



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

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Project Title: MCT Frontage Road Property Building Permit #: _____ City Drainage #: EMD060

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: PORTION OF EBERLINE SITE, ACADEMY INDUSTRIAL PARK, UNIT #1 PROJECTED SECTION 26 TOWNSHIP 11 NORTH, RANGE 3E, NMPM CITY OF ALBUQUERQUE

City Address: SW Corner of Pan American Freeway NE and Pan American Place NE

Engineering Firm: Mark Goodwin and Associates Contact: Kelly Klein

Address: PO Box 90606 Albuquerque, NM 87199

Phone#: 505-828-2200 Fax#: _____ E-mail: kelly@goodwinengineers.com

Owner: MCT Industries Contact: Bennie Martinez

Address: 500 Tierra Montana Loop, Bernalillo, NM 87004

Phone#: 505-681-9917 Fax#: _____ E-mail: _____

Architect: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Other Contact: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply:

DEPARTMENT:

- ☒ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ ARCHITECT CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

DATE SUBMITTED: 7/27/2016 By: Kelly Klein

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☒ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____



COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____

CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development Review Services



Richard J. Berry, Mayor

September 7, 2016

Kelly Klein
Mark Goodwin & Associates, P.A.
P.O. Box 90606
Albuquerque, NM 87199

RE: **MCT Frontage Road Property**
Grading and Drainage Plan
Engineer's Stamp Date 7-21-16 (File:E17D060)

Dear Ms. Klein:

Based upon the information provided in your submittal received 8-1-2016, the above referenced submittal is approved for ESC Grading Permit. The Contractor will need an approved ESC Grading Permit prior to any grading on the site.

PO Box 1293

The approval does not extend to the elements within NMDOT Right of Way.

If you have any questions you can contact me at 924-3986.

Albuquerque

New Mexico 87103

www.cabq.gov

Sincerely,

Abiel Carrillo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

Orig: Drainage file

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Kay Brashear

From: Kelly Klein
Sent: Friday, July 29, 2016 9:56 AM
To: plndrs@cabq.gov
Cc: Kay Brashear
Subject: MCT Frontage Road Property -EID060
Attachments: Letter to address COA Hydrology Comments 7-29-2016.pdf; DIS - MCT FRONTAGE ROAD 7-28-2016.pdf; A16039_MCT G&D signed 7-27-16.pdf

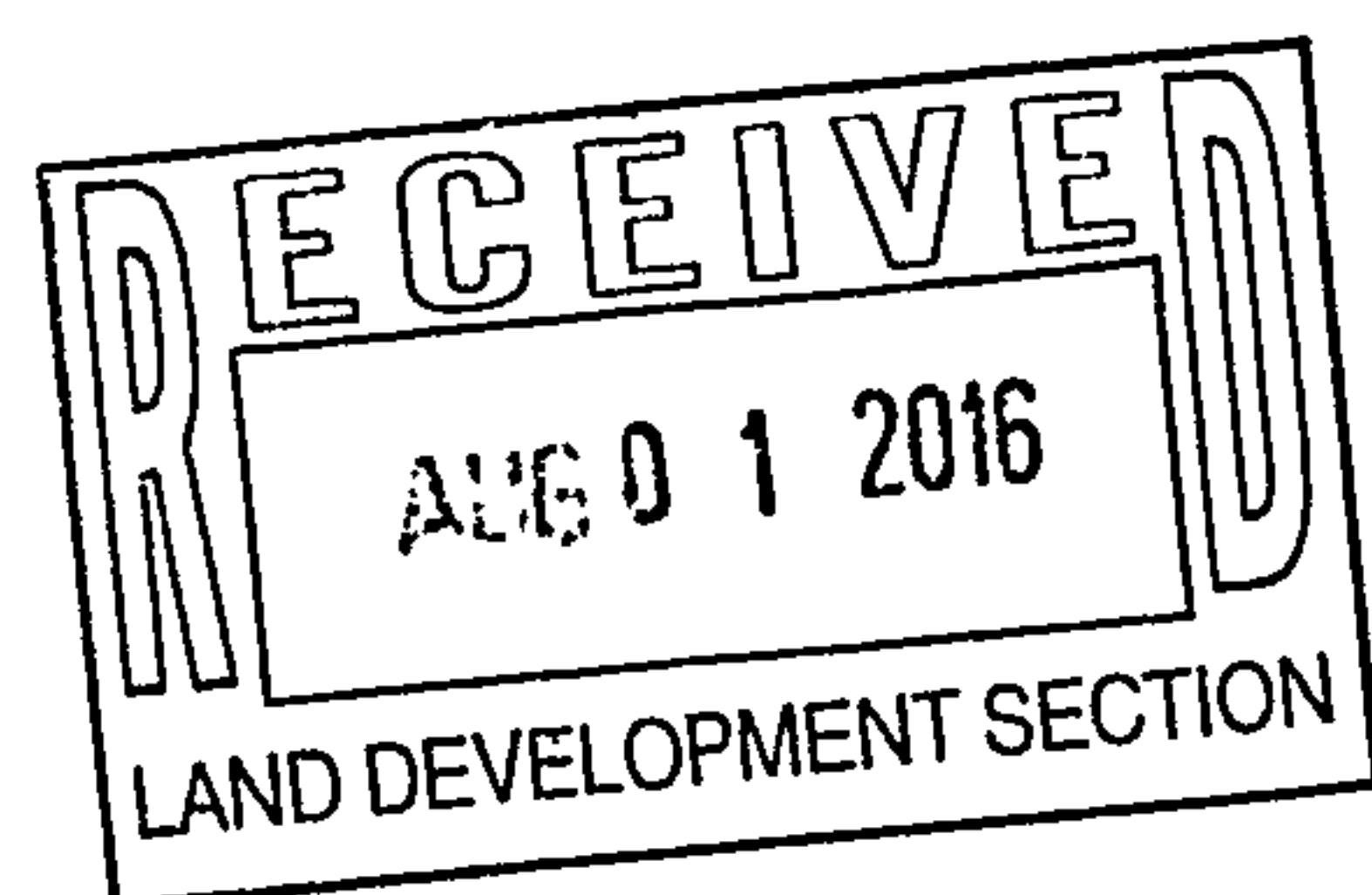
Attached please find the electronic copies for the above referenced project. This is a re-submittal for Grading Permit Approval. The hard copies will be delivered later today.

