

**SITE DATA**

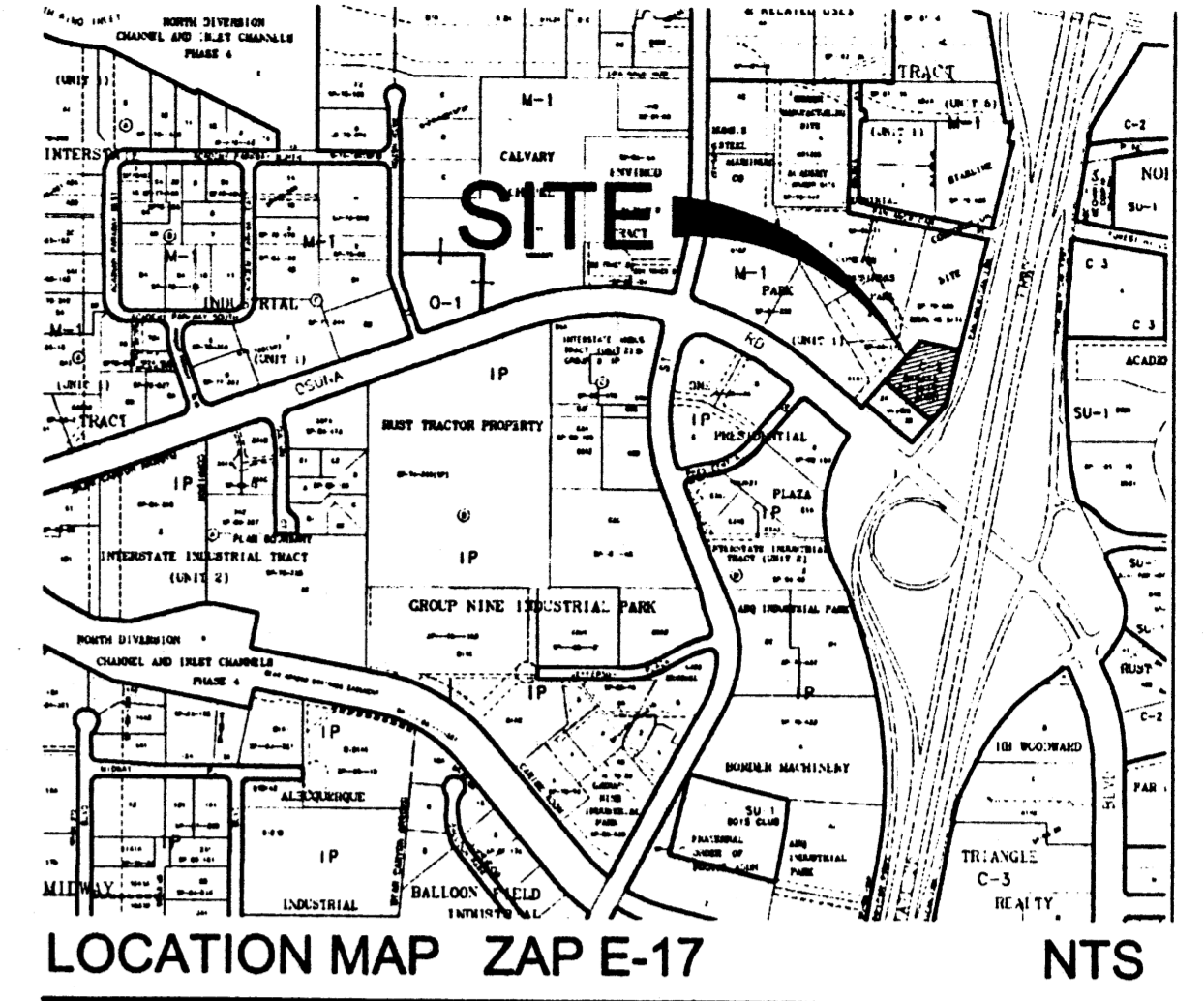
LEGAL DESCRIPTION:	LOT 1, SAWAYA ADDITION
ZONING:	C-2
GROSS SITE AREA:	2.00 ACRES (87,120 SF)
BUILDING AREA:	5,100 SF
NET SITE AREA:	1.88 ACRES (82,020 SF)
LANDSCAPED AREA:	6,115 SF (19.4%)
PAVED AREA:	31,497 SF
OUTDOOR RETAIL AREA:	44,408 SF
PARKING SPACES REQUIRED:	
REGULAR	24
HANDICAP	2
TOTAL	26
PARKING SPACES PROVIDED:	
REGULAR	63
HANDICAP	4
TOTAL	67

