE, IN THE CENTER OF THE MEDIAN OF U.S. INTERSTATE HIGHWAY 25 (I-25), AT THE NORTH END OF THE I-25 BRIDGES CROSSING OSUNA ROAD, N.E.

STATION MARK IS A STANDARD NMSHC BRASS TABLE, STAMPED "1-25-16, 1969", SET IN TOP OF A CONCRETE POST, PROJECTING 0.2 FT. ABOVE THE GROUND.

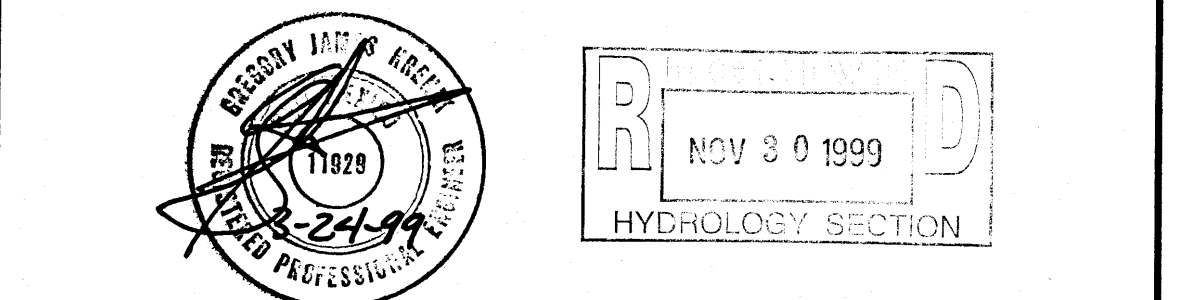
GROUND-GRID FACTOR=0.99966308
GEOGRAPHIC POSITION (NAD 1927)
 $\Delta\alpha = -00^{\circ}11'41''$

X=398,964.46 Y=1,511,266.74 ELEVATION=5195.70'

LEGAL DESCRIPTION

TRACT C-3-D-3 GROUP NINE INDUSTRIAL PARK
ALBUQUERQUE, NEW MEXICO.

- LEGEND**
- As built**
PROPOSED SPOT ELEVATIONS
 - EXISTING SPOT ELEVATIONS
 - EXISTING CONTOUR
 - PROPOSED CONTOUR
 - EXISTING CURB & GUTTER
 - PROPOSED WALL
 - EXIST ASPHALT SWALE
 - PROPOSED SWALE



**JEFFERSON COURT
GRADING AND DRAINAGE PLAN**

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Designed: DMG	Drawn: WLV	Checked: DMG	Sheet 1 of 1
Scale: 1" = 20'	Date: 3/99	Job: 99036	