Kelly Klein, EI

D. Mark Goodwin & Associates, P.A.

P: 505-828-2200 ext 104

F: 505-797-9539





D. Mark Goodwin & Associates, P.A.
Consulting Engineers

P.O. BOX 90606, ALBUQUERQUE, NM 87199
(505) 828-2200 FAX 797-9539

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~ 2012 ACEC/NM Award Winner for Engineering Excellence, Small Firm ~
~ 2008 ACEC/NM Award Winner for Engineering Excellence, Small Firm ~

July 29, 2016

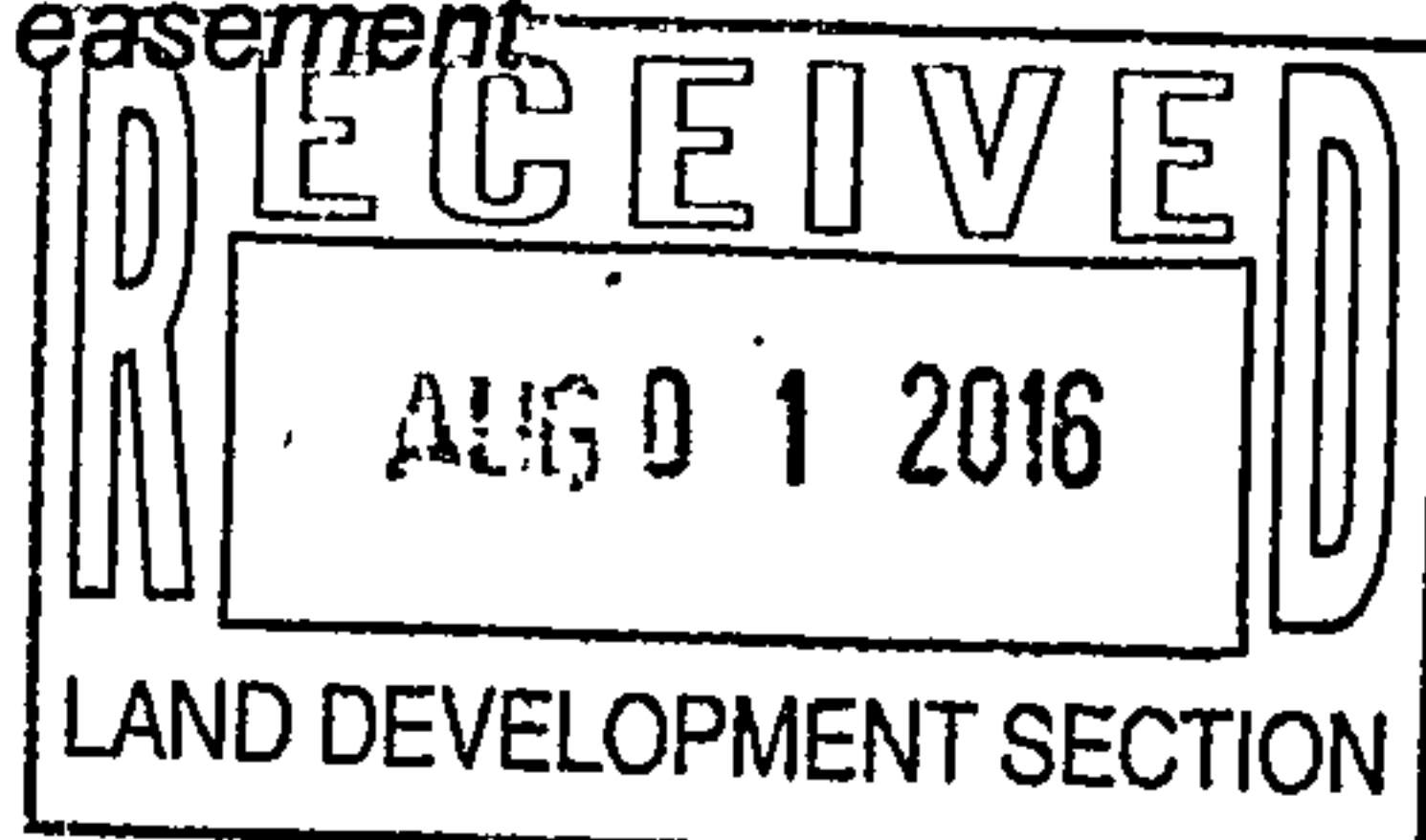
Mr. Abiel Carrillo, PE, CFM
Planning Department
City of Albuquerque
600 2nd Street NW
Albuquerque, NM 87102