- KEYED NOTES**
- EXISTING ASPHALT PAVING TO REMAIN.
  - EXISTING CONCRETE CURB AND GUTTER.
  - EXISTING CHAIN LINK FENCE TO REMAIN.
  - REMOVE & DISPOSE EXISTING BLOCK WALL.
  - REMOVE & DISPOSE EXISTING CONCRETE WALK.
  - EXISTING POWER POLE.
  - EXISTING FIRE HYDRANT.
  - REMOVE & DISPOSE EXISTING CHAIN LINK FENCE.
  - EXISTING BILLBOARD TO REMAIN.
  - EXISTING BLOCK WALL TO REMAIN.
  - REMOVE & DISPOSE EXISTING ASPHALT.
  - NEW 6" CONCRETE CURB.
  - REMOVE & DISPOSE EXISTING CONCRETE RUNDOWN CURB. REPLACE WITH STANDARD CURB & GUTTER PER COA STD DWG 2415A.
  - REMOVE & DISPOSE EXISTING CONCRETE CURB & GUTTER. CONSTRUCT CONCRETE VALLEY GUTTER PER COA STD DWG 2420.
  - NEW 6" CHAIN LINK FENCE.
  - NEW 20' CHAIN LINK ROLL GATE.
  - NEW CONCRETE SIDEWALK FLUSH WITH PAVEMENT- NO CURB.
  - NEW LANDSCAPING - SEE LANDSCAPING PLAN.
  - NEW REFUSE ENCLOSURE PER COA SPEC.
  - INSTALL NEW CONCRETE TIRE STOP (TYP).
  - PROVIDE STRIPING AT ACCESSIBLE SPACES PER ADA CODE. SEE SHEET C4 FOR SIGNAGE DETAILS.
  - FUTURE SECONDARY ACCESS POINT.
  - EXISTING IRRIGATION VALVES.
  - NEW LANE STRIPING. SEE NMDOT ACCESS PERMIT.
  - EXISTING LANE STRIPING.
  - EXISTING GAS VALVE.
  - PROVIDE 12" CURB BLOCKOUT FOR DRAINAGE.
  - PROVIDE 36" CURB BLOCKOUT AT DRAINAGE SWALE.
  - CONSTRUCT DRY STACK RETAINING WALL. SEE SHEET C4 FOR DETAILS.
  - CONSTRUCT CONCRETE CHANNEL. SEE SHEET C5 FOR DETAILS.
  - REMOVE & DISPOSE EXISTING CHANNEL. CONSTRUCT NEW CHANNEL. SEE SHEET C5 FOR DETAILS.
  - REMOVE & DISPOSE EXIST STD C&G. CONSTRUCT DECEL LANE. SEE NMDOT ACCESS PERMIT.
  - CONSTRUCT STD C&G PER COA STD DWG 2415A. SEE NMDOT ACCESS PERMIT.

**PROPERTY ADDRESS**  
 6921 WEST PAN AMERICAN FREEWAY NE  
 ALBUQUERQUE, NEW MEXICO 87109

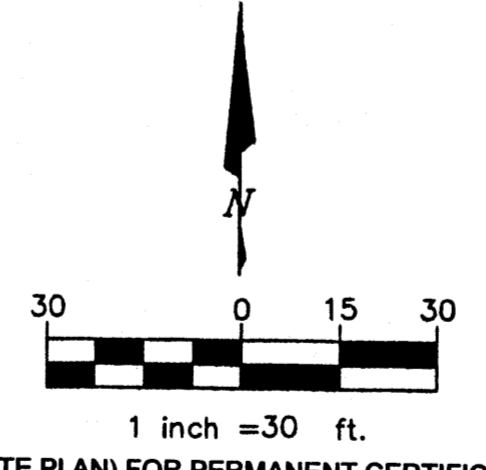
**LEGAL DESCRIPTION:**  
 TRACT NUMBERED ONE (1) OF THE SAWAYA ADDITION, A TRACT OF LAND WITHIN THE ELENA GALLEGOS GRANT, WITHIN PROJECTED SECTION 26, TOWNSHIP 11 NORTH, RANGE 3 EAST, N.M.P.M., BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON FEBRUARY 27, 1975, IN PLAT BOOK C10, FOLIO 92.

- SURVEY NOTES**
- CONTOUR INTERVAL IS ONE (1) FOOT.
  - ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE STATION No. "B-D17A", HAVING AN ELEVATION OF 5145.55.
  - UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/ OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
  - LEGAL DESCRIPTION AND EASEMENTS SHOWN WAS PROVIDED BY FIDELITY NATIONAL TITLE CO. COMMITMENT No. 02-1018219-B-LH.
  - PLATS USED TO ESTABLISH BOUNDARY.  
 A: PLAT OF SAWAYA ADDITION  
 FILED: FEBRUARY 27, 1975 IN C10, FOLIO 92  
 B: FIELD WORK PERFORMED ON: APRIL 11, 2002



**LEGEND**

ITEM	EXISTING	PROPOSED
WATERLINE	EX 6" W	6" W
SANITARY SEWER	EX 8" SAS	8" SAS
STORM SEWER	EX 36" SD	36" SD
FIRE HYDRANT VALVE	PH	PH
METERED WATER SERVICE		
MANHOLE		
CURB AND GUTTER		
HEADER CURB		
DROP INLET		
OVERHEAD ELEC WITH POWER POLE	OHE	OHE
UNDERGROUND ELEC, GAS, TEL, TV	UGT	UGT
CURB ELEVATIONS		
SPOT ELEV.	x 16.7	16.7
SEWER SERVICE		
RIGHT OF WAY EASEMENT		
POWER POLE (GUYED)	PP	PP
CENTERLINE		
TOP OF ASPHALT ELEV.	EX TA 16.2	TA 16.2
TOP OF CURB ELEV.	EX TC 16.2	TC 16.2
CONTOUR W/ ELEVATION	4982	92
RETAINING WALL		
ASPHALT PAVING		
CHAIN LINK FENCE		
DRAINAGE SWALE		



ENGINEERS CERTIFICATION (DRB SITE PLAN) FOR PERMANENT CERTIFICATE OF OCCUPANCY

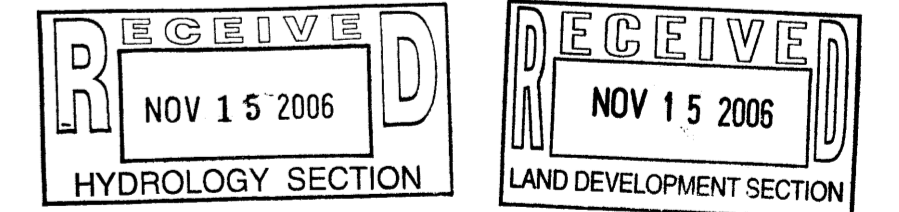
I, Jack C. Milligan, NMPE 3924, of the firm Brasher and Lorenz, Inc., hereby certify that this project has been constructed in substantial compliance with and in accordance with the design intent of the approved DRB Site Plan dated 5-11-06. The record information edited onto the original design document has been obtained by me or under my direct supervision and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Certificate of Occupancy.

The record information presented hereon is not necessarily complete and is intended only to verify substantial compliance with the traffic aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Jack C. Milligan  
 Jack C. Milligan, NMPE 3924  
 Date: 4/14/06

**TRAFFIC CIRCULATION LAYOUT APPROVED**

Signed: [Signature] Date: 4-14-06

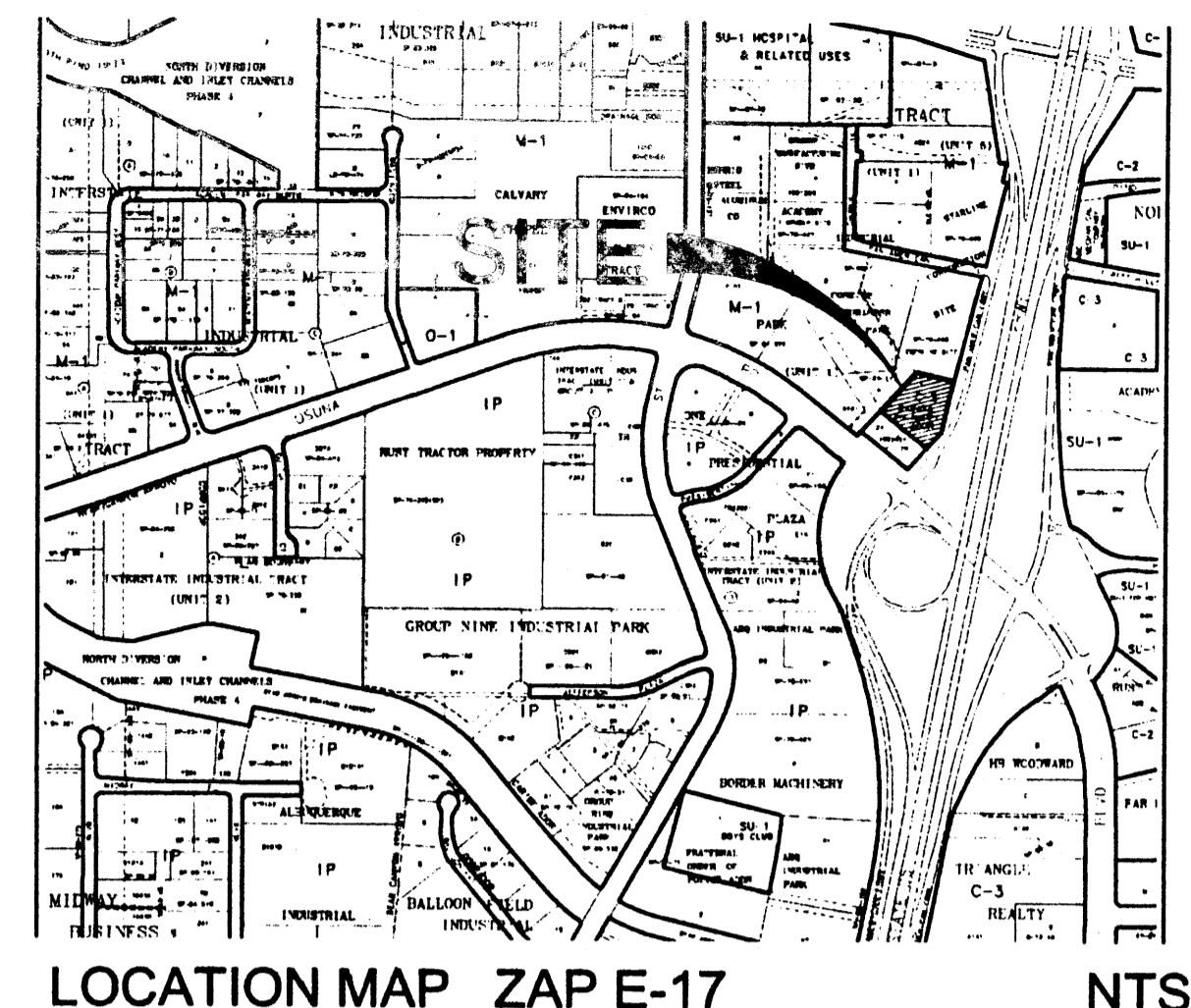
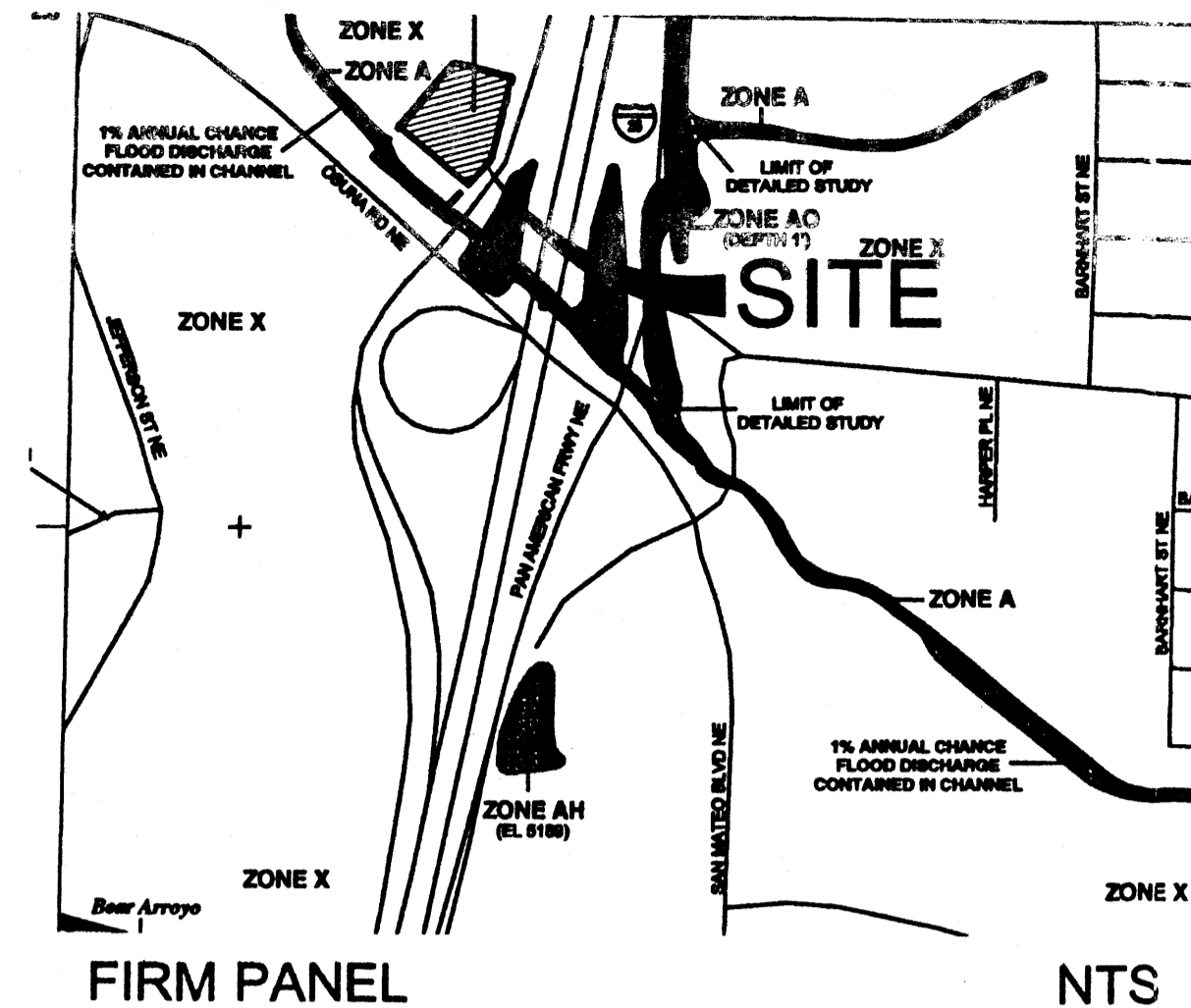
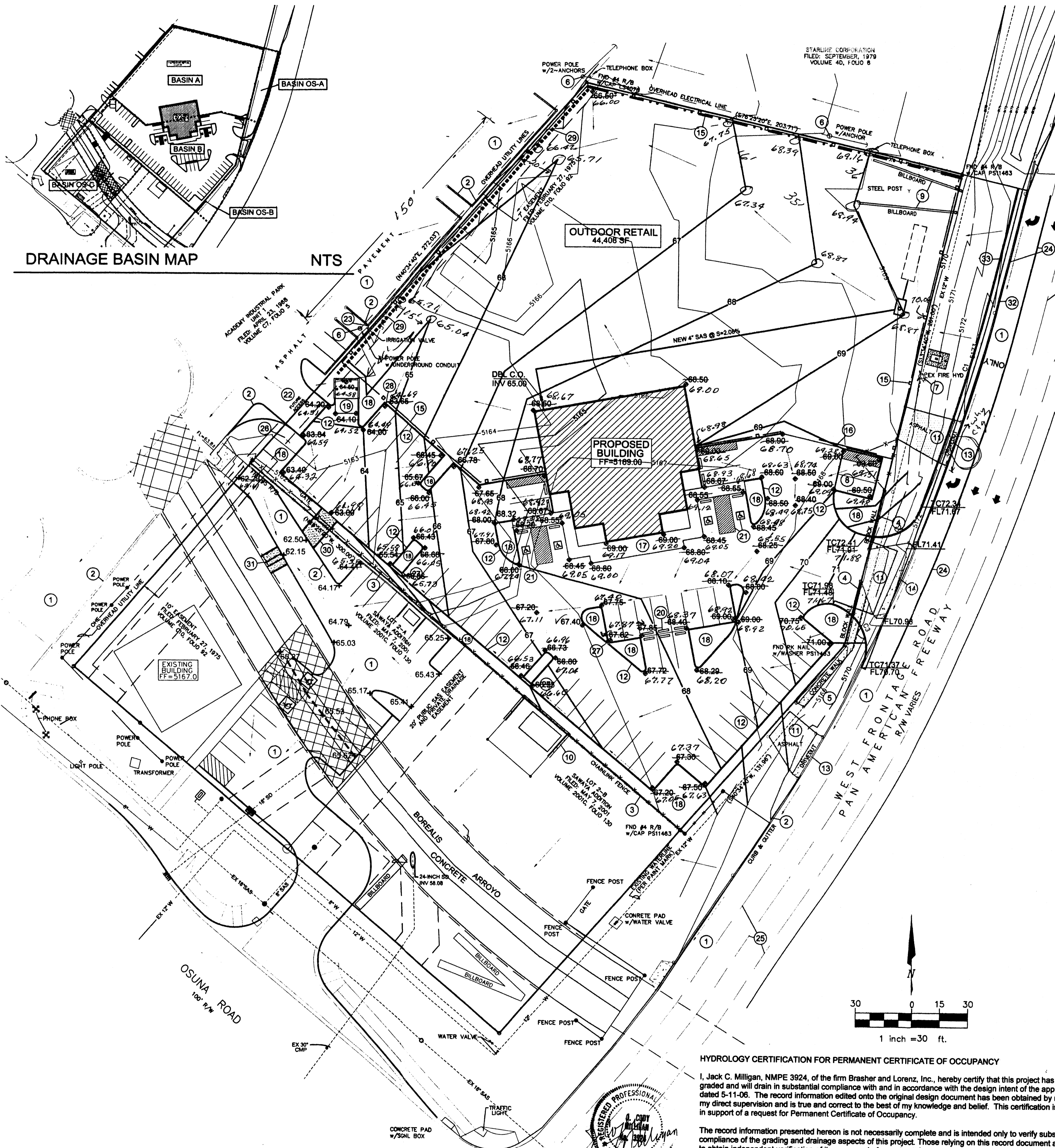


**BRASHER & LORENZ CONSULTING ENGINEERS**  
 2201 San Pedro NE Building Suite 1200  
 Albuquerque, New Mexico 87110  
 Ph: 505-888-6088 Fax: 505-888-6188

**PURPLE SAGE GARDEN CENTER SITE PLAN**

DESIGN	DRAWN	CHECKED	SHEET
SCALE 1"=30'	BLI JOB 06505	DATE 03-24-2006	01

APR 05 2006  
 HYDROLOGY SECTION



**KEYED NOTES**

- EXISTING ASPHALT PAVING TO REMAIN.
- EXISTING CONCRETE CURB AND GUTTER.
- EXISTING CHAIN LINK FENCE TO REMAIN.
- REMOVE & DISPOSE EXISTING DOCK WALL.
- REMOVE & DISPOSE EXISTING CONCRETE WALK.
- EXISTING POWER POLE.
- EXISTING FIRE HYDRANT.
- REMOVE & DISPOSE EXISTING CHAIN LINK FENCE.
- EXISTING BILLBOARD TO REMAIN.
- EXISTING BLOCK WALL TO REMAIN.
- REMOVE & DISPOSE EXISTING ASPHALT.
- NEW 6" CONCRETE CURB.
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- REMOVE & DISPOSE EXISTING CONCRETE CURB & GUTTER. CONSTRUCT CONCRETE VALLEY GUTTER PER COA STD DWG 2420.
- NEW 8" CHAIN LINK FENCE.
- NEW 20' CHAIN LINK ROLL GATE.
- NEW CONCRETE SIDEWALK FLUSH WITH PAVEMENT- NO CURB.
- NEW LANDSCAPING - SEE LANDSCAPING PLAN.
- NEW REFUSE ENCLOSURE PER COA SPEC.
- INSTALL NEW CONCRETE TIRE STOP.
- PROVIDE STRIPING AT ACCESSIBLE SPACES PER ADA CODE. SEE SHEET C4 FOR SIGNAGE DETAILS.
- FUTURE SECONDARY ACCESS POINT.
- EXISTING IRRIGATION VALVES.
- NEW LANE STRIPING. SEE NMDOT ACCESS PERMIT.
- EXISTING LANE STRIPING.
- EXISTING GAS VALVE.
- REMOVE & DISPOSE EXISTING CHANNEL. CONSTRUCT NEW CHANNEL. SEE SHEET C4 FOR DETAILS.
- REMOVE & DISPOSE EXISTING STD C&G. CONSTRUCT DECAL LANE. SEE NMDOT ACCESS PERMIT.
- CONSTRUCT STD C&G PER COA STD DWG 2415A SEE NMDOT ACCESS PERMIT.

**PROPERTY ADDRESS**

6921 WEST PAN AMERICAN FREEWAY NE  
ALBUQUERQUE, NEW MEXICO 87109

**LEGAL DESCRIPTION:**

TRACT NUMBERED ONE (1) OF THE SAWAYA ADDITION, A TRACT OF LAND WITHIN THE ELENA GALLEGOS GRANT, WITHIN PROJECTED SECTION 26, TOWNSHIP 11 NORTH, RANGE 3 EAST, N.M.P.M., BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON FEBRUARY 27, 1975, IN PLAT BOOK C10, FOLIO 92.

**SURVEY NOTES**

- CONTOUR INTERVAL IS ONE (1) FOOT.
- ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE STATION No. "8-D12A", HAVING AN ELEVATION OF 5145.55.
- UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
- LEGAL DESCRIPTION AND EASEMENTS SHOWN WAS PROVIDED BY FIDELITY NATIONAL TITLE CO. COMMITMENT No. 02-1018219-B-LJH.
- PLATS USED TO ESTABLISH BOUNDARY.
  - PLAT OF SAWAYA ADDITION FILED: FEBRUARY 27, 1975 IN C10, FOLIO 92
  - FIELD WORK PERFORMED ON: APRIL 11, 2002

**HYDROLOGY CERTIFICATION FOR PERMANENT CERTIFICATE OF OCCUPANCY**

I, Jack C. Milligan, NMPE 3924, of the firm Brasher and Lorenz, Inc., hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 5-11-06. The record information edited onto the original design document has been obtained by me or under my direct supervision and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Permanent Certificate of Occupancy.

The record information presented hereon is not necessarily complete and is intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Jack C. Milligan, NMPE 3924  
Date 4/12/06

**LEGEND**

ITEM	EXISTING	PROPOSED
WATERLINE	EX 6" W	6" W
SANITARY SEWER	EX 8" SAS	8" SAS
STORM SEWER	EX 36" SD	36" SD
FIRE HYDRANT	—	—
VALVE	—	—
METERED WATER SERVICE	—	—
MANHOLE	—	—
CURB AND GUTTER	—	—
HEADER CURB	—	—
DROP INLET	—	—
OVERHEAD ELEC WITH POWER POLE	—	—
UNDERGROUND ELEC. GAS, TEL, TV	—	—
CURB ELEVATIONS	—	—
SPOT ELEV.	x 16.7	16.7
SEWER SERVICE	—	—
RIGHT OF WAY EASEMENT	—	—
POWER POLE (GUYED)	—	—
CENTERLINE	—	—
TOP OF ASPHALT ELEV.	EX TA 16.2	TA 16.2
TOP OF CURB ELEV.	EX TC 16.2	TC 16.2
CONTOUR W/ ELEVATION	—	—
RETAINING WALL	—	—
ASPHALT PAVING	—	—
CHAIN LINK FENCE	—	—
DRAINAGE SWALE	—	—

**DRAINAGE PLAN NOTES**

- BLI recommends that the Owner obtain a Geotechnical Evaluation of the on-site soils prior to foundation/structural design.
- This Plan recommends positive drainage away from all structures to prohibit ponding of runoff which may cause structural settlement. Future alteration of grades adjacent to the proposed structures is not recommended.
- Irrigation within 10 feet of any proposed structure is not recommended. Introduction of irrigation water into subsurface soils adjacent to the structure could cause settlement.
- This Plan is prepared to establish on-site drainage and grading criteria only. BLI assumes no responsibility for subsurface analysis, foundation/structural design, or utility design.
- Local codes may require all footings to be placed in natural undisturbed soil. If the Contractor plans to place footings on engineered fill, a certification by a registered Professional Engineer will be required. If the contractor wishes BLI to prepare the Certification, we must be notified PRIOR to placement of the fill.
- BLI recommends that the Owner obtain the services of a Geotechnical Engineer to test and inspect all earthwork aspects of the project.
- The property boundary shown on this Plan is given for information only to describe the project limits. Property boundary information shown hereon does not constitute a boundary survey. A boundary survey performed by a licensed New Mexico Registered Professional Surveyor is recommended prior to construction.
- All spot elevations are top of pavement unless noted otherwise.

Jack C. Milligan, NMPE 3924

**BRASHER & LORENZ**  
CONSULTING ENGINEERS  
2201 San Pedro NE Building 1 Suite 1200  
Albuquerque, New Mexico 87110  
Ph: 505-886-6088 Fax: 505-886-6188

**PURPLE SAGE GARDEN CENTER**  
GRADING & DRAINAGE PLAN

DESIGN	DAL	DRAWN	F. GIRON	CHECKED	DAL	SHEET
SCALE	1"=30'	BLI JOB	06505	DATE	03-29-2006	

RECEIVED  
NOV 15 2006  
HYDROLOGY SECTION