

# CITY OF ALBUQUERQUE



March 23, 2017

Ron Bohannon, P.E.  
Tierra West LLC  
5571 Midway Park Place  
Albuquerque, NM 87109

**Re: Independence Square, 6701 Jefferson St. NE**  
**Request for Certificate of Occupancy- Transportation Development**  
AA Stamp dated 02-08-17 (E17-D076)  
Certification dated 03-14-17

Dear Mr. Bohannon,

Based upon the information provided in your submittal received 03-15-17 and photos received 03-23-17, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

PO Box 1293

If you have any questions, please contact me at (505) 924-3991.

Albuquerque

Sincerely,

New Mexico 87103

Racquel M. Michel, P.E.  
Traffic Engineer, Planning Dept.  
Development Review Services

[www.cabq.gov](http://www.cabq.gov)

via: email  
C: CO Clerk, File



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: Independence Square (Jefferson and Osuna) Building Permit #: \_\_\_\_\_ City Drainage #: E17E076

DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: Lot 1 Independence Square

City Address: \_\_\_\_\_

Engineering Firm: Tierra West LLC Contact: \_\_\_\_\_

Address: 5571 Midway Park Place, NE Albuquerque, NM 87109

Phone#: (505) 858-3100 Fax#: \_\_\_\_\_ E-mail: vcarrica@tierrawestllc.com

Owner: Argus Jefferson Partners, LLC Contact: \_\_\_\_\_

Address: 4700 Montgomery Blvd, NE, Suite 200

Phone#: (505) 855-7602 Fax#: \_\_\_\_\_ E-mail: jeff@amcdevelopment.net

Architect: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Other Contact: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Check all that Apply:

### DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE  
☒ TRAFFIC/ TRANSPORTATION  
☐ MS4/ EROSION & SEDIMENT CONTROL

### TYPE OF SUBMITTAL:

- ☒ ENGINEER/ ARCHITECT CERTIFICATION  
  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ DRAINAGE MASTER PLAN  
☐ DRAINAGE REPORT  
☐ CLOMR/LOMR  
  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

☐ OTHER (SPECIFY) \_\_\_\_\_

IS THIS A RESUBMITTAL?: ☐ Yes ☐ No

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL  
☒ CERTIFICATE OF OCCUPANCY  
  
☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR

☐ PRE-DESIGN MEETING  
☐ OTHER (SPECIFY) \_\_\_\_\_

DATE SUBMITTED: 3/14/17 By: [Signature]

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

5571 Midway Park Place NE Albuquerque, NM 87109  
(505) 858-3100 Fax (505) 858-1118 1-800-245-3102  
tierrawestllc.com

# TIERRA WEST, LLC

March 14, 2017

Ms. Racquel Michel, P.E.  
Development and Building Services  
City of Albuquerque  
P.O. Box 1293  
Albuquerque, NM 87103

**RE: SITE PLAN FOR BUILDING PERMIT CERTIFICATION  
CERTIFICATION FOR PERMANENT CERTIFICATE OF OCCUPANCY  
LOVELACE MEDICAL CLINIC, 6701 JEFFERSON STREET, NE 87109**

Dear Ms. Michel:

I, Ronald R. Bohannon, NMPE #7868, of the firm Tierra West LLC, hereby request approval of the as-built AA Site Plan for Building Permit for issuance of the Permanent Certificate of Occupancy for the project referenced above. This project is in substantial compliance as inspected on March 14, 2017 and is in accordance with the design intent of the Administrative Amended Site Plan for Building Permit dated 5/14/15. (Reference #10005517) This certification is submitted in support of the request for Permanent Certificate of Occupancy for the completed building.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Enclosed, please find the information sheet and the as-built AA Site Plan for Building Permit. Therefore, we request approval of the as-built Site Plan for Building Permit for a Permanent Certificate of Occupancy for the completed buildings.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

