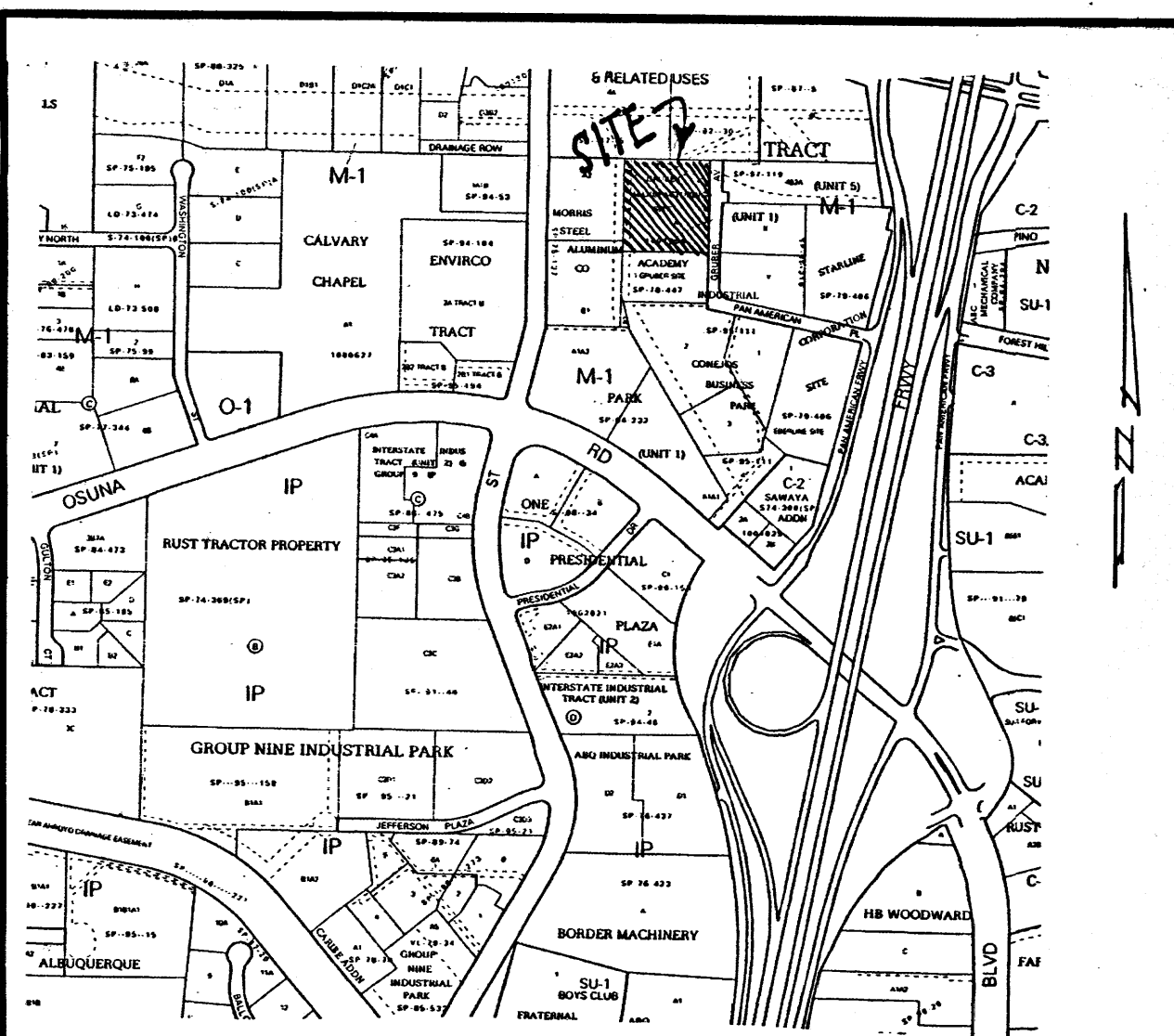




Zone Atlas Page:
E-17-Z

VICINITY MAP

DRAINAGE CERTIFICATION

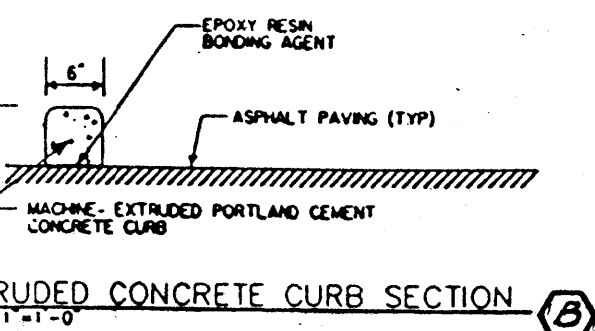
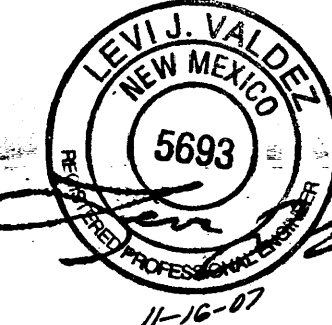
I, **LEVI J. VALDES**, NMPE #5693 of the firm **LOS MOCHOS, LLP**, hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated **03-09-07**. The record information edited onto the original design document has been obtained by **ANTHONY L. HARRIS**, NMPS #1465, of the firm **HARRIS SURVEYING**. I further certify that I have personally visited the project site on **11-15-07** and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for **Certification of Occupancy**.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

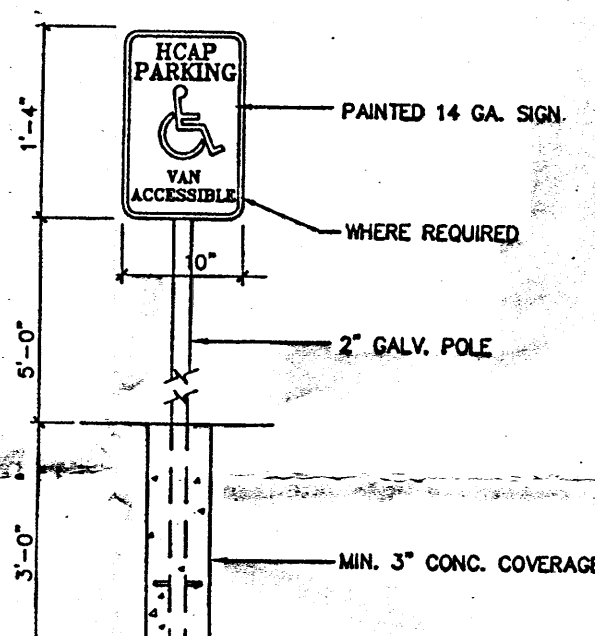
Levi J. Valdes
NMPE

Date: **11-16-07**

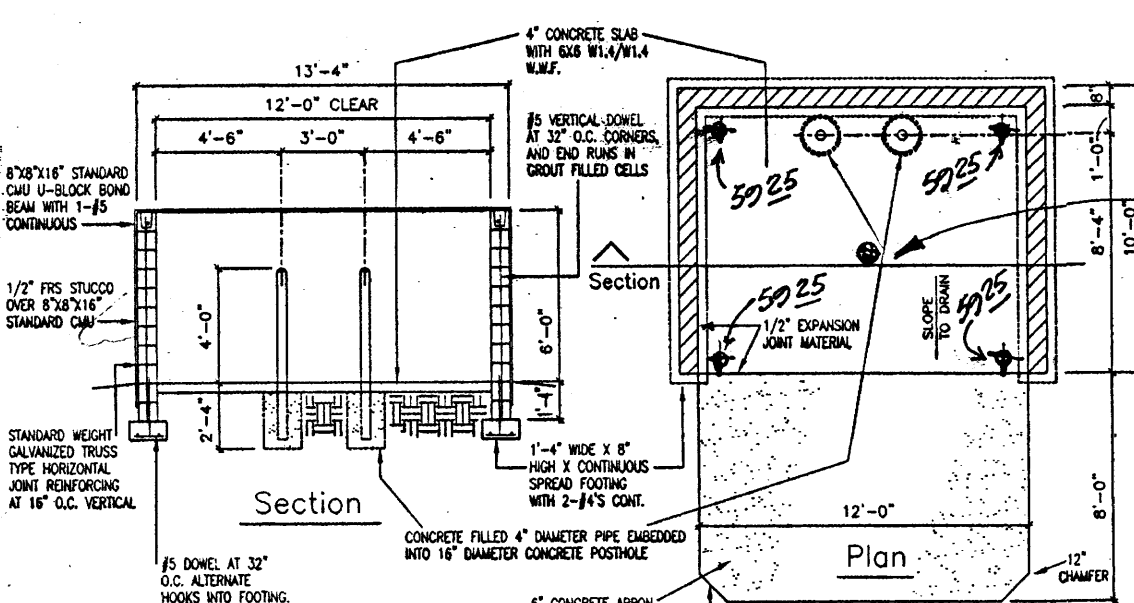
"AS-BUILT" ELEVATIONS
SHOWN THRU "E" (575)



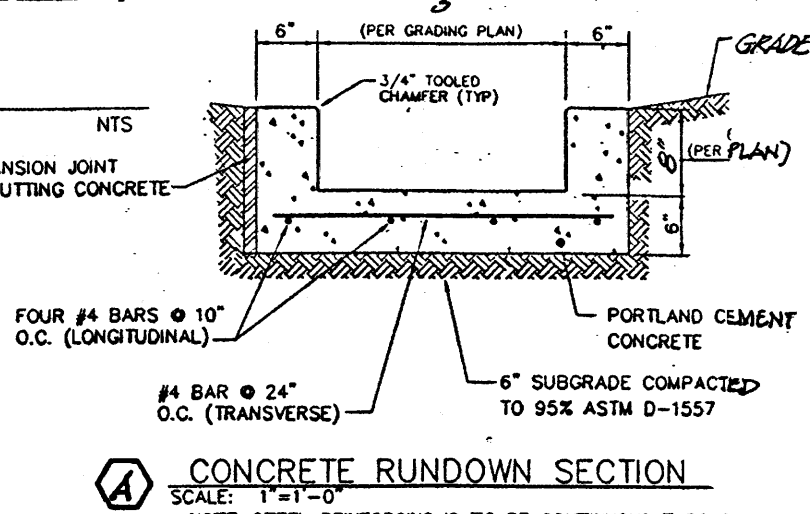
TYP. CONCRETE CURB SECTION



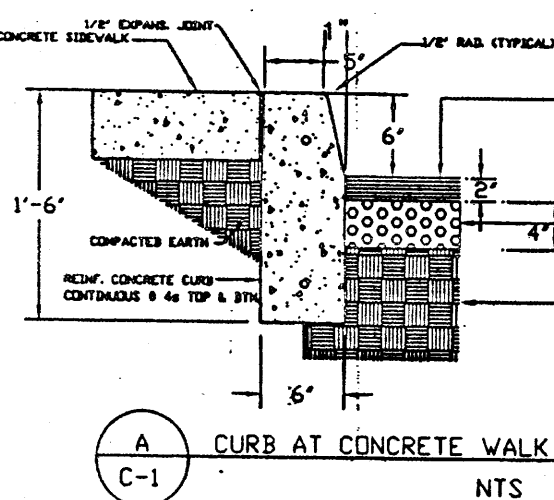
TYP. H.C. SIGN DETAIL



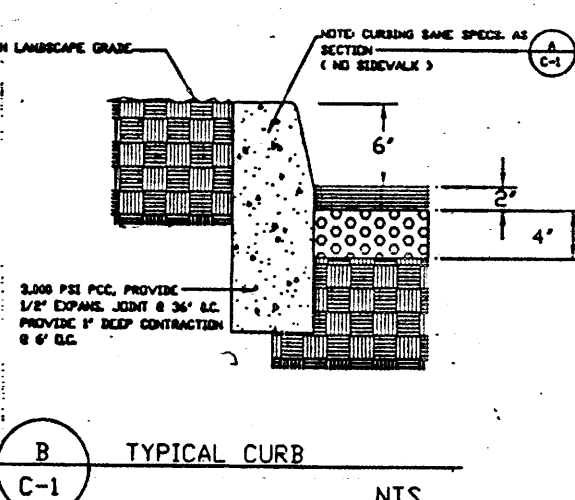
Refuse Enclosure Details



CONCRETE RUNDOWN SECTION



C-1 CURB AT CONCRETE WALK



B-1 TYPICAL CURB

CONSTRUCTION NOTES:

- 1) TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE AT 260-1990 FOR THE ACTUAL FIELD LOCATION OF THE EXISTING SURFACE UTILITIES.
- 2) PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.
- 3) ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- 4) ALL CONSTRUCTION WITHIN PUBLIC STREET RIGHT-OF-WAY(S) SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE/BERNALILLO COUNTY STANDARDS AND PROCEDURES.

