

CITY OF ALBUQUERQUE



Timothy M. Keller, Mayor

February 21, 2018

Vincent Carrica, P.E.
Tierra West, LLC
5571 Midway Park Place NE
Albuquerque, NM, 87109

RE: Independence Square – Lots 1, 2 & 3
Grading Plan
Stamp Date: 02/20/18
Hydrology File: E17D076A

Dear Mr. Carrica:

PO Box 1293 Based upon the information provided in your resubmittal received 02/21/2018, the revised Grading Plan is approved for Building Permit and Grading Permit.

Albuquerque Please attach a copy of this approved plan in the construction sets for Building Permit processing. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

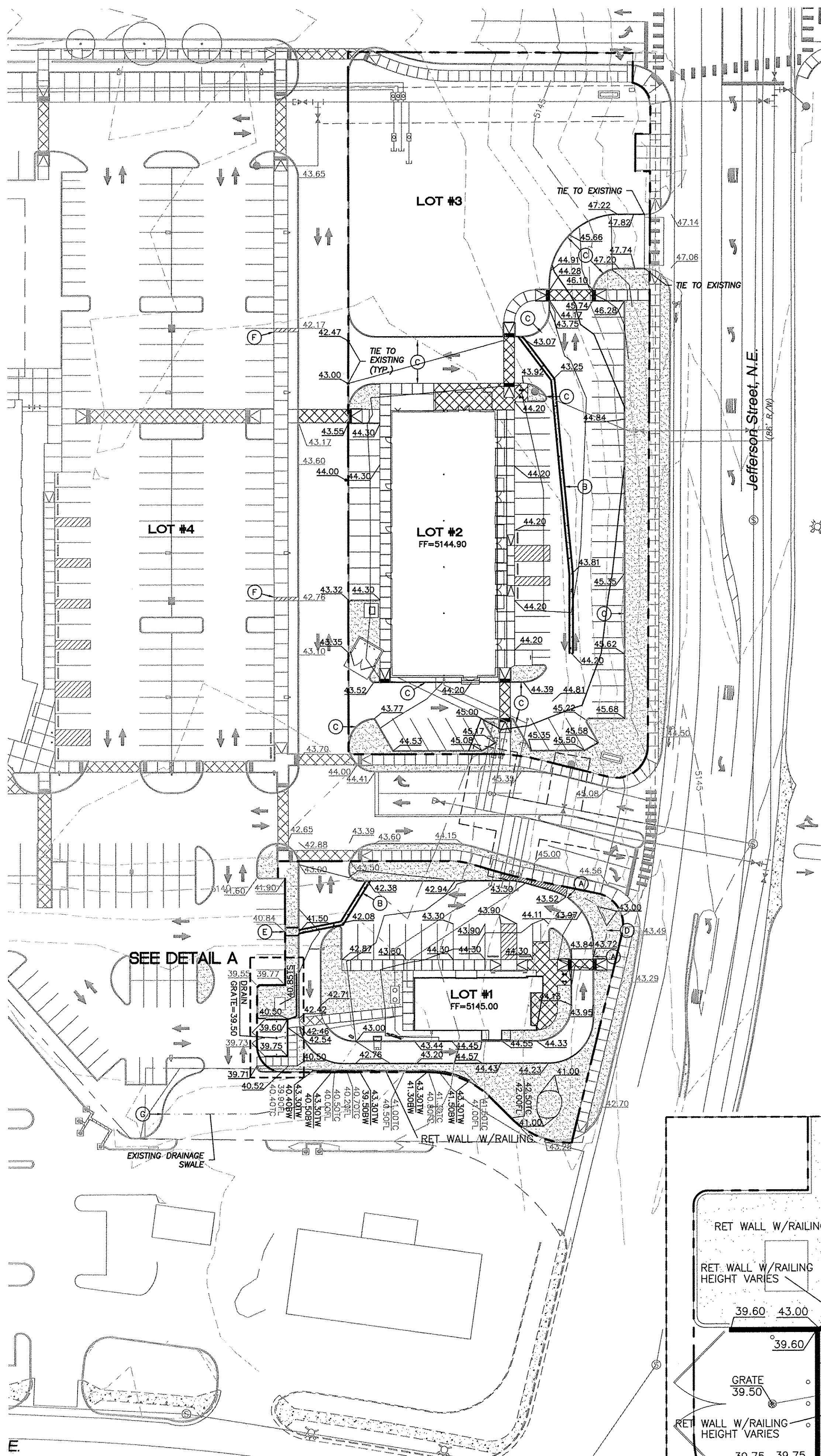
NM 87103 If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