Re: MCT Frontage Road Property
Revised Engineers stamp date 7-26-2016- (EI7D060)

Dear Mr. Carrillo;

Attached, please find a revised Grading & Drainage Plan and updated plat as required by your email dated 7/22/2016. Our response and/or changes are as follows:

1. **The plan proposes to discharge into the adjacent property to the southwest....."**
In absence of a full drainage report for the adjacent property, we looked at existing and historical conditions. I attached aerial photographs to this letter to show the property from 1996 and 1999. These photographs were taken from Google Earth and the RGIS ortho photography. From these photographs, it is determined that the drainage paths for the area are consistent with the assumptions on the projects site's drainage plan. In addition, there are "offsite" flows from the NMDOT ROW on the east boundary that enter the site. To calculate the historic flows, I inserted the pictures into AutoCAD to get area calculations for the different land treatment types and used AHYMO to determine the flows. The historic flows are summarized on the revised plan and include the offsite flows from the NMDOT ROW.
 - a. **"Check the assumptions for the Proposed Conditions..."** The higher assumed impervious area for the proposed conditions is reflective of the use for Area "B". This area will store mini storage sheds on the property that will be for sale to the public. It is assumed that at the highest inventory level, Area B will be 80% impervious.
2. **"...Make sure you have an approved ESC Plan."** The ESC Plan has been submitted for review.
3. **"A approval will need concurrence from NMDOT for improvements on the frontage road."** Construction Plans are being submitted to NMDOT for approval.
4. **"...Lot A and Lot B..."** These areas have been renamed to Area A and Area B for clarification. The site is one (1) property and will not require a cross-lot drainage easement.