EROSION CONTROL MEASURES:

- THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT OF STORM RUNOFF DURING CONSTRUCTION. HE SHALL ENSURE THAT THE FOLLOWING MEASURES ARE TAKEN:
- 1) ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY CONSTRUCTION OF BERMS, DIKES, SWALES, PONDS, AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUNOFF FROM LEAVING THE SUBJECT SITE AND ENTERING ADJACENT PROPERTIES.
 - 2) ADJACENT PUBLIC RIGHT-OF-WAYS SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUNOFF FROM THE SUBJECT SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER PUBLIC STREET RIGHT-OF-WAYS.
 - 3) THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ANY AND ALL SEDIMENT FROM PUBLIC STREETS THAT HAS BEEN ERODED FROM THE SUBJECT SITE AND DEPOSITED THEREON.

LEGEND:

TOP OF CURB ELEVATION = **72.03.50**
CURB FLOWLINE ELEVATION = **72.03.50**
EXISTING SPOT ELEVATION = **72.1**
EXISTING CONTOUR ELEVATION = **71.03**
PROPOSED SPOT ELEVATION = **72.03.50**
PROPOSED OR EXISTING CONCRETE SURFACE = **72.03.50**
EXISTING FENCE LINE = **N/A**

GENERAL NOTES:

- 1) NO PERMETER BOUNDARY CORNERS HAVE BEEN FIELD ESTABLISHED PER THIS SURVEY OF THE SUBJECT PROPERTY.
- 2) NO SEARCH HAS BEEN MADE FOR EASEMENTS OF RECORD OTHER THAN SHOWN HEREON.

A-1. PRECIPITATION ZONES

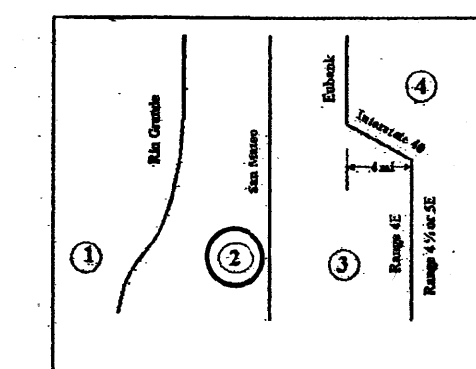
Bernalillo County's four precipitation zones are indicated in TABLE A-1 and on FIGURE A-1.

TABLE A-1. PRECIPITATION ZONES

ZONE	LOCATION
1	West of the Rio Grande
2	Between the Rio Grande and San Mateo
3	Between San Mateo and I-40, North of Interstate 40, and between San Mateo and the East boundary of Range 4 East, South of Interstate 40
4	East of I-40, North of Interstate 40, and East of the East boundary of Range 4 East, South of Interstate 40

TABLE A-1B. PEAK INTENSITY (IN/HR AT 1-6.3 hour)

Zone	Intensity	100-YR (2-YR, 10-YR)
1	4.70	(1.84, 3.14)
2	5.05	(2.04, 3.41)
3	5.38	(2.21, 3.65)
4	5.61	(2.34, 3.83)



NOTE: NEW PAVEMENT, CURB & GUTTER PER C.O.A. STD. CHART #2407 (WITHIN C.O.A. R/W)

Drainage Comments:

As shown on the Vicinity Map hereon, the subject site is located on the West side of Gruber Avenue N.E., which lies West of Interstate 25 and South of San Antonio Blvd. N.E., in the City of Albuquerque, Bernalillo County, New Mexico.

The subject site, 1) lies within an "AO" Zone; 100 year floodplain within an A.M.A.F.C.A. Channel (Firm Panel No. 35002C), 2) lies adjacent to an A.M.A.F.C.A. artificial water course, 3) does not accept offsite flows from adjacent properties, 4) is an infill site.

Calculations:

Per Section 22.2, Hydrology of the Development Process Manual, Volume 2., Design Criteria for the City of Albuquerque, Bernalillo County, New Mexico, dated January, 1996.

Site Area: 3.46 Acres

Precipitation Zone: Two (2)

Peak Intensity: In/HR. at T = Twelve (12) minutes, 100-Yr. = 5.05

Existing Condition:

Treatment	Area/acres	Factor	Cfs
C	3.19	x 3.14	= 10.02
D	0.27	x 4.70	= 1.27

"Qp" = 11.29 Cfs

Proposed Developed Conditions:

Treatment	Area/acres	Factor	Cfs
C	0.75	x 3.14	= 2.36
D	2.71	x 4.70	= 12.74

"Qp" = 15.10 Cfs ***Increase = 3.81 CFS

*NOTE: RETAINING WALL DESIGN PER PROJECT ARCHITECT.

LEGAL DESCRIPTION:

Tract "A", GRUBER MANUFACTURING SITE, to the City of Albuquerque, New Mexico, (Plat filed: September 17, 2001, (Plat Book 2001c, Page 260).

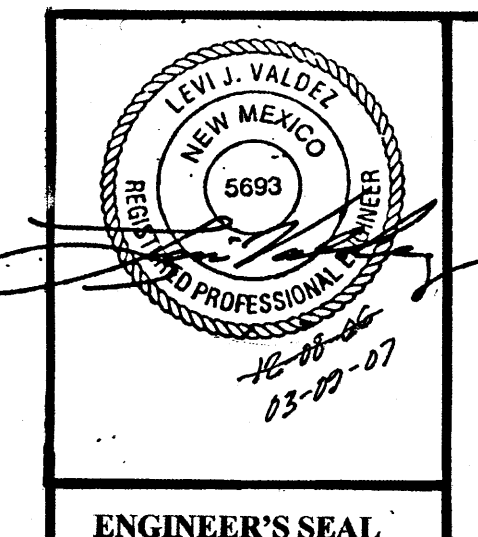
BENCH MARK REFERENCE:

ACS Station "16-E17"; Elevation = 5144.74, (Project T.B.M. as shown on the plan hereon).

- Drainage Facilities within City Right-of-Way Notice to Contractor
1. An excavation permit will be required before beginning any work within City Right-of-Way.
 2. All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
 3. Two working days prior to any excavation, the contractor must contact the line locating service, New Mexico One Call 260-1990, for the location of existing utilities.
 4. Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
 5. Backfill compaction shall be according to traffic/street use.
 6. Maintenance of the facility shall be the responsibility of the owner of the property being served.
 7. Work on aerial streets shall be performed on a 24-hour basis.

APPROVALS	NAME	DATE
HYDROLOGY INSPECTOR		

NOTE: ALL WORK WITHIN PUBLIC EASEMENT SHALL BE PERFORMED UNDER SEPARATE PERMIT.

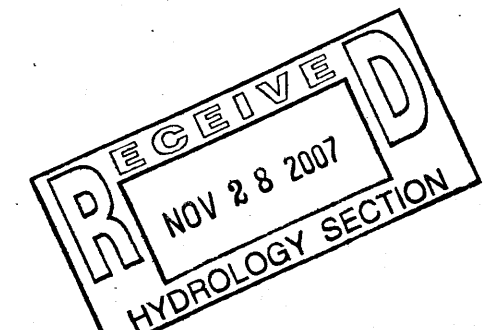


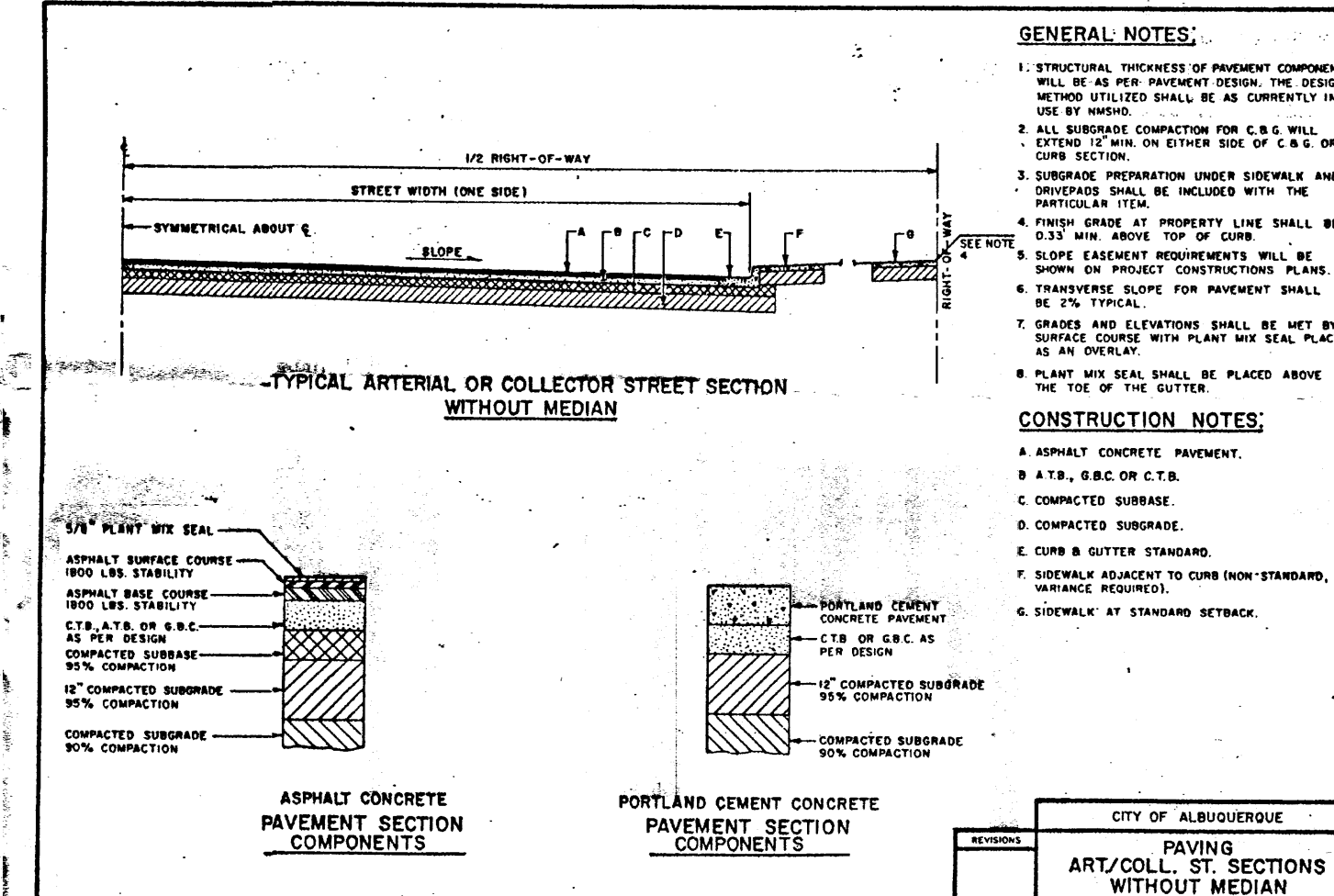
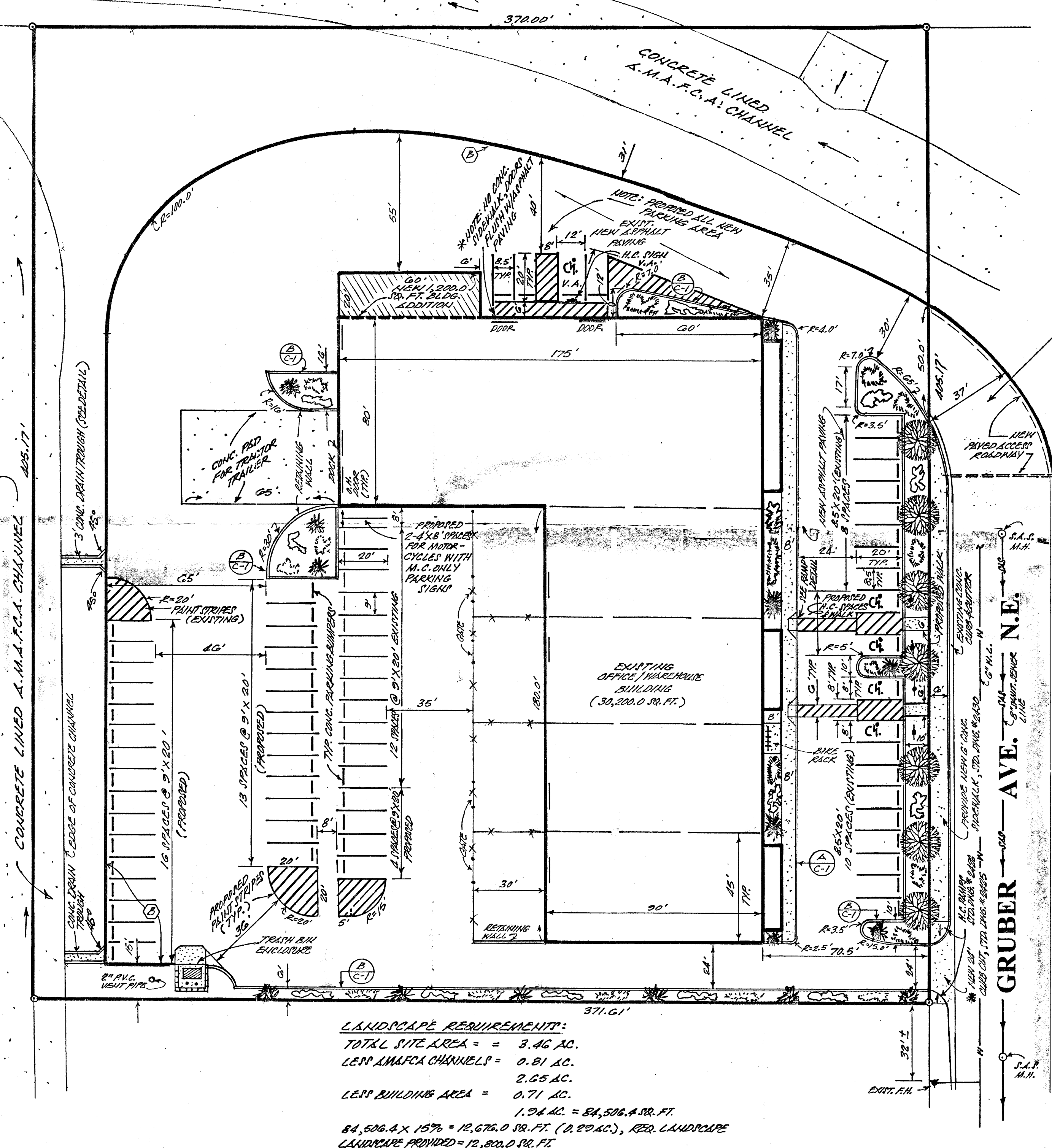
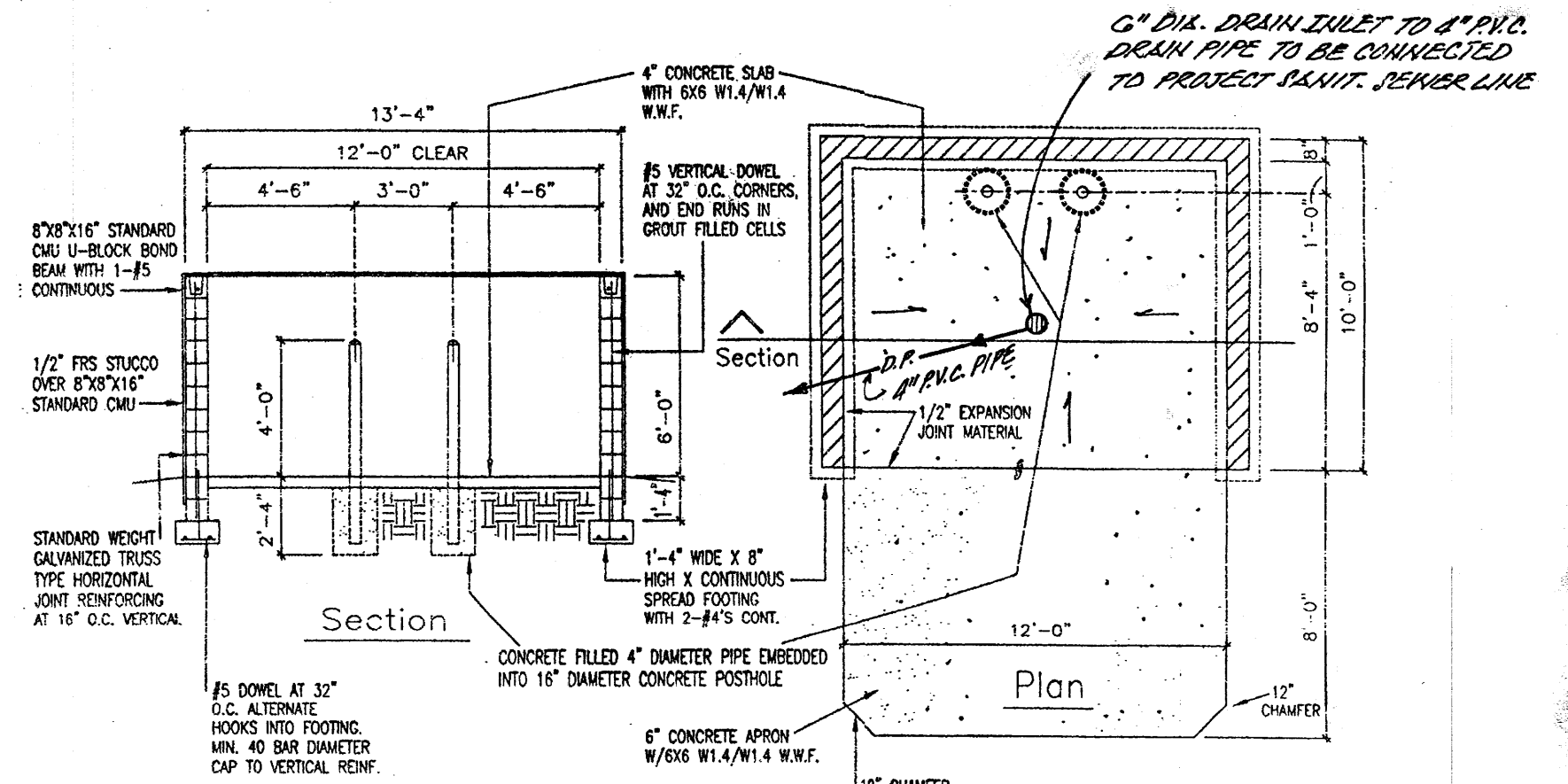
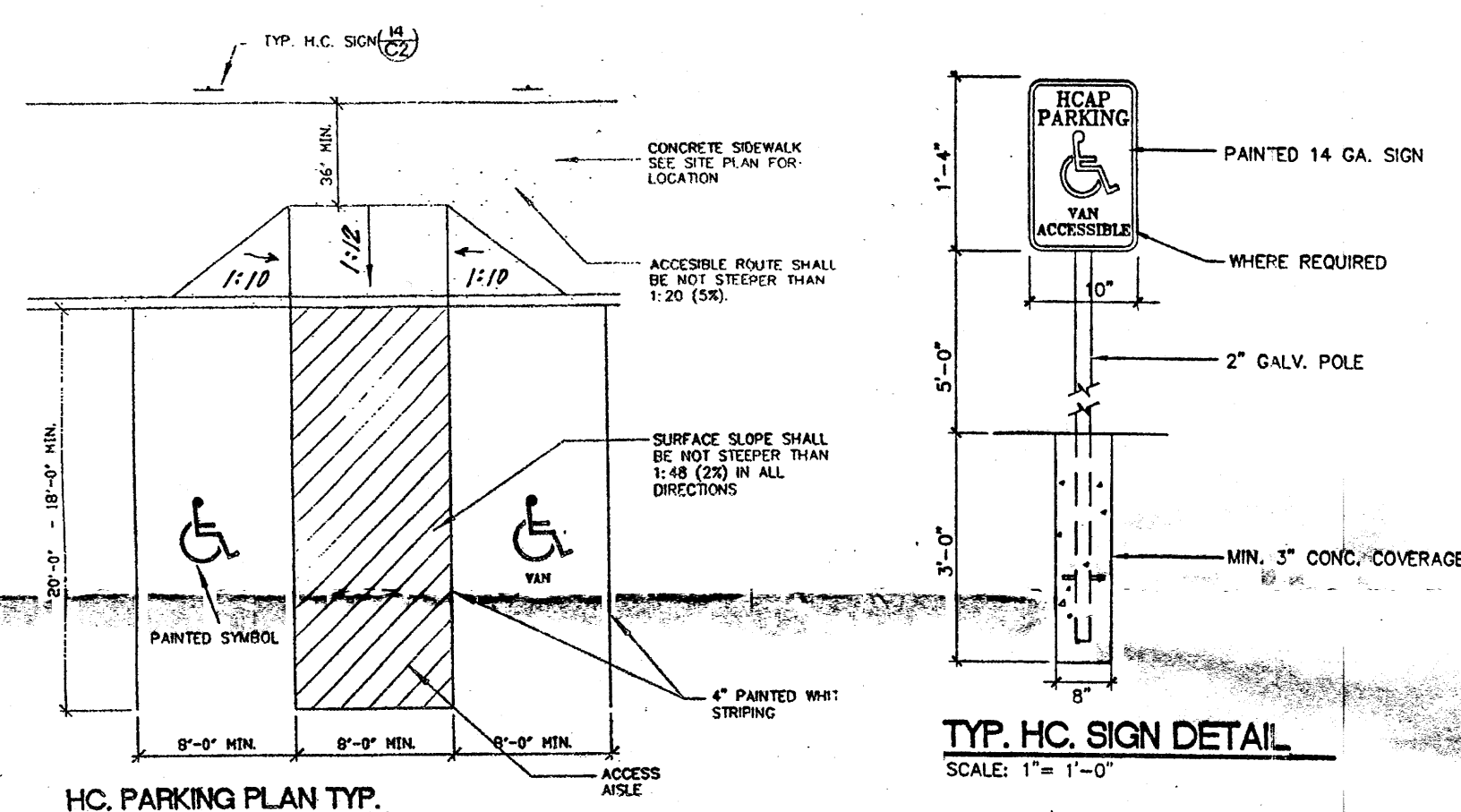
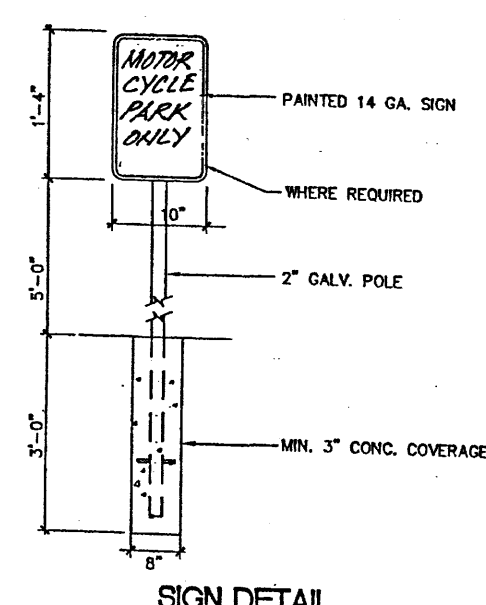
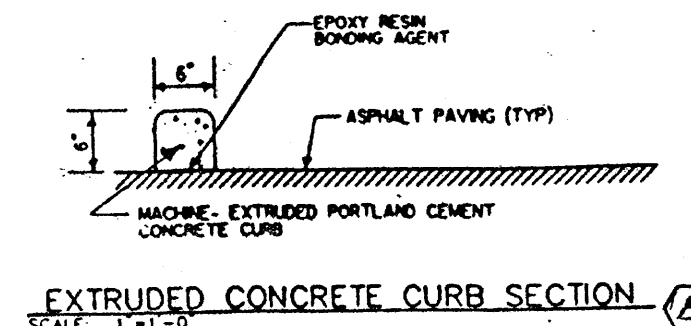
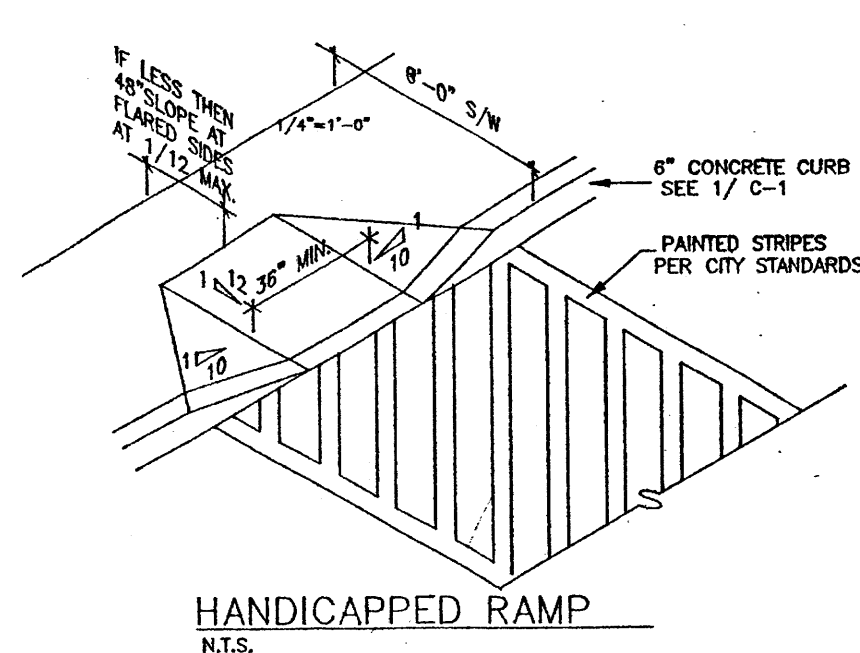
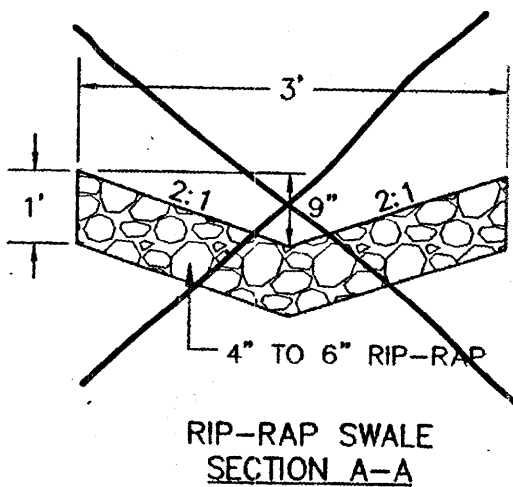
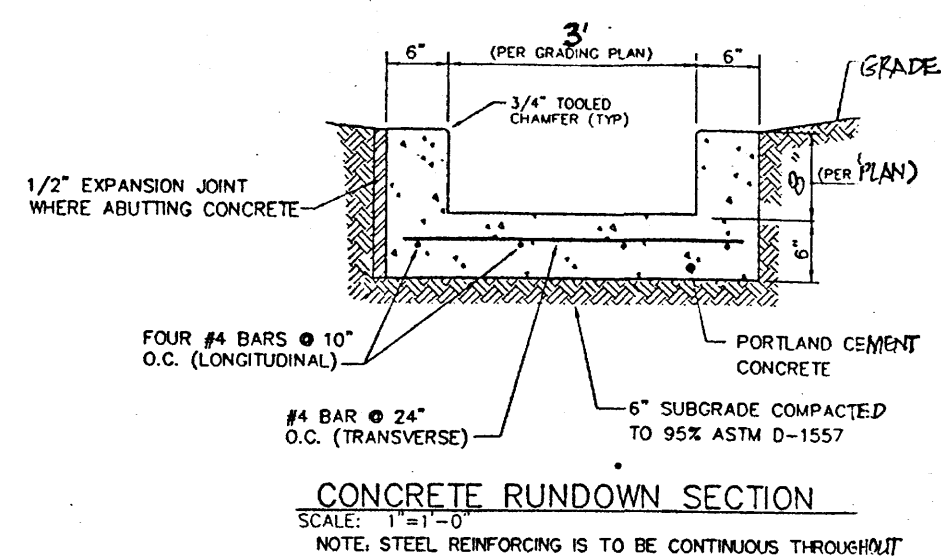
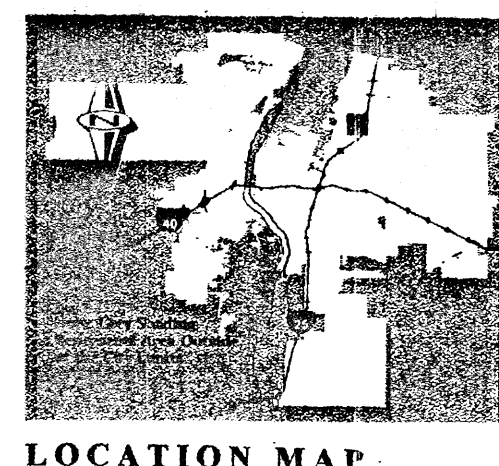
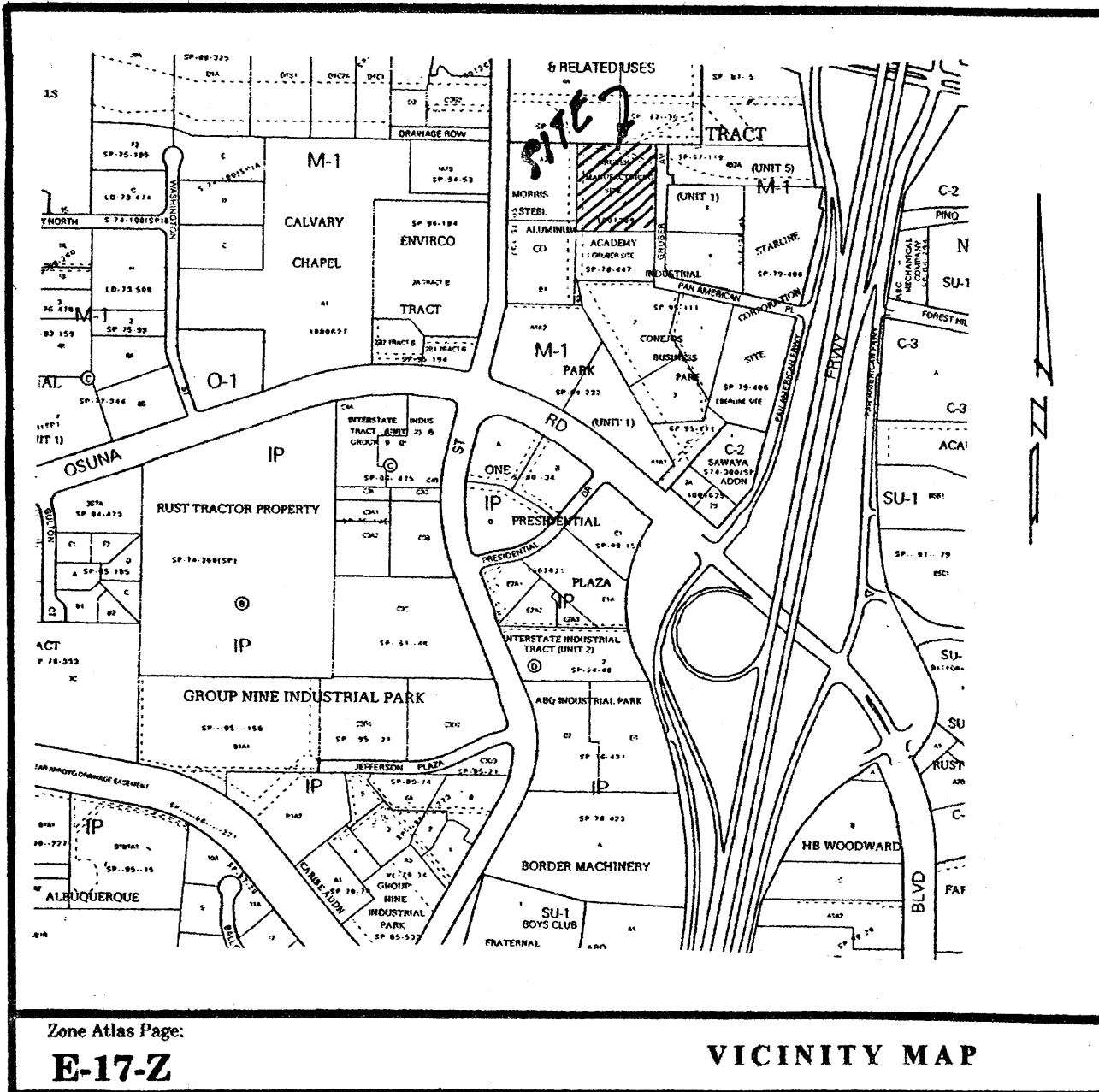
ENGINEER'S SEAL

GRADING AND DRAINAGE PLAN

ENGINEER'S CERTIFICATION/11-07

LOS MOCHOS, LLP
PROPOSED DEVELOPMENT
OF
TRACT "A"
GRUBER MANUFACTURING SITE
(GRUBER AVENUE N.E.)
ALBUQUERQUE, NEW MEXICO
NOVEMBER, 2006





TRAFFIC CIRCULATION LAYOUT APPROVED

Signed: *[Signature]* Date: 7/2/08

Public Infrastructure shown on these plans for information only and not part of approval. Separate DRC/Permit approval and Work Order required.

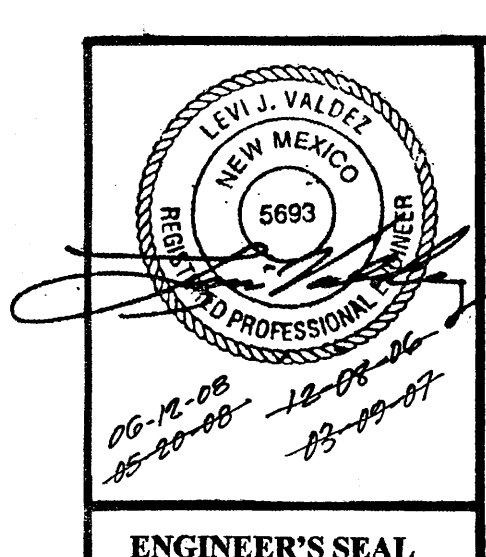
ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

TRAFFIC CIRCULATION LAYOUT

LANDSCAPE REQUIREMENTS:
TOTAL SITE AREA = 3.46 AC.
LESS AMARCA CHANNELS = 0.81 AC.
2.65 AC.
LESS BUILDING AREA = 0.71 AC.
1.94 AC. = 86,506.4 SR. FT.
86,506.4 x 15% = 12,975.9 SR. FT. (0.87 AC.), REED LANDSCAPE
LANDSCAPE PROVIDED = 12,800.0 SR. FT.

LEGAL DESCRIPTION:
TRACT "A", GRUBER MANUFACTURING SITE, ALBUQUERQUE, NEW MEXICO.
ZONE CATEGORY: "M-1" ZONED.
SITE AREA: 3.46 ACRES
ZONE ATLAS MAP: E-17-Z

PARKING REQUIREMENTS:
TOTAL BUILDING SR. FT. = 31,000.0 SR. FT.
OFFICES (12.5%) = 4,075.0 / 200 = 25 SPACES
WAREHOUSE AREA = 26,925.0 / 2000 = 13 SPACES
TOTAL SPACE REQ. = 38 SPACES
* PROVIDED SPACES = 63 SPACES
M.G. SPACES = 2 SPACES
ACCESSIBLE SPACES = 5 SPACES (1-VAN ACCESSIBLE)



LOS MOCHOS, LLP
PROPOSED DEVELOPMENT
OF
TRACT "A"
GRUBER MANUFACTURING SITE
(GRUBER AVENUE N.E.)
ALBUQUERQUE, NEW MEXICO
NOVEMBER, 2006

RECEIVED
JUN 26 2008
HYDROLOGY SECTION