www.cabq.gov

Renée C. Brissette

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



NOTICE TO CONTRACTORS

- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- SOURCE OF TOPO IS ALTA/ACSM LAND TITLE SURVEY OF LOT 2 HARMS INDUSTRIAL PARK PREPARED BY PRECISION SURVEYS, INC DATED JUNE, 2014.

NOTICE TO CONTRACTORS

- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
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- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

EROSION CONTROL NOTES:

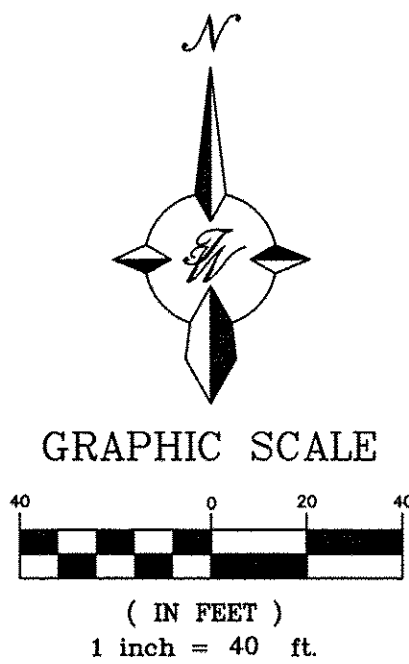
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
- REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.

KEYED NOTE:

- A 2 FT CURB CUT
- B 2 FT CONCRETE ALLEY GUTTER PER COA STD DWG #2415A
- C 6" HEADER CURB PER COA STD DWG #2415B
- D DRAINAGE SWALE
- E 4 FT CONCRETE RUNDOWN
- F EXISTING SIDEWALK CULVERT
- G EXISTING CURB CUT

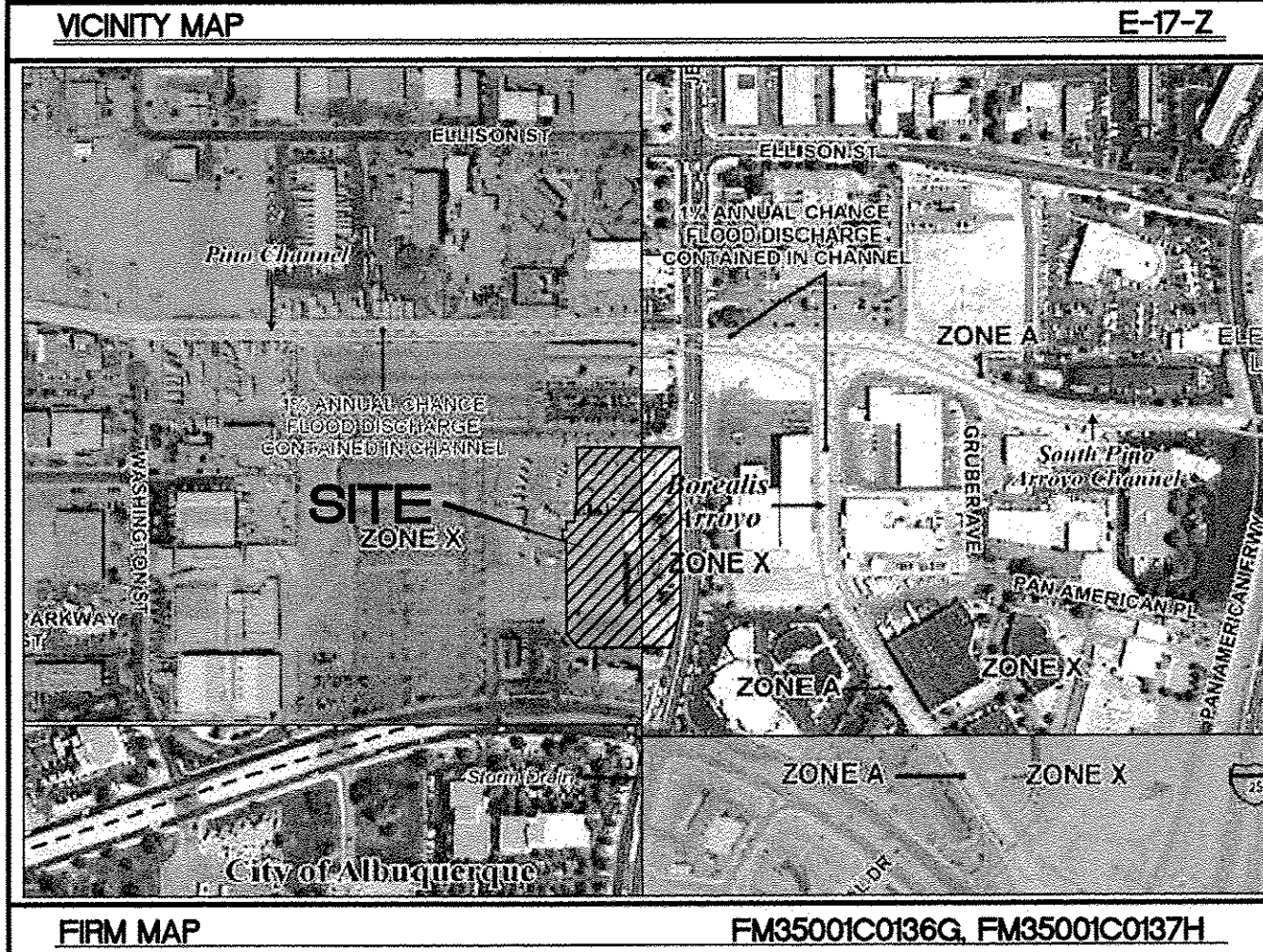
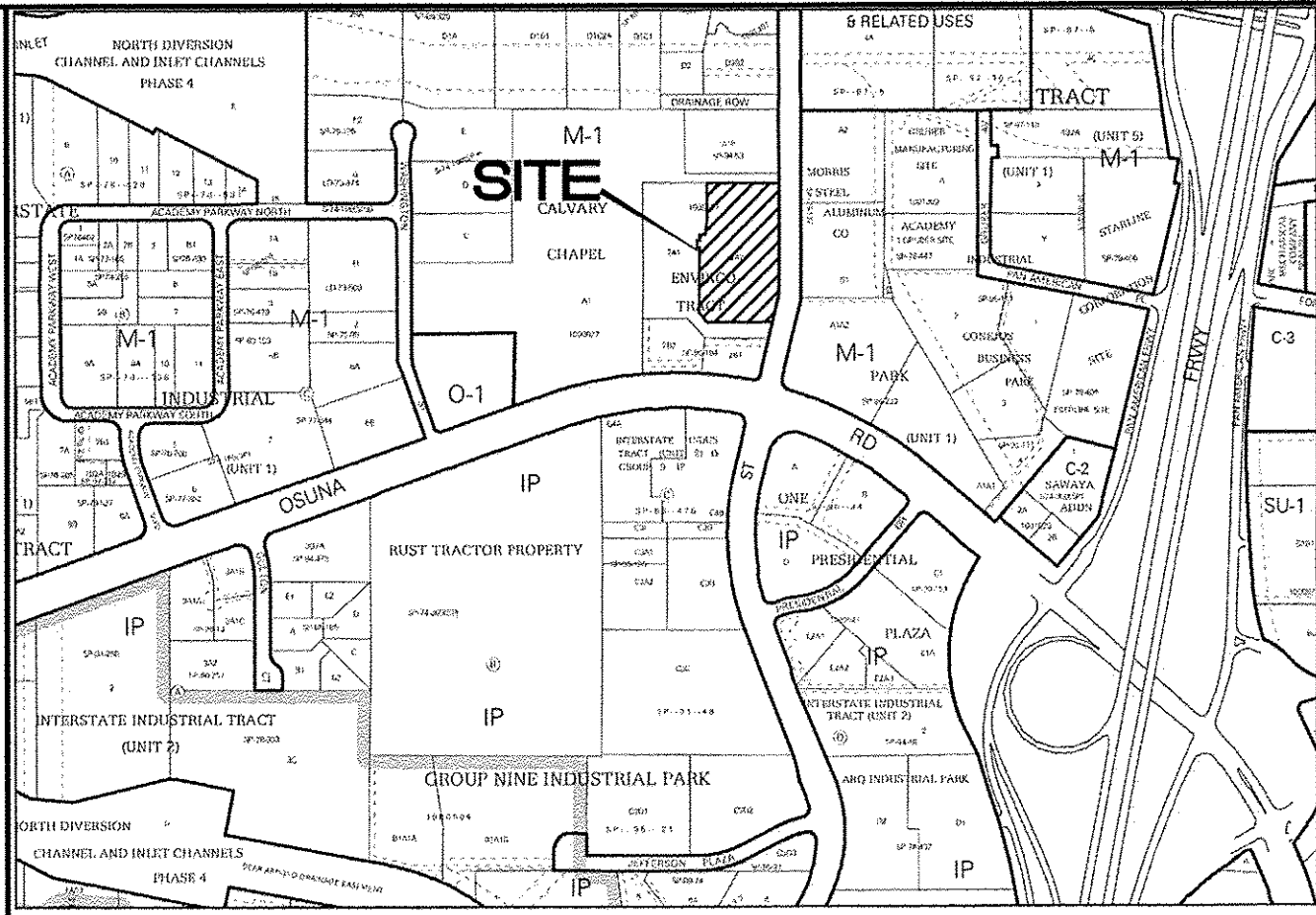
LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- BUILDING
- RETAINING WALL
- 5010 CONTOUR MAJOR
- 5011 CONTOUR MINOR
- x 5048.25 SPOT ELEVATION
- EXISTING CURB & GUTTER
- EXISTING CONTOUR MAJOR
- EXISTING CONTOUR MINOR
- x 5048.25 EXISTING SPOT ELEVATION
- REGRADE EXISTING ASPHALT



CAUTION

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



DRAINAGE:

LOTS ONE, TWO AND THREE ARE OUTLOTS INCLUDED IN THE OVERALL GRADING AND DRAINAGE PLAN AND REPORT FOR INDEPENDENCE SQUARE (COA FILE: E170076), WHICH WAS APPROVED IN APRIL OF 2016. THEY ARE LISTED IN THE REPORT AS DRAINAGE BASINS 5, 9, 11 AND 13. ALL OF BASINS 9 AND 11 WILL BE DEVELOPED WITH ONLY A PORTION OF LOTS 5 AND 13 BEING DEVELOPED FOR ACCESS AISLES. THE PROPOSED IMPERVIOUS AREAS FOR EACH LOT WILL REMAIN EQUAL TO OR BELOW WHAT WAS APPROVED IN THE ORIGINAL DRAINAGE PLAN, AS INDICATED IN THE WEIGHTED E TABLE ON THIS PLAN SHEET. THIS REDUCTION IN IMPERVIOUