



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

March 15, 2001

Jeff Mortensen, P.E.
Jeff Mortensen & Assoc.
6010-B Midway Park Blvd NE
Albuquerque, NM 87109

**RE: Grading and Drainage Certification-
Lee Galles Subaru on San Mateo- (6401 San Mateo NE) (E-17/D63)
Engineer's Stamp dated 6/26/2000
Engineers Certification dated 3/8/2001**

Dear Mr. Mortensen:

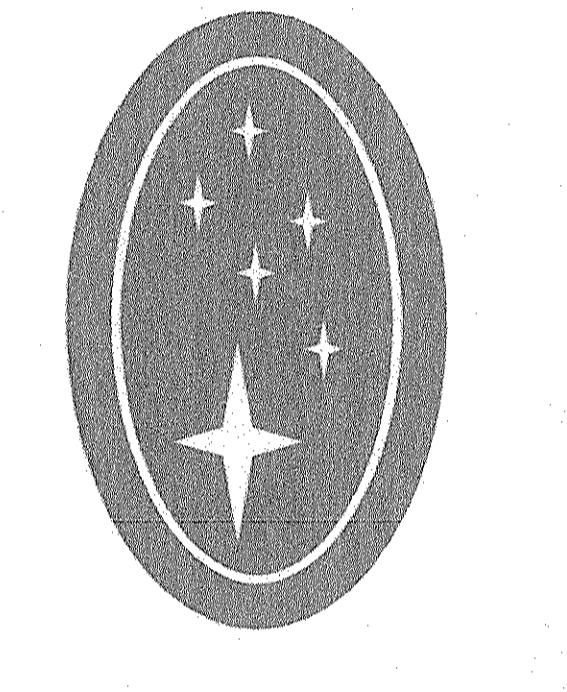
Based upon the information provided in your Engineers Certification submittal dated 3/13/2001, the above referenced site is approved for Permanent Certificate of Occupancy.

If I can be of further assistance, please contact me at 924-3986.

Sincerely,

Bradley L. Bingham, PE
Senior Civil Engineer
Hydrology Section, PWD

C: Vickie Chavez, COA
Teresa Martin, COA
file

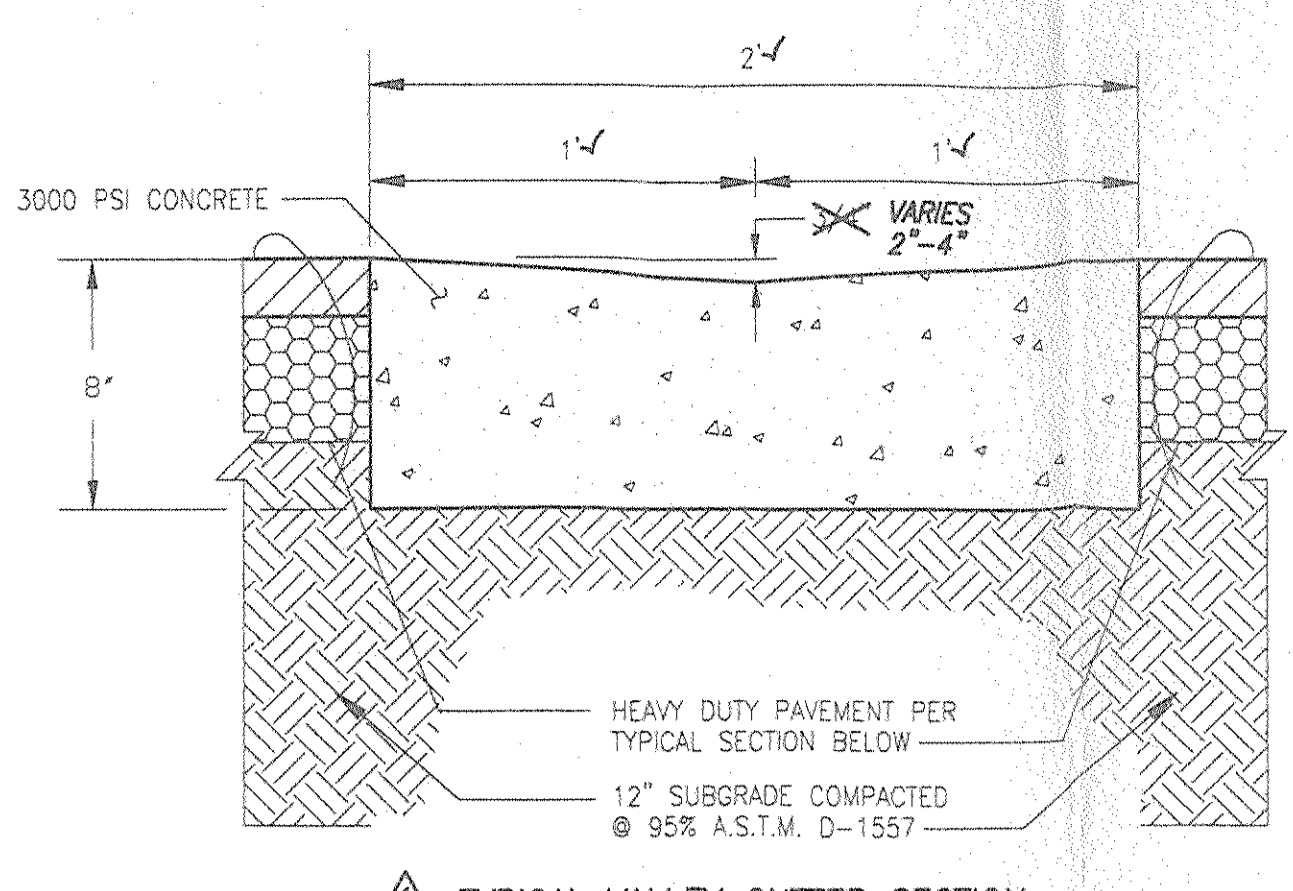


CONSTRUCTION NOTES:

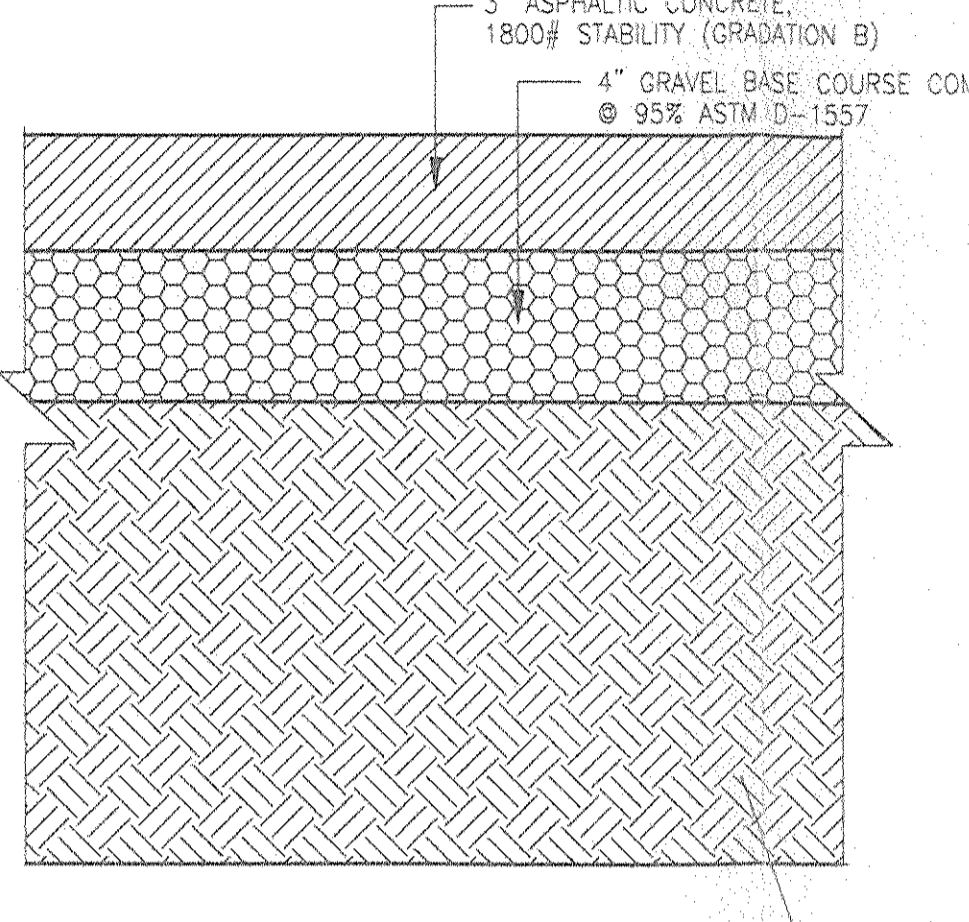
1. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM 280-1950 (ALBUQUERQUE AREA), 1-800-321-ALERT(2537) (STATEWIDE), FOR LOCATION OF EXISTING UTILITIES.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INTERPRETATIONS IT MAKES WITHOUT FIRST CONTACTING THE ENGINEER AS REQUIRED ABOVE.
3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
4. ALL CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.
5. IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS CONDUCTED ONLY A PRELIMINARY INVESTIGATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UTILITY LINES. PIPELINES, OR UNDERGROUND UTILITY LINES. THIS INVESTIGATION IS NOT CONCLUSIVE, AND MAY NOT BE COMPLETE. THEREFORE, MAKES NO REPRESENTATION PERTAINING THEREOF, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREOF. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESENCE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING CONSTRUCTION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, APPLYING TO THE LOCATION OF THESE LINES AND FACILITIES.
6. THE DESIGN OF PLANTERS AND LANDSCAPED AREAS IS NOT PART OF THIS PLAN. ALL PLANTERS AND LANDSCAPED AREAS ADJACENT TO THE BUILDING(S) SHALL BE PROVIDED WITH POSITIVE DRAINAGE TO AVOID ANY PONDING ADJACENT TO THE STRUCTURE. FOR CONSTRUCTION DETAILS, REFER TO LANDSCAPING PLAN.

EROSION CONTROL MEASURES:

1. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY.
2. THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
3. THE CONTRACTOR SHALL SECURE TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING CONSTRUCTION.
4. ANY AREAS OF EXCESS DISTURBANCE (TRAFFIC AREA, STORAGE YARD, EXCAVATED MATERIAL, ETC) SHALL BE RE-SEEDING ACCORDING TO C.O.A. SPECIFICATION 1012 "NATIVE GRASS SEEDING". THIS WILL BE CONSIDERED INCIDENTAL TO CONSTRUCTION, THEREFORE, NO SEPARATE PERMIT WILL BE MADE.



TYPICAL VALLEY GUTTER SECTION
SCALE: 1" = 6"



TYPICAL HEAVY DUTY PAVEMENT SECTION
SCALE: 1" = 5"

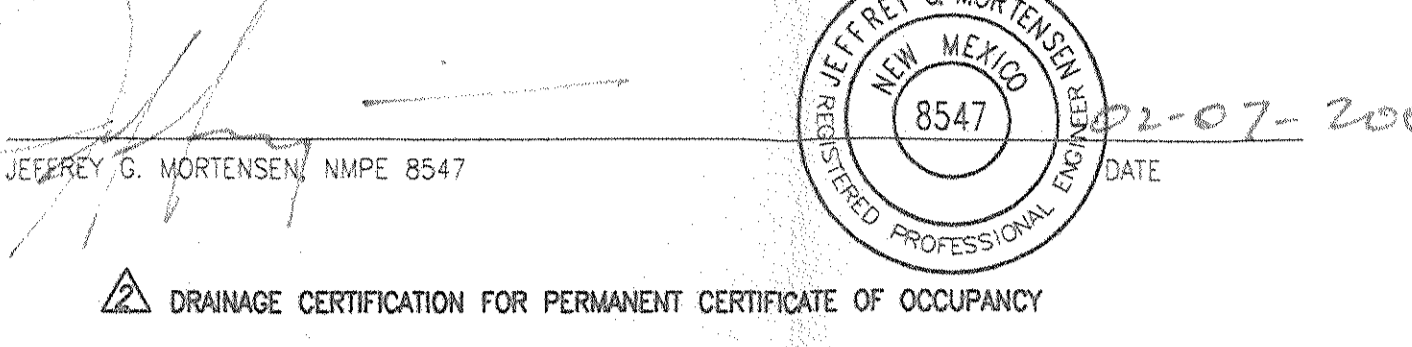
DRAINAGE CERTIFICATION FOR TEMPORARY CERTIFICATE OF OCCUPANCY

AS INDICATED BY THE AS-BUILT INFORMATION SHOWN HEREON, THE SITE HAS BEEN GRADED AND DRAINED IN SUBSTANTIAL COMPLIANCE WITH THE APPROVED GRADING AND DRAINAGE PLAN WITH THE FOLLOWING EXCEPTIONS:

- 1) THE EXISTING PRIVATE ENTRANCE ON SAN MATEO, AT THE SOUTHEAST CORNER OF THE SITE, HAS NOT YET BEEN RECONSTRUCTED. CONSTRUCTION COMMENCED ON FEBRUARY 05, 2001.
- 2) THE EXISTING ENTRANCE ONTO THE STATE HIGHWAY DEPARTMENT FROMAGE ROAD, AT THE WEST END OF THE SITE HAS NOT YET BEEN RECONSTRUCTED. CONSTRUCTION COMMENCED ON FEBRUARY 05, 2001.
- 3) AN AREA OF STANDING WATER WAS OBSERVED ON THE PAVING NEAR THE NORTHWEST CORNER OF THE SITE. THIS AREA MUST BE CORRECTED TO ACHIEVE TO ROOSTING DRAINAGE.
- 4) THE ADJACENT PROPERTY OWNER'S ACCEPTANCE OF THE OFFSITE WORK HAS NOT YET BEEN OBTAINED. IN ADDITION, THE WORK ORDER STORM DRAIN (CITY PROJECT NO. 644181) IS SUBSTANTIALLY COMPLETE WITH THE FINAL INSPECTION HELD FEBRUARY 02, 2001.

THE EXCEPTIONS NOTED ABOVE MUST BE SATISFACTORILY ADDRESSED PRIOR TO FINAL CERTIFICATION AND ISSUANCE OF A PERMANENT CERTIFICATE OF OCCUPANCY. THIS CERTIFICATION EVALUATES GRADING AND DRAINAGE ISSUES ONLY AND DOES NOT ADDRESS COMPLIANCE WITH A.D.A. GUIDELINES. IT IS BASED UPON THIS EVALUATION OF AS-CONSTRUCTED CONDITIONS THAT ISSUANCE OF A TEMPORARY CERTIFICATE OF OCCUPANCY IS HEREBY RECOMMENDED. THE AS-BUILT INFORMATION CONTAINED HEREIN HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION, AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THE AS-BUILT INFORMATION IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF GRADING AND DRAINAGE ASPECTS OF THIS PLAN. THOSE RELYING ON THIS AS-CONSTRUCTED PLAN ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

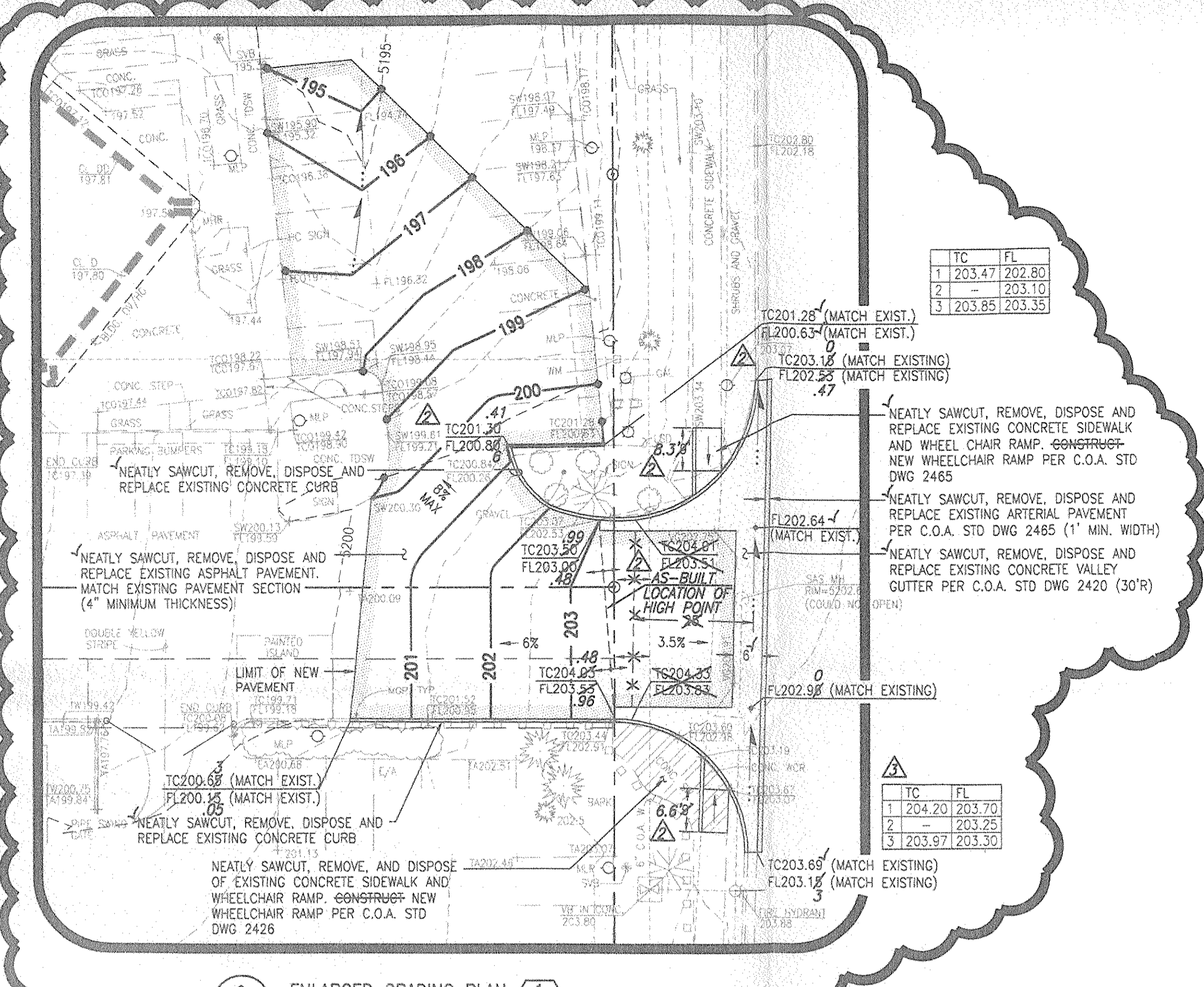
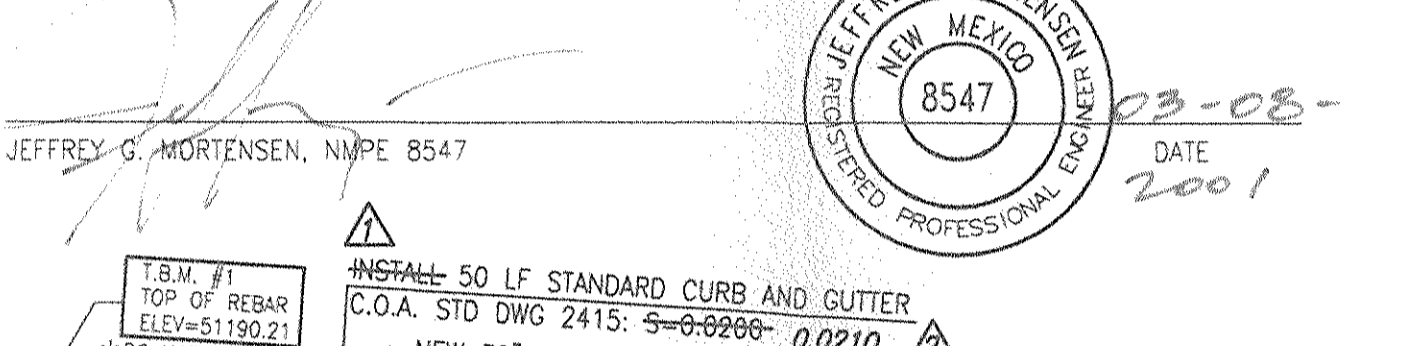
JEFFREY G. MORTENSEN, N.M.P.E. 8547
DATE 02-07-2001



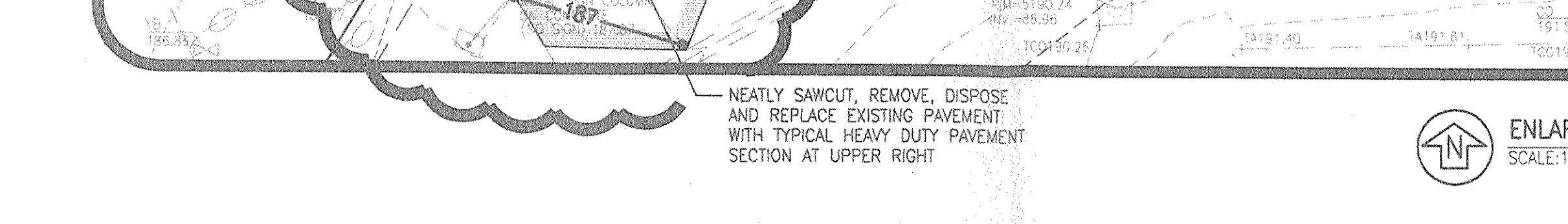
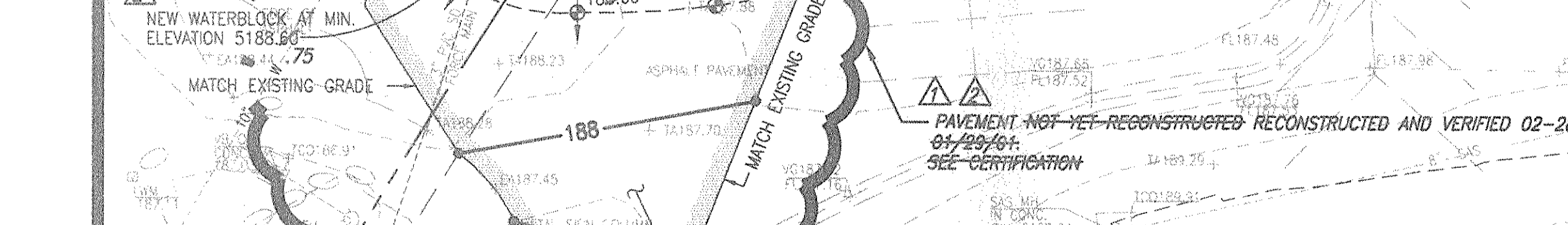
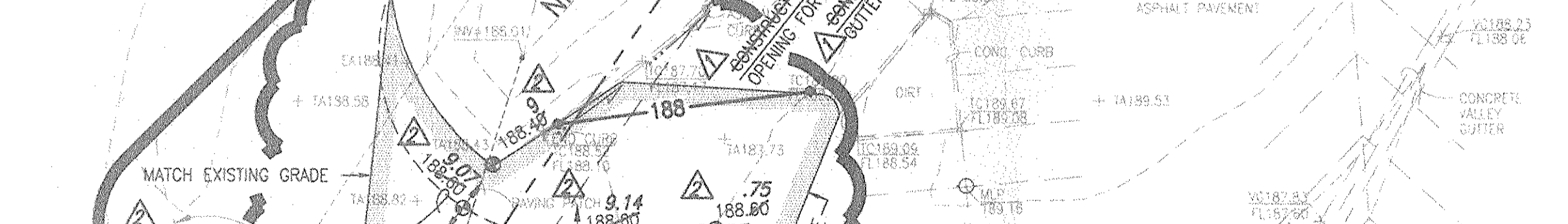
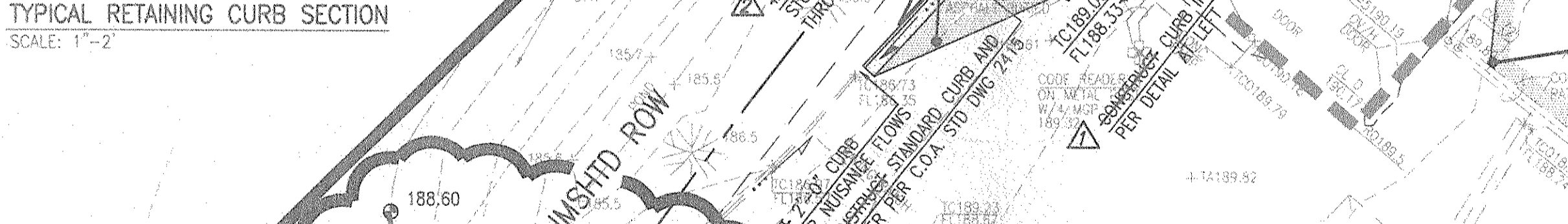
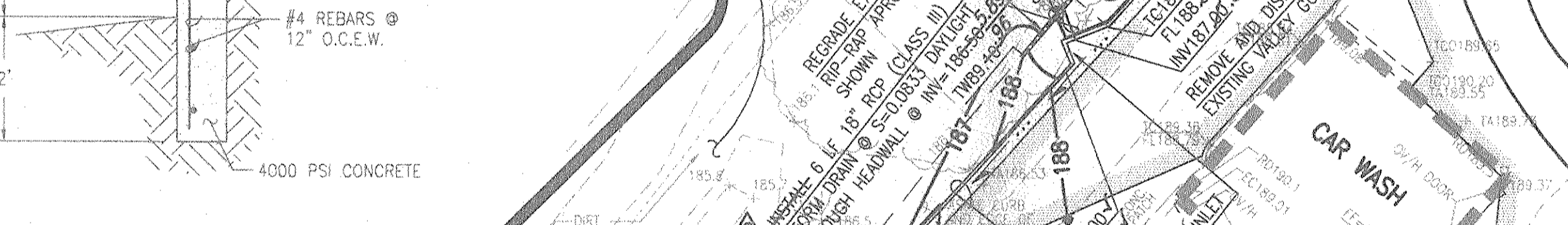
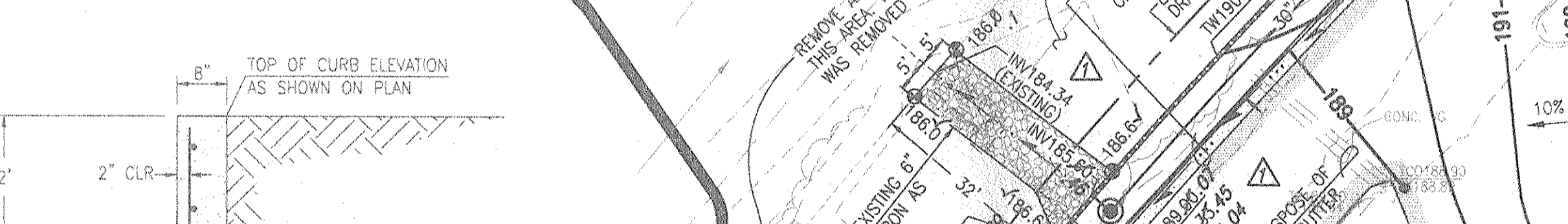
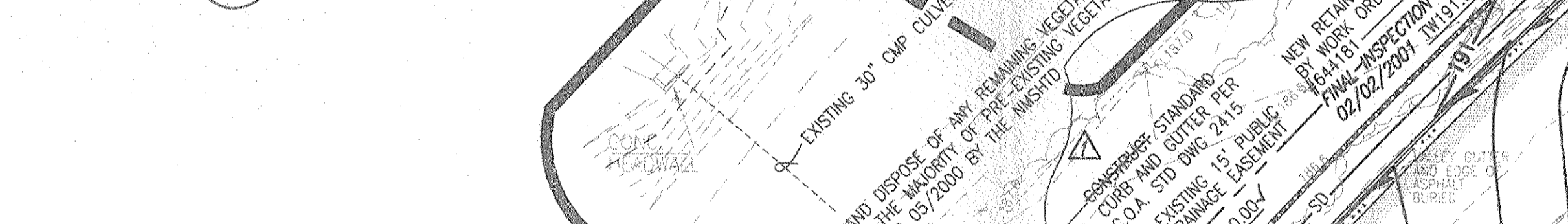
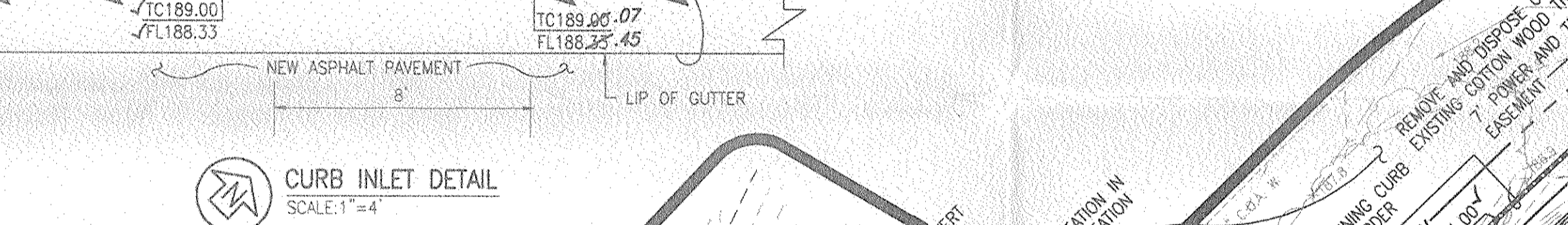
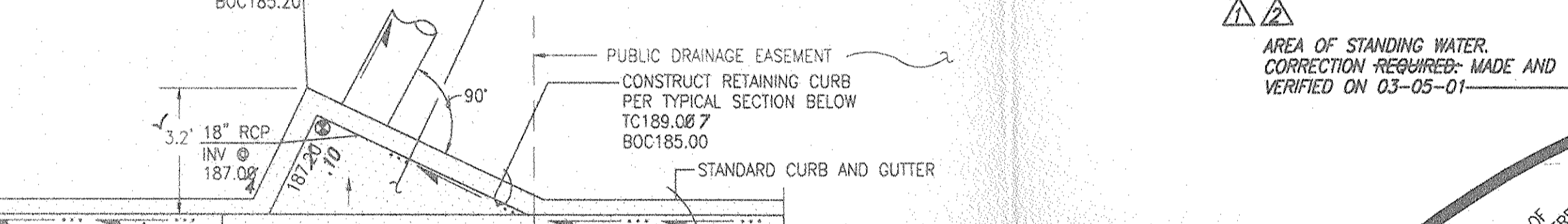
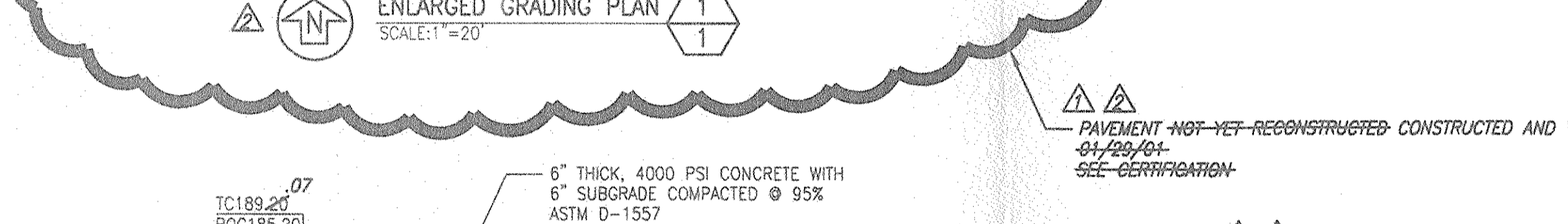
DRAINAGE CERTIFICATION FOR PERMANENT CERTIFICATE OF OCCUPANCY

AS INDICATED BY THE AS-BUILT INFORMATION SHOWN HEREON, THE SITE HAS BEEN GRADED AND DRAINED IN SUBSTANTIAL COMPLIANCE WITH THE APPROVED GRADING AND DRAINAGE PLAN, EXCEPTIONS 1-3 PREVIOUSLY IDENTIFIED IN THE CERTIFICATION FOR TEMPORARY CERTIFICATE OF OCCUPANCY DATED 02/07/2001 HAVE BEEN SATISFACTORILY ADDRESSED. EXCEPTION 4, THE ADJACENT PROPERTY OWNER'S ACCEPTANCE OF THE OFFSITE CURB CONSTRUCTION, HAS NOT BEEN OBTAINED. THIS CURB WAS CONSTRUCTED TO CONVEY TEXACO NUISANCE FLOWS ALONG THE COMMON PROPERTY LINE AND TO THE NMSHD ROW IN ACCORDANCE WITH THEIR APPROVED GRADING AND DRAINAGE PLAN (17/02/03). THIS ACCEPTANCE HAS BEEN VERBALLY GIVEN BY TEXACO OFFICIALS IN DALLAS, BUT THE WRITTEN APPROVAL HAS NOT YET BEEN OBTAINED. DUE TO THE DIFFICULTIES IN OBTAINING WRITTEN PERMISSION FROM A LARGE COMPANY SUCH AS TEXACO, AND BECAUSE THE CONSTRUCTED IMPROVEMENTS REPRESENT AN IMPROVEMENT TO THE TEXACO SITE DRAINAGE CONDITIONS BY BRINGING THE SITE INTO COMPLIANCE WITH THE APPROVED TEXACO GRADING PLAN, (17/02/03), WE HEREBY REQUEST THAT THE REQUIREMENT FOR WRITTEN ACCEPTANCE BE WAIVED FOR THE PURPOSES OF OBTAINING A PERMANENT CERTIFICATE OF OCCUPANCY FOR THE LEE GALLES SUBARU SITE. IF THE APPROVAL LETTER IS OBTAINED IN THE FUTURE, WE WILL FORWARD A COPY TO THE CITY FOR THE DRAINAGE FILE. THIS CERTIFICATION EVALUATES GRADING AND DRAINAGE ISSUES ONLY AND DOES NOT ADDRESS COMPLIANCE WITH A.D.A. GUIDELINES. IT IS BASED UPON THIS EVALUATION OF AS-CONSTRUCTED CONDITIONS THAT ISSUANCE OF A PERMANENT CERTIFICATE OF OCCUPANCY IS HEREBY RECOMMENDED. THE AS-BUILT INFORMATION CONTAINED HEREON HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION ON 01/23/2001, 02/28/2001, AND 03/05/2001, AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THE AS-BUILT INFORMATION IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF GRADING AND DRAINAGE ASPECTS OF THIS PLAN. THOSE RELYING ON THIS AS-CONSTRUCTED PLAN ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

JEFFREY G. MORTENSEN, N.M.P.E. 8547
DATE 03-08-2001



ENLARGED GRADING PLAN
SCALE: 1" = 20"



ENLARGED GRADING PLAN
SCALE: 1" = 20"