

# CITY OF ALBUQUERQUE



April 4, 2006

Mr. Graeme Means, P.E.  
**JEFF MORTENSEN & ASSOCIATES**  
6010-B Midway Park Blvd. NE  
Albuquerque, NM 87109

**Re: GALLES & DAVIS HUMMER EXPANSION**  
**6401 San Mateo Blvd. NE**  
**Approval of Permanent Certificate of Occupancy (C.O.)**  
**Engineer's Stamp dated 06/30/2005 (E-17/D63)**  
**Certification dated 04/03/2006**

P.O. Box 1293

Dear Graeme,

Albuquerque

Based upon the information provided in your submittal received 04/04/2006, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

New Mexico 87103

If you have any questions, you can contact me at 924-3982.

[www.cabq.gov](http://www.cabq.gov)

Sincerely,

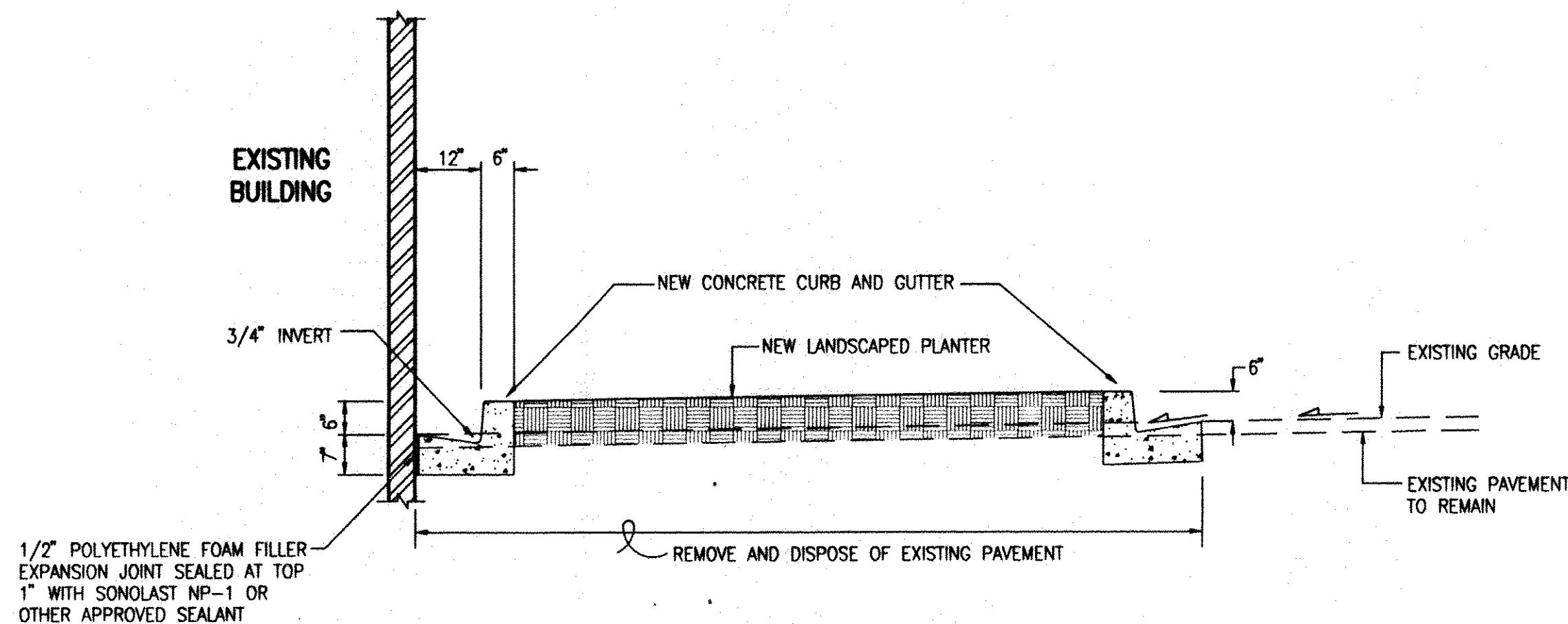
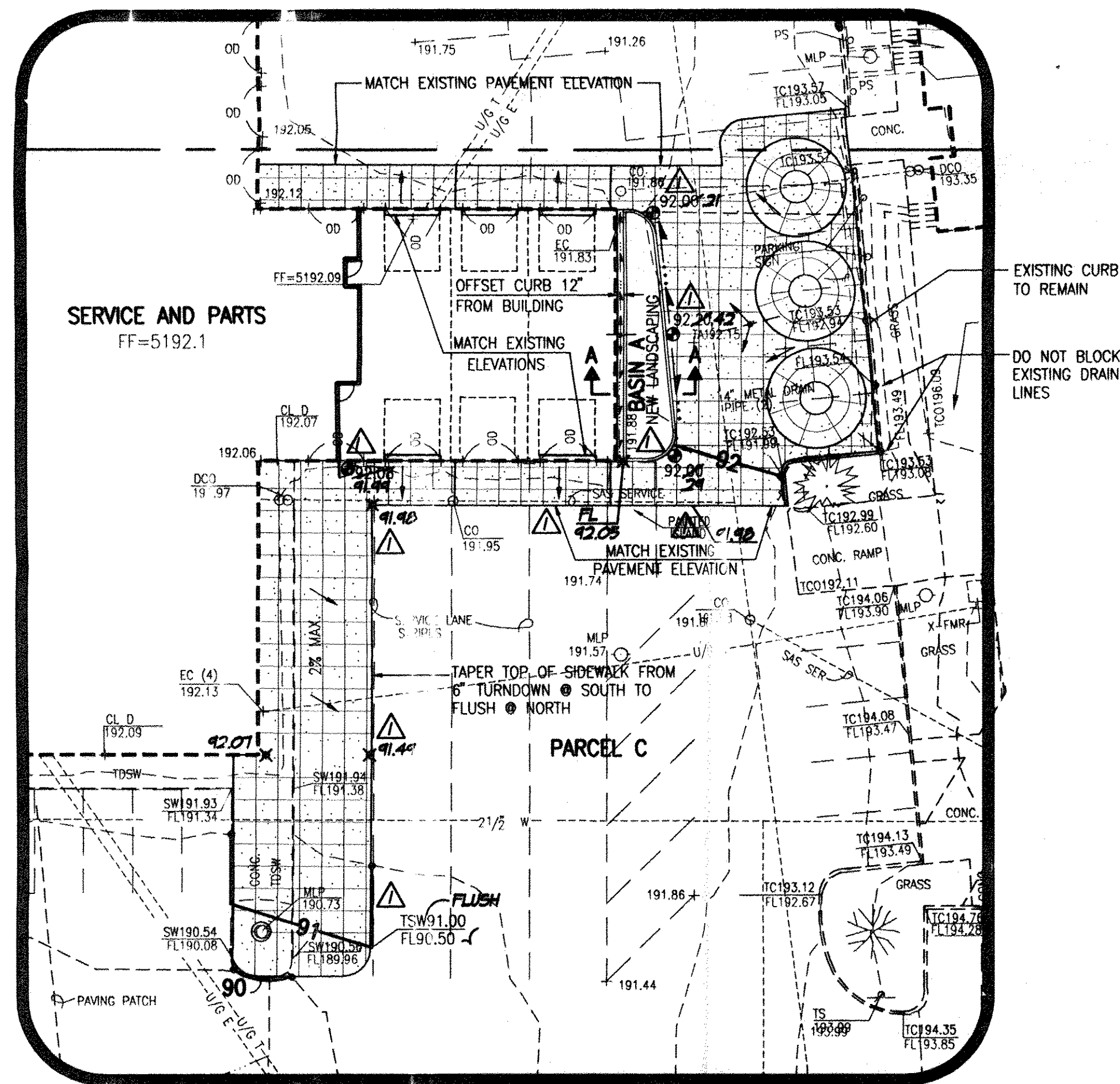
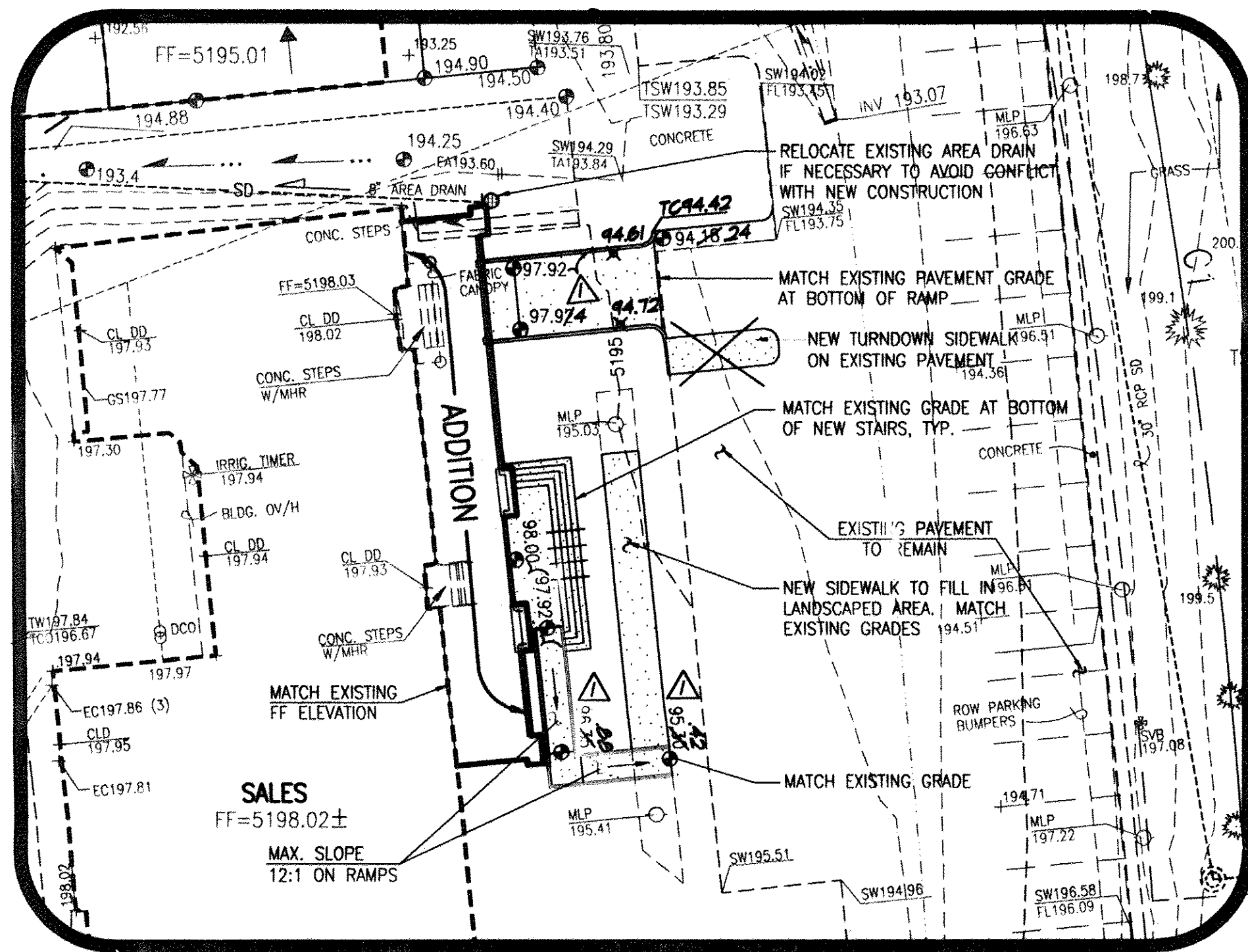
Arlene V. Portillo  
Plan Checker, Planning Dept. - Hydrology  
Development and Building Services

C: CO Clerk  
File









RECORD DRAWING

## DRAINAGE PLAN

### I. EXECUTIVE SUMMARY AND INTRODUCTION

THIS SUBMITTAL SUPPORTS A PROPOSED BUILDING ADDITION AND REMODEL AT THE EXISTING GALLES AND DAVIS AUTOMOBILE DEALERSHIP AND SERVICE CENTER IN NORTHEAST ALBUQUERQUE, NEW MEXICO. A MASTER DRAINAGE REPORT WAS PREPARED BY THIS OFFICE IN 2000 THAT ADDRESSED SITE DRAINAGE REQUIREMENTS AND SUPPORTED PREVIOUS CONSTRUCTION AT THE SITE. IN ADDITION TO THE NEW BUILDING CONSTRUCTION AND REMODEL, THE PROJECT WILL INCLUDE SOME RELATED SITE CONCRETE WORK. THERE WILL BE NO INCREASE IN IMPERVIOUS AREA ATTRIBUTABLE TO THIS PROJECT. NO DRAINAGE IMPROVEMENTS ARE REQUIRED AND THE SITE WILL CONTINUE TO DRAIN IN HISTORIC RATES AND PATTERNS TO THE HISTORIC DISCHARGE POINTS AS IDENTIFIED BY THE MASTER DRAINAGE REPORT. THE PURPOSE OF THIS SUBMITTAL IS TO OBTAIN BUILDING PERMIT APPROVALS.

### II. PROJECT DESCRIPTION:

AS SHOWN BY VICINITY MAP E-17, THE SITE IS LOCATED IN NORTHEAST ALBUQUERQUE NEAR THE SOUTHEAST CORNER OF INTERSTATE 25 AND SAN MATEO BOULEVARD NE. THE SITE IS BOUNDED ON THE EAST BY SAN MATEO, ON THE WEST BY THE I-25 FRONTAGE ROAD, ON THE NORTH BY A TEXACO SERVICE STATION, AND ON THE SOUTH BY COMMERCIAL DEVELOPMENT. THE SITE IS CURRENTLY DEVELOPED AS AN AUTOMOBILE DEALERSHIP WITH SHOWROOMS, STORAGE, AND SERVICE FACILITIES. THE SITE CONSISTS OF THREE PLATTED PROPERTIES; TRACTS B AND C, H. B. WOODWARD AND TRACT A1A2, TRIANGLE REALTY. THE SITE IS ZONED C-3.

AS SHOWN BY PANEL 139 OF 825 OF THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAPS, BERNALILLO COUNTY, NEW MEXICO, AND INCORPORATED AREAS, DATED NOVEMBER 19, 2003, A PORTION OF THIS SITE IS ENCLUMBERED BY A FLOOD HAZARD ZONE DESIGNATED AH WITH AN ELEVATION OF 5189 (NAVD 88) WHICH TRANSLATES TO 5186.3 (NGVD 1929). AS DESCRIBED IN THE JMA MASTER DRAINAGE REPORT FOR THE SITE, THE FLOODPLAIN LIMITS AND ELEVATION CORRESPOND TO AN EXISTING ONSITE RETENTION POND THAT DISCHARGES TO NMDOT ROW VIA PRIVATE PUMP.

ALL SITE BUILDINGS ARE AT LEAST 6 FEET ABOVE THE FLOODPLAIN ELEVATION AND NO CONSTRUCTION IS PROPOSED IN THE VICINITY OF THE EXISTING FLOODPLAIN.

### III. BACKGROUND DOCUMENT:

THE "MASTER DRAINAGE REPORT FOR LEE GALLES ON SAN MATEO" PREPARED BY THIS OFFICE DATED 6-26-2000 (HYDROLOGY FILE E17-D63) EVALUATED THE ENTIRE SITE IN DETAIL AND SUPPORTED THE CONSTRUCTION OF ONSITE PUBLIC AND PRIVATE DRAINAGE IMPROVEMENTS IN CONJUNCTION WITH NEW BUILDING CONSTRUCTION. THE WORK WAS CERTIFIED BY THIS OFFICE ON MARCH 15, 2001.

THE PROPOSED CONSTRUCTION DESCRIBED HEREIN CONFORMS TO THE ABOVE LISTED DOCUMENT.

### IV. EXISTING CONDITIONS:

THE SITE IS CURRENTLY DEVELOPED AS A NEW AND USED CAR DEALERSHIP WITH ASSOCIATED SERVICE AND OPERATIONAL FACILITIES. THE DRAINAGE BASINS AND PATTERNS ARE IDENTIFIED IN DETAIL BY THE REFERENCE DOCUMENT AND SHOWN ON THE SITE PLAN ON SHEET C.001. BASIN B DRAINS TO AN EXISTING ON-SITE PRIVATE RETENTION POND THAT DRAINS TO NMDOT ROW VIA PRIVATE PUMP. BASIN C DRAINS TO AN EXISTING NMDOT CULVERT.

### V. DEVELOPED CONDITIONS

THE PROPOSED IMPROVEMENTS CONSIST OF THE CONSTRUCTION OF AN ADDITION TO THE EXISTING SALES BUILDING (AS SHOWN BY DETAIL 1 AT LEFT) AND A REMODEL WITH MINOR SITE WORK TO THE EXISTING SERVICE BUILDING (AS SHOWN BY DETAIL 2 AT LEFT). THE SALES BUILDING ADDITION WILL BE CONSTRUCTED ON AN AREA THAT IS EXISTING SIDEWALK (IMPERVIOUS) AND WILL NOT CAUSE AN INCREASE IN RUNOFF TO BASIN C. CONSTRUCTION AT THE NORTH END OF THE BUILDING WILL BE IN CLOSE PROXIMITY TO AN EXISTING AREA DRAIN THAT MAY REQUIRE RELOCATION AS PART OF THIS PROJECT. THE NEED FOR RELOCATION WILL BE DETERMINED DURING CONSTRUCTION. THE SITE WORK ASSOCIATED WITH THE SERVICE BUILDING REMODEL CONSISTS OF NEW CONCRETE FLATWORK ON AREAS THAT ARE CURRENTLY PAVED. THERE WILL BE NO INCREASE IN RUNOFF TO BASIN B.

### VI. GRADING DETAILS

THE GRADING DETAILS AT LEFT SHOW: 1) EXISTING GRADES INDICATED BY SPOT ELEVATIONS AND CONTOURS AT 1 FT INTERVALS FROM THE JUNE, 2000 TOPOGRAPHIC SURVEY CONDUCTED BY THIS OFFICE AND SUPPLEMENTED BY AS-CONSTRUCTED INFORMATION FROM THE 2000 CONSTRUCTION, 2) PROPOSED GRADES INDICATED BY FINISHED FLOOR ELEVATIONS, SPOT ELEVATIONS, AND CONTOURS AT 1 FT INTERVALS, 3) THE LIMIT AND CHARACTER OF EXISTING IMPROVEMENTS, 4) THE LIMIT AND CHARACTER OF THE PROPOSED IMPROVEMENTS, AND 5) CONTINUITY BETWEEN PROPOSED AND EXISTING GRADES.

### VII. CALCULATIONS

CALCULATIONS WERE NOT PREPARED FOR THIS SUBMITTAL BECAUSE THE PROPOSED IMPROVEMENTS WILL BE CONSTRUCTED ON AREAS THAT ARE CURRENTLY IMPERVIOUS. A COMPREHENSIVE SITE HYDROLOGY AND HYDRAULICS ANALYSIS WAS INCLUDED IN THE MASTER DRAINAGE REPORT PREPARED BY THIS OFFICE (SEE REFERENCE DOCUMENT).

### VIII. CONCLUSIONS

- 1) THE PROPOSED SITE IMPROVEMENTS AND DRAINAGE CONCEPT ARE CONSISTENT WITH THE DEVELOPMENT CRITERIA ESTABLISHED BY THE MASTER DRAINAGE REPORT.
- 2) DEVELOPED RUNOFF FROM THIS SITE WILL CONTINUE DRAIN FREELY TO EXISTING DRAINAGE IMPROVEMENTS.
- 3) THERE WILL NOT BE ANY INCREASE IN RUNOFF ATTRIBUTABLE TO THIS PROPOSED CONSTRUCTION
- 4) THERE ARE NO DESIGN VARIANCES, DRAINAGE EASEMENTS OR DRAINAGE COVENANTS ANTICIPATED AT THIS TIME.



ENGINEER'S DRAINAGE CERTIFICATION FOR PERMANENT CERTIFICATE OF OCCUPANCY

I, J. GRAEME MEANS, NMPE 13676, OF THE FIRM JEFF MORTENSEN & ASSOCIATES, INC., HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND DRAINED IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 06/30/2005. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT WAS OBTAINED ON MARCH 7TH, 2006 UNDER THE DIRECT SUPERVISION OF CHARLES G. CALA, JR., NMPS 11184, ALSO OF THE FIRM JEFF MORTENSEN & ASSOCIATES, INC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON FEBRUARY 16, 2006 AND AGAIN ON MARCH 29, 2006 AND DETERMINED BY VISUAL INSPECTION THAT THE DATA PROVIDED APPEARS TO BE REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANCY.

A PREVIOUS CERTIFICATION WAS MADE IN SUPPORT OF TEMPORARY CERTIFICATE OF OCCUPANCY THAT IDENTIFIED A MISSING CURB AND GUTTER (SEE SECTION A-A). AS DETERMINED BY THE MOST RECENT SITE VISIT, THIS CURB HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE INTENT OF THE APPROVED PLAN.

THE FOLLOWING DEVIATION FROM THE APPROVED PLAN WAS NOTED. IT DOES NOT ADVERSELY IMPACT THE ABILITY OF THE SITE TO DRAIN IN ACCORDANCE WITH THE APPROVED PLAN:

- 1) THE NEW SIDEWALK ADJACENT TO THE SERVICE AND PARTS BUILDING (SEE GRADING DETAIL 2) WAS CONSTRUCTED AS A "FLUSH" SIDEWALK AND NOT A TURNDOWN.

THE RECORD INFORMATION PRESENTED HEREIN IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT AND DOES NOT ADDRESS COMPLIANCE WITH A.D.A. GUIDELINES. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

J. GRAEME MEANS, NMPE 13676  
DATE: 04/03/2006



Dekker  
Perich  
Sabatini

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Suite 100  
Albuquerque, NM 87109  
505 761-9700  
fax 761-4222  
dps@dpsabq.com

ARCHITECT

ENGINEER



PROJECT

Galles & Davis Motor Co.  
Hummer Addition & Remodel  
6401 San Mateo Blvd. NE  
Albuquerque, NM 87109

REVISIONS

ENGINEER'S  
CERTIFICATION 03/06

DRAWN BY JMA  
REVIEWED BY G.M.  
DATE 07/01/05  
PROJECT NO.  
DRAWING NAME

ENLARGED GRADING  
PLANS, DRAINAGE  
PLAN AND  
CONSTRUCTION NOTES

SHEET NO.

C002

2 OF 2