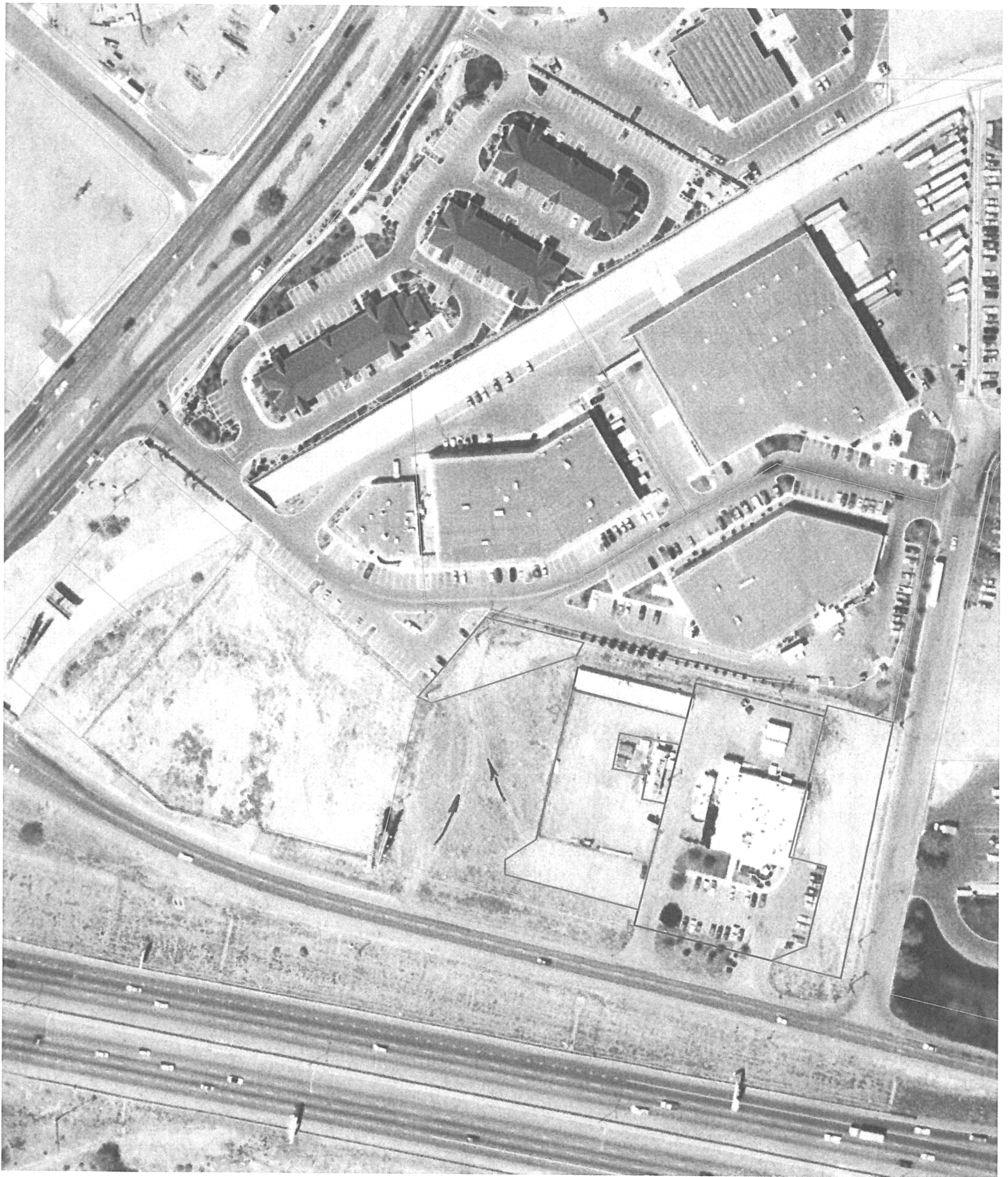


Sincerely,

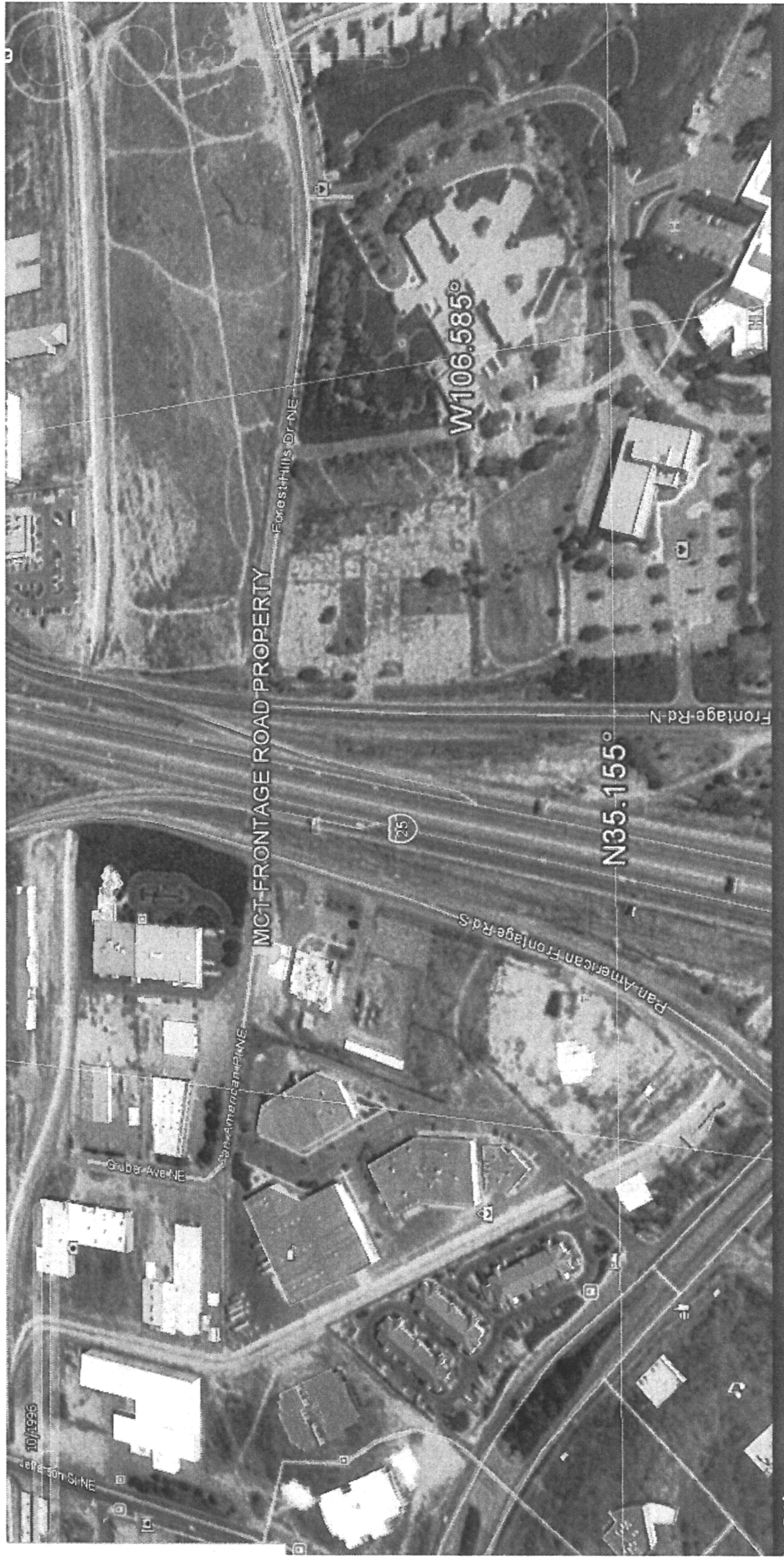
A handwritten signature in black ink, appearing to read 'Kelly M. Klein'. The signature is fluid and cursive, with a long horizontal stroke at the end.

Kelly Klein, EIT

MARK GOODWIN & ASSOCIATES, PA



1996



Carrillo, Abiel X.

From: Carrillo, Abiel X.
Sent: Friday, July 22, 2016 11:33 AM
To: 'Kelly Klein'
Subject: MCT - E17D060 - Stamp Date 6-30-2016

Ms. Klein,

This email is being sent in lieu of a formal attached letter to help expedite the review of initial submittals. Response to comments should continue to be included in the resubmittal. A reply to this email will not be considered a resubmittal.

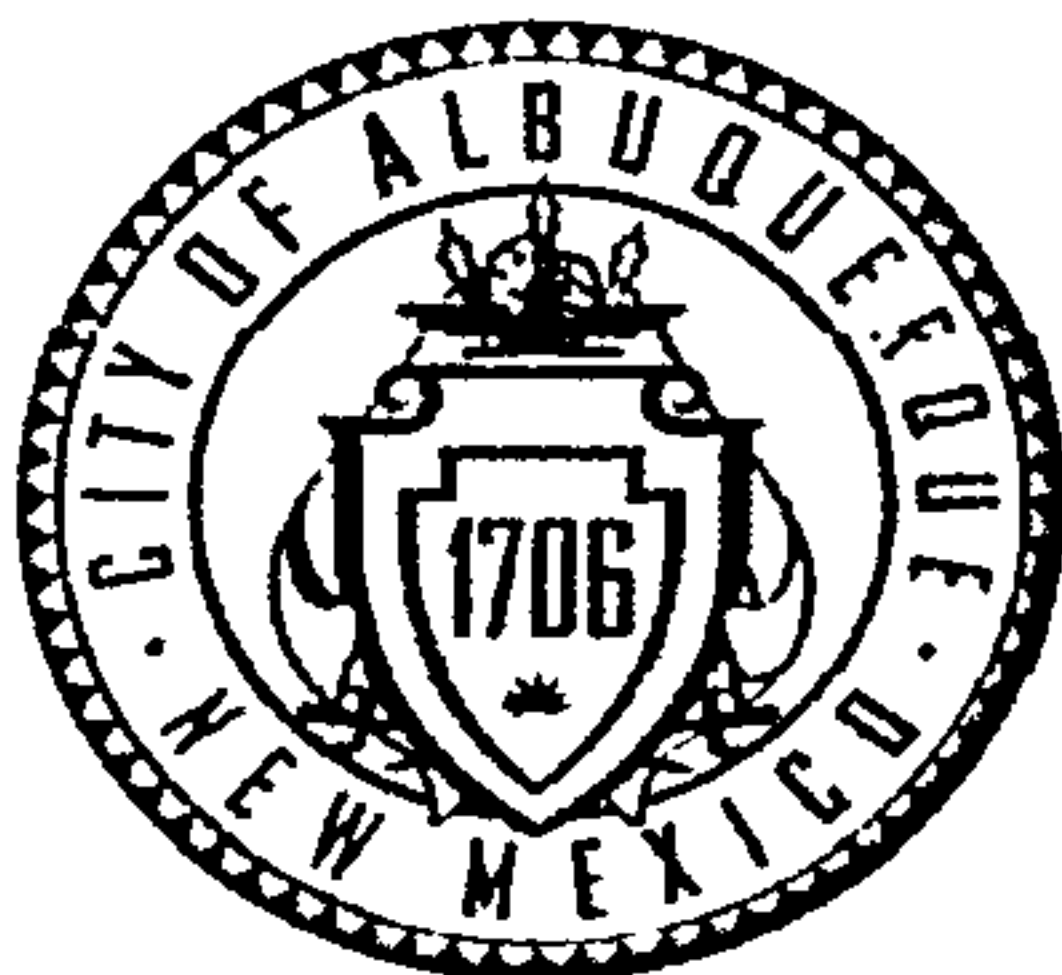
Based on information provided in your submittal received 6-30-2016, the above-referenced grading and drainage plan cannot be approved for Grading Permit until the following comments are addressed:

1. The plan proposes to discharge into the adjacent property to the Southwest. It does appear that the general pattern follows the historical path. However, to maintain that historical discharge in the absence of a drainage easement, the exact historical peak flow and location must be maintained; even small increments make the condition no longer historical. Normally, the historical volume would also need to be unchanged, however, the runoff bypasses the adjacent site and enters the channel. A solution can be to retain a little more than half of the volume of the 100-year 24-hour storm, just enough to get to the point on the hydrograph that matches the existing peak flow. When the lot develops further, an easement can be sought, or a detention facility would need to be planned.
 - a. I would also check your assumptions for the proposed condition. The %D area goes from 12% existing to 55%. The site appears to have been graded in the existing condition, and it seems like you will need to remove some pavement (based on aerial photos), so it's not clear why the %D increases so much. Are you sure you are actually increasing the runoff?
2. If you haven't done so already, make sure you have an approved ESC Plan.
3. An approval will need concurrence from NMDOT for the improvements on the frontage road.
4. The lots are listed as "lot A" and "lot B", be aware that a cross-lot drainage easement (and possibly an easement over the pond) will be needed for DRB action if the property will be subdivided.

Any question just let me know.

Abiel Carrillo, PE, CFM

Principal Engineer - Hydrology
 Planning Department
 Development Review Services Division
 City of Albuquerque
 505-924-3986
acarrillo@cabq.gov
 600 2nd Street NW
 Albuquerque, NM 87102



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: MCT Frontage Road Property Building Permit #: _____ City Drainage #: E17D060

DRB#: _____ EPC#: _____ Work Order#: _____

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Address: PO Box 90606 Albuquerque, NM 87199

Phone#: 505-828-2200 Fax#: _____ E-mail: kelly@goodwinengineers.com

Owner: MCT Industries Contact: Bennie Martinez

Address: 500 Tierra Montana Loop, Bernalillo, NM 87004

Phone#: 505-681-9917 Fax#: _____ E-mail: _____

Architect: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Other Contact: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply:

DEPARTMENT:

- ☒ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

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☐ DRAINAGE REPORT
☐ CLOMR/LOMR

☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

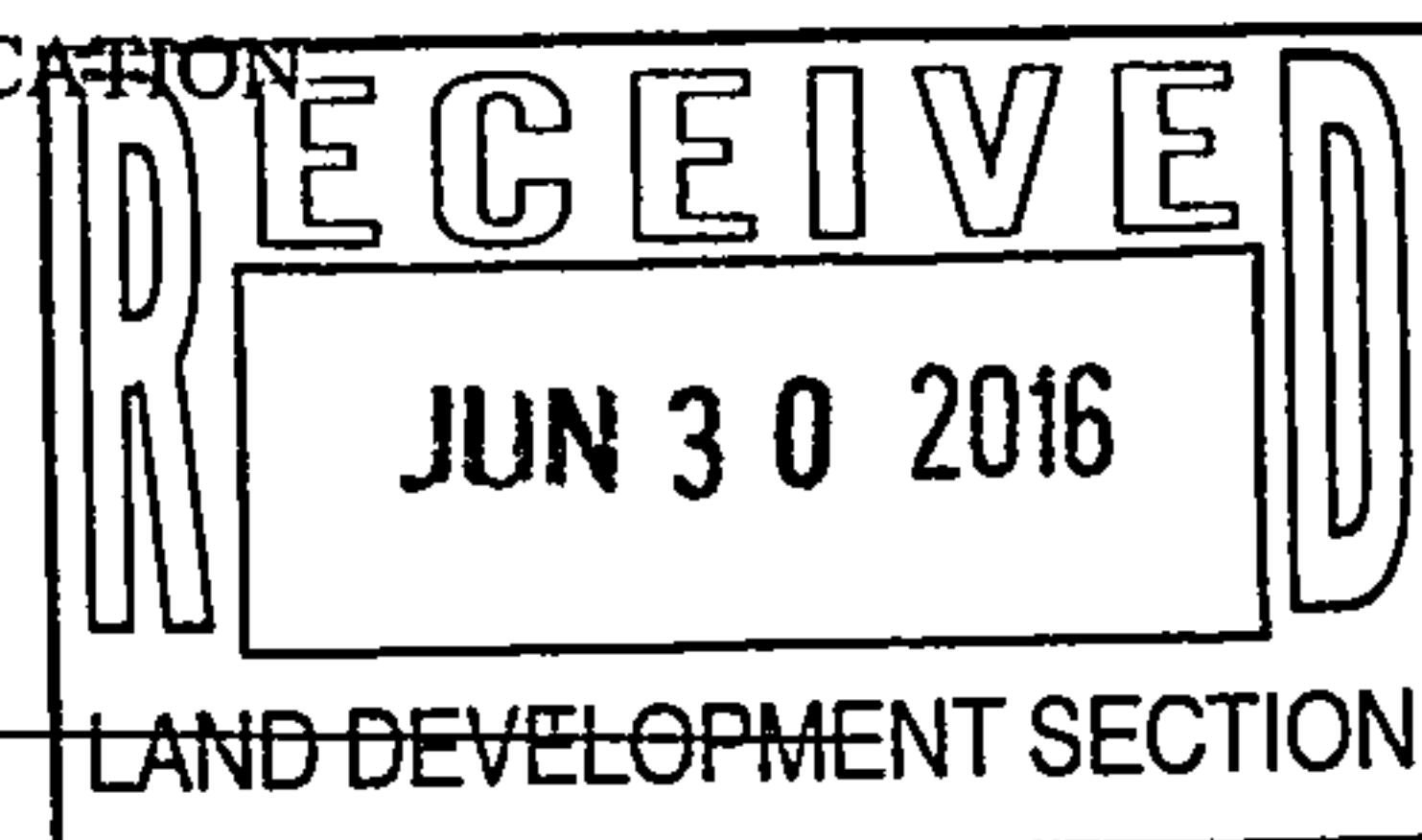
DATE SUBMITTED: 6/30/2016 By: Kelly Klein

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY

☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
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☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☒ GRADING PERMIT APPROVAL
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☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