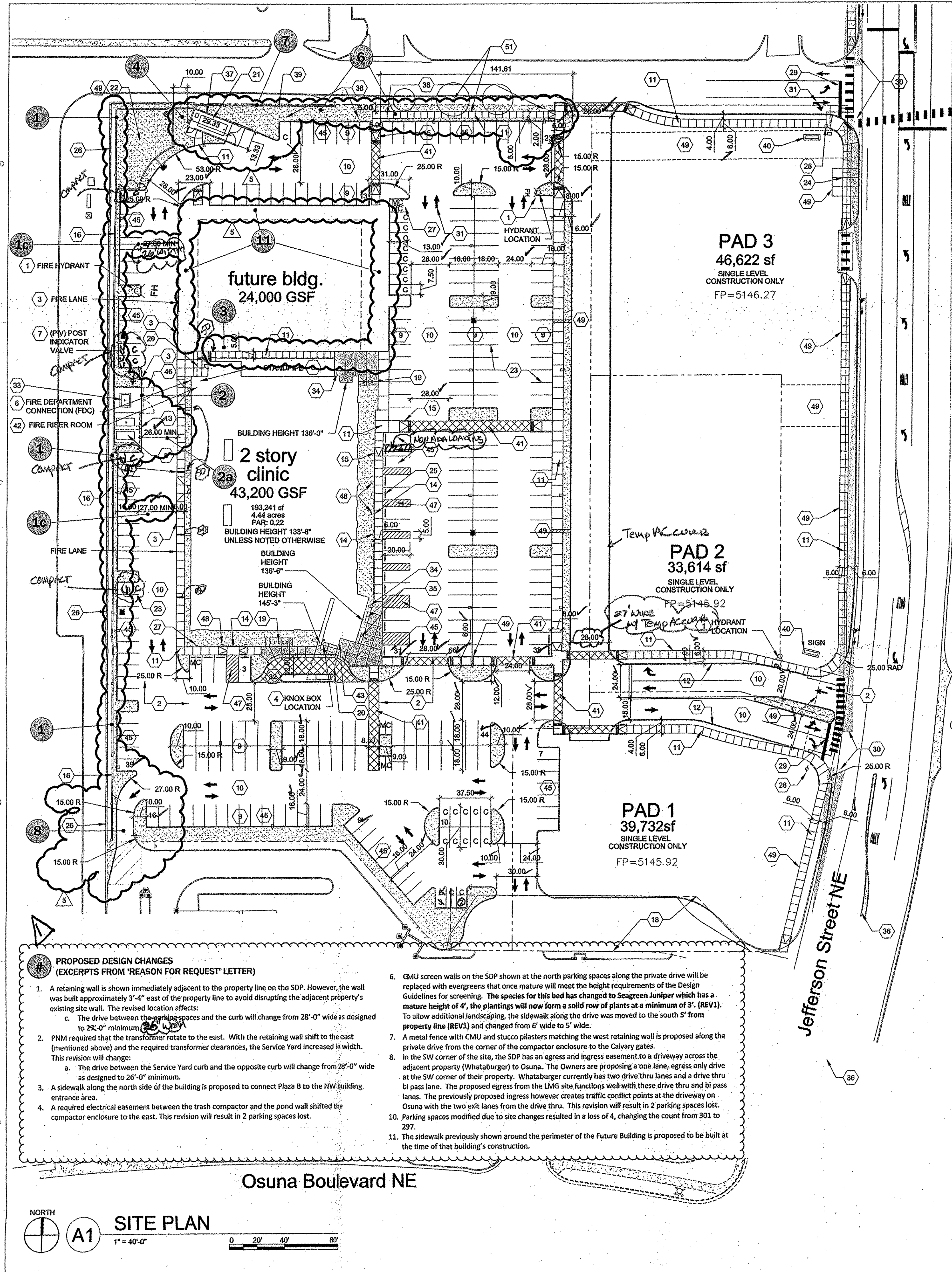
Sincerely,



Ronald R. Bohannon, P.E.

Enclosure/s

JN: 2014065  
RRB/VC/bf



**PROJECT NUMBER:** 1005517

**APPLICATION NUMBER:** DRB Site Development Plan-Building Permit

Is an Infrastructure List Required? (x) Yes ( ) No If yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DRB SITE DEVELOPMENT PLAN APPROVAL:**

<i>[Signature]</i>	4/20/16	DATE
TRAFFIC ENGINEER, TRANSPORTATION DIVISION		
<i>[Signature]</i>	04/20/16	DATE
ABCWUA		
<i>[Signature]</i>	4-20-16	DATE
PARKS AND RECREATION DEPARTMENT		
<i>[Signature]</i>	5/13/16	DATE
CITY ENGINEER		
<i>[Signature]</i>	2/3/16	DATE
SOLID WASTE MANAGEMENT		
<i>[Signature]</i>	2/3/16	DATE
FIRE MARSHALL		
<i>[Signature]</i>	5-16-2016	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT		

**PROJECT DATA**

**ADDRESS:** 6701 JEFFERSON STREET NE, ALBUQUERQUE, NM 87109

**LEGAL DESCRIPTION:** LOT 4, INDEPENDENCE SQUARE, FORMERLY ENVIRO TRACT

**ZONE ATLAS PAGE:** E-17

**SITE AREA:** 4.3846 ACRES

**CURRENT ZONING:** M-1

**PROPOSED ZONING:** NO CHANGE

**BUILDING FOOTPRINT:** 35,000 SF ( PHASE 1: 23,000 SF; PHASE 2: 12,000 SF)

**LANDSCAPING:** REFER TO LANDSCAPE PLAN

**OCCUPANCY GROUP:** B

**CONSTRUCTION TYPE:** IIB, FULLY SPRINKLERED

**PARKING CALCULATIONS**

TOTAL PARKING SPACES REQUIRED PER CODE:  
MEDICAL OR DENTAL OFFICE, CLINIC: 48  
DOCTORS/PROVIDERS = 240 SPACES REQUIRED (5 SPACES PER DOCTOR)

**PROPOSED PARKING:**

259	STANDARD CAR SPACES	261
23	COMPACT CAR SPACES	22
14	ACCESSIBLE SPACES	44 (12 REQUIRED)
246	TOTAL CAR SPACES	297
9	MOTORCYCLE SPACES	810 (REQUIRED)
16	BICYCLE PARKING	16 (15 REQUIRED)

**SITE AMENITIES**

PLAZA 'A' = 825 SF  
LOW SEAT WALLS WITH SEATING FOR 8 ✓  
PLAZA 'B' = 800 SF  
CHAIRS AND TABLES WITH SEATING FOR 10

LANDSCAPING  
PAVING PATTERNS  
SHADE

**ZONE ATLAS MAP E-17-Z**

**LEGEND**

- PROPERTY LINE
- EXISTING EASEMENT
- NEW EASEMENT
- 12'-0" MAX HT. POLE LIGHT WITH FULL CUT-OFF
- LIGHT BOLLARDS
- FIRE HYDRANT
- CONCRETE SIDEWALK, SALT FINISH WITH INTEGRAL COLOR TBD
- LANDSCAPE AREA

**PROPOSED DESIGN CHANGES (EXCERPTS FROM 'REASON FOR REQUEST' LETTER)**

- A retaining wall is shown immediately adjacent to the property line on the SDP. However, the wall was built approximately 3'-4" east of the property line to avoid disrupting the adjacent property's existing site wall. The revised location affects:
  - The drive between the parking spaces and the curb will change from 28'-0" wide as designed to 25'-0" minimum.
- PNM required that the transformer rotate to the east. With the retaining wall shift to the east (mentioned above) and the required transformer clearances, the Service Yard increased in width. This revision will change:
  - The drive between the Service Yard curb and the opposite curb will change from 28'-0" wide as designed to 26'-0" minimum.
- A sidewalk along the north side of the building is proposed to connect Plaza B to the NW building entrance area.
- A required electrical easement between the trash compactor and the pond wall shifted the compactor enclosure to the east. This revision will result in 2 parking spaces lost.
- GMU screen walls on the SDP shown at the north parking spaces along the private drive will be replaced with evergreens that once mature will meet the height requirements of the Design Guidelines for screening. The species for this had has changed to Seagreen Juniper which has a mature height of 4', the plantings will now form a solid row of plants at a minimum of 3' (REV1). To allow additional landscaping, the sidewalk along the drive was moved to the south 5' from property line (REV1) and changed from 6' wide to 5' wide.
- A metal fence with CMU and stucco pilasters matching the west retaining wall is proposed along the private drive from the corner of the compactor enclosure to the Calvary gates.
- In the SW corner of the site, the SDP has an egress and ingress easement to a driveway across the adjacent property (Whataburger) to Osuna. The Owners are proposing a one lane, egress only drive at the SW corner of their property. Whataburger currently has two drive thru lanes and a drive thru bi pass lane. The proposed egress from the LMG site functions well with these drive thru and bi pass lanes. The previously proposed ingress however creates traffic conflict points at the driveway on Osuna with the two exit lanes from the drive thru. This revision will result in 2 parking spaces lost.
- Parking spaces modified due to site changes resulted in a loss of 4, changing the count from 301 to 297.
- The sidewalk previously shown around the perimeter of the Future Building is proposed to be built at the time of that building's construction.

**ADMINISTRATIVE AMENDMENT**  
FILE #1005517 PROJECT #1005517  
MINOR SITE CHANGES  
AS OUTLINED  
APPROVED BY *[Signature]* DATE 2-8-2017

**HYDRANT AND FIRE ACCESS**  
ALBUQUERQUE FIRE MARSHAL'S OFFICE  
PLANS CHECKING DIVISION  
SOFT COPY CONSTRUCTION TYPE 1  
APPROVED/DISAPPROVED  
DATE 2/3/16  
SIGNATURE/MAIN NUMBER/DATE

**GENERAL SHEET NOTES**

- THIS SUBMITTAL ILLUSTRATES THE DESIGN AND DEVELOPMENT INTENT FOR A NEW CLINIC AND ASSOCIATED LANDSCAPE GRADING AND UTILITY IMPROVEMENTS.
- SITE LIGHTING WILL CONSIST OF A COMBINATION OF BUILDING MOUNTED LIGHT FIXTURES AND POLE MOUNTED FIXTURES.
- TWO PHASES ARE INDICATED IN THE SITE PLAN. THE MAJORITY OF BUILDING AND SITE DEVELOPMENT WILL OCCUR IN PHASE 1. PHASE 2 INCLUDES DEVELOPMENT OF ADDITIONAL BUILDING SQUARE FOOTAGE IN THE CONFIGURATION INDICATED ON THE PLANS.
- MECHANICAL UNITS WILL BE PLACED ON THE ROOF. MECHANICAL UNITS WILL BE SCREENED FROM VIEW WITH A COMBINATION OF STRATEGIC PLACEMENT AND ARCHITECTURAL SCREENING, SEE ARCHITECTURAL PLANS.
- ALL PARKING SPACES ARE 9'-0" WIDE UNLESS NOTED OTHERWISE
- ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON A WORK ORDER

**SHEET KEYED NOTES**

- FIRE HYDRANT
- FIRE DEPARTMENT ACCESS
- FIRE LANE STRIPING
- KNOX BOX
- STANDPIPE
- FIRE DEPARTMENT CONNECTION (FDC)
- POST INDICATOR VALVE (PIV)
- Cooling Tower
- ASPHALT PAVING
- HEAVY DUTY ASPHALT
- CONCRETE SIDEWALK
- CONCRETE CURB AND GUTTER
- SERVICE YARD ENCLOSURE, STUCCO TO MATCH BUILDING
- CONCRETE HEADER CURB
- CONCRETE ACCESSIBLE RAMP
- RETAINING WALL, SEE C1SDP 1.2
- NOT USED
- EXISTING EASEMENT
- BIKE RACKS
- OVERHEAD STRUCTURE
- COMPACTOR, 34 CU. YD. CAPACITY, SEE B1SDP 1.2 FOR ENCLOSURE GATE
- STORM WATER AREA WITH WALL ENCLOSURE, REF CIVIL DRAWINGS
- PARKING STRIPING
- BUS SHELTER LOCATION
- PARKING BUMPER
- EXISTING SITE WALL AT PROPERTY LINE
- MOTORCYCLE PARKING SIGN, SEE A1SDP1
- STOP SIGN, SEE A1SDP1.2
- STOP LINE
- CLEAR SIGHT TRIANGLE, LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- PAVEMENT ARROWS
- DROP OFF AREA
- TRANSFORMER
- LITTER RECEPTACLE
- SEAT WALL
- EXISTING MEDIAN
- TRASH COMPACTOR/ENCLOSURE
- VERMIGREEN SCREEN WALL AT ALL PARKING SPACES ALONG PRIVATE DRIVE. SEE LANDSCAPING.
- METAL FENCE WITH STUCCO PILASTERS TO MATCH RETAINING WALL
- DOUBLE SIDED MONUMENT SIGN
- HEAVY DUTY CONCRETE PAVING, COLOR & PATTERN TBD
- FIRE RISER ROOM
- BUILDING SIGNAGE, 24" HIGH WITH 2" STROKE
- NOT USED
- 8'-6" WIDE PARKING SPACES
- SERVICE YARD GATES ALLOW REQUIRED 10' CLEARANCE ACCESS TO TRANSFORMER
- ADA ACCESS AISLE, NO PARKING IN CAPITAL LETTERS AT LEAST 12" HIGH AND 2" WIDE PLACED AT THE REAR OF THE PARKING SPACE, CLOSE TO AN ADJACENT VEHICLES REAR TIRE, REF DETAIL 903-1-4.1.3 NMSA (1978)
- ADA ACCESSIBILITY SIGN, REQUIRED LANGUAGE PER DETAIL 66-7-352.4C NMSA 1978: VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING, SEE A1SDP1.2
- NEW EASEMENT WITH DEDICATED RIGHT OF WAY, REF CIVIL DRAWINGS
- ROOF OVERFLOW LOCATION WITH CONCRETE CULVERT AND METAL GRATE AT SIDEWALK, TYP. OF 4
- NEW SIDEWALK SETBACK 5'-0" MINIMUM FROM THE EXISTING CURB TO ACCOMMODATE EXISTING LANDSCAPING, MATURE TREES AND RETENTION AREAS

**LEGEND**

- PROPERTY LINE
- EXISTING EASEMENT
- NEW EASEMENT
- 12'-0" MAX HT. POLE LIGHT WITH FULL CUT-OFF
- LIGHT BOLLARDS
- FIRE HYDRANT
- CONCRETE SIDEWALK, SALT FINISH WITH INTEGRAL COLOR TBD
- LANDSCAPE AREA

**REVISIONS**

NO.	DATE	DESCRIPTION
1	2-3-16	Fire Marshal Comments
2	2-3-16	Solid Waste Comment
3	3-4-16	Design Modifications
4	4-1-16	DRB Comments & Design Mods
5	1-20-17	AA Site Modifications

**DRAWN BY:** DPS  
**REVIEWED BY:** CRG  
**DATE:** 02/05/2016  
**PROJECT NO.:** 16-0006  
**DRAWING NAME:** SITE PLAN (FIRE 1)

**SHEET NO. SDP 1.1**

ARCHITECTURE / DESIGN / INSPIRATION

**DEKKER PERICH SABATINI**

7601 JEFFERSON NE, SUITE 100  
ALBUQUERQUE, NM 87109

505.761.9700 / DPSDESIGN.ORG

ARCHITECT

ENGINEER

PROJECT

Medical Clinic  
Site Development Plan for Building Permit  
6701 Jefferson Street NE  
ALBUQUERQUE, NEW MEXICO

**SDP 1.1**





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