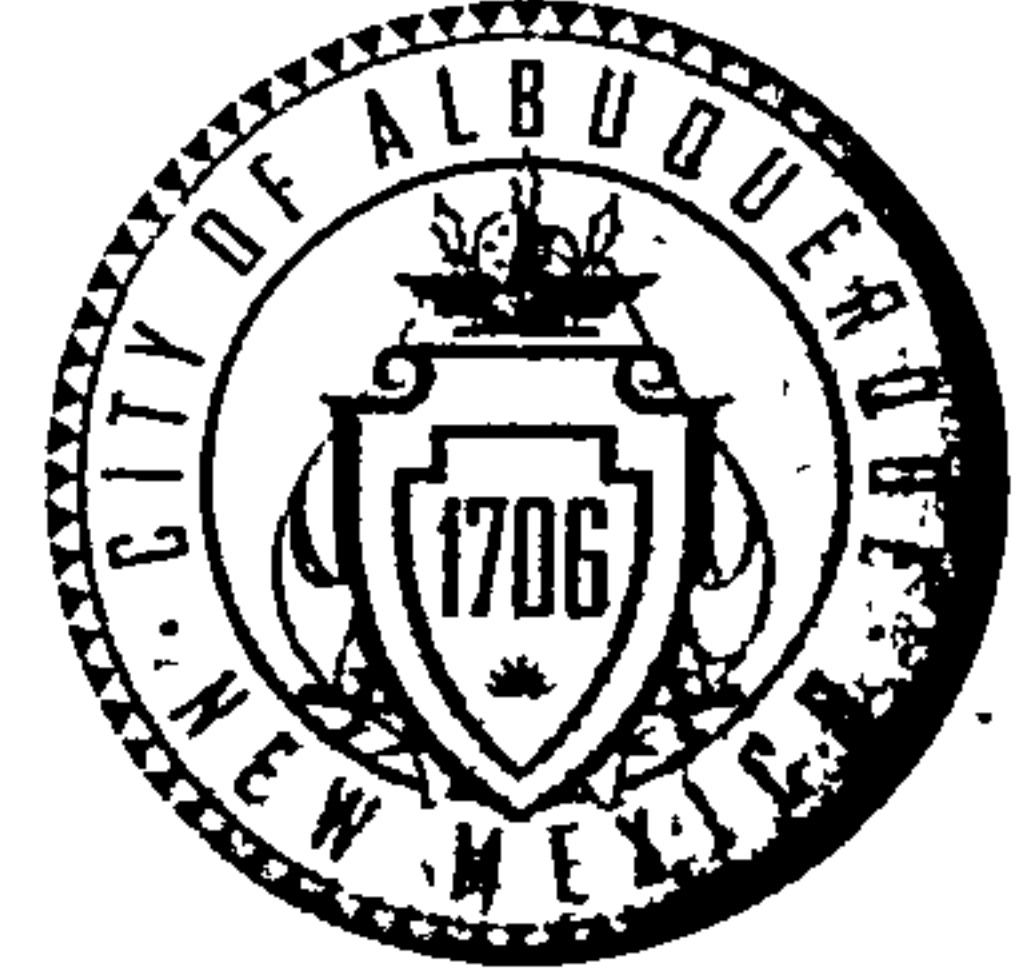
☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____



COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: _____

CITY OF ALBUQUERQUE

E17/D60



December 3, 2009

Dave Thompson, PE
Thompson Engineering Consultants, Inc.
PO Box 65760
Albuquerque, NM 87193

Re: Drainage requirements for Academy Industrial Park, Unit 1, (Eberline Site)

Dear Mr. Thompson,

Upon review of the drainage plans for the Conejos Business Park, it appears that the developed Eberline site runoff is allowed to drain into the development. Even though the receiving channel is not constructed, the Eberline site will be allowed to drain 21.7 cfs onto the Conejos Business Park upon redevelopment.

If you have any questions, you can contact me at 924-3986.

Sincerely,

Bradley L. Bingham, PE
Principal Engineer, Planning Dept.
Development and Building Services

C: file

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

December 2, 2009

Mr. Bradley L. Bingham, P.E.
Principal Engineer
Hydrology Section/Planning Department
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

**Re: DRAINAGE REQUIREMENTS FOR ACADEMY INDUSTRIAL PARK, UNIT 1
(EBERLINE SITE)**

Dear Mr. Bingham:

We have been retained by the owner of the "Eberline Site" at 7021 Pan American NE to determine the drainage requirements for the full development of the site. After reviewing the "Drainage Report for the Conejos Business Park" completed in June 1994 by Bohannon-Huston, Inc., it is our understanding that the Eberline Site is allowed to discharge up to 21.7 CFS onto the Conejos Business Park site to the west. The "Drainage Report for the Conejos Business Park" included calculations that show that the 21.7 CFS allowable discharge from the Eberline Site is for a fully developed site with an impervious area of 85% of the site. We performed hydrologic calculations for the Eberline Site that verify that the 21.7 CFS allowed is for a fully developed condition.

The grading plan included in the Conejos Drainage Report shows a 4 foot-wide concrete drainage channel through a retaining wall and onto the asphalt paving to be constructed to accept the 21.7 CFS from our site. This concrete drainage channel was not constructed as part of the Conejos Business Park. Please confirm in a written response that the Eberline Site is allowed up to 21.7 CFS discharge onto the Conejos Business Park site. We understand that whoever develops the Eberline Site will be required to construct the concrete drainage channel or a similar drainage structure on the Conejos site prior to or during the development.

If you should have any questions about this request, please call me at 271-2199.

Sincerely,



David B. Thompson, P.E.



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

November 18, 1999

Fred Arfman, P.E.
Isaacson & Arfman
128 Monroe NE
Albuquerque, NM 87108

Attn: Melissa Combs

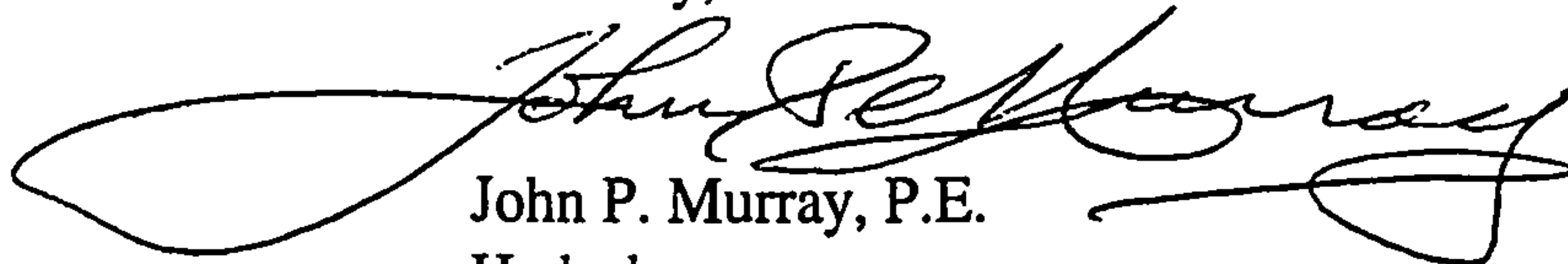
***RE: THERMO NUTECH, EBERLINE SITE (E17-D60). ENGINEER'S
CERTIFICATION OF GRADING AND DRAINAGE PLAN FOR CERTIFICATION
OF OCCUPANCY APPROVAL. ENGINEER'S STAMP DATED SEPTEMBER
29, 1999.***

Dear Mr. Arfman:

Based on the information provided on your September 30, 1999 submittal, the above referenced project is approved for Certificate of Occupancy.

If I can be of further assistance, please feel free to contact me at 924-3984.

Sincerely,



John P. Murray, P.E.
Hydrology

c:

WR

✓ File



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

May XXX, 1999

Fred Arfman, P.E.
Isaacson & Arfman
128 Monroe NE
Albuquerque, NM 87108

Attn: Melissa Combs

***RE: THERMO NUTECH, EBERLINE SITE (E17-D60) GRADING AND DRAINAGE
PLAN FOR BUILDING PERMIT APPROVAL. ENGINEER'S STAMP DATED
MARCH 31, 1999.***

Dear Mr. Arfman:

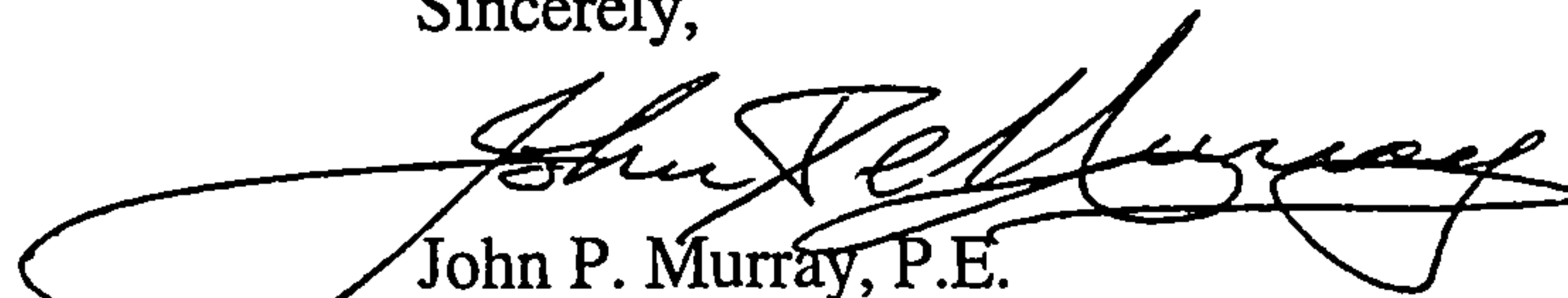
Based on the information provided on your May 5, 1999 submittal (update of April 6,1999 submittal), the above referenced project is approved for Building Permit. BP also covers the requested Grading Permit.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Prior to Certificate of Occupancy approval, an Engineer's Certification per the DPM will be required.

If I can be of further assistance, please feel free to contact me at 924-3984.

Sincerely,


John P. Murray, P.E.
Hydrology

c: Andrew Garcia
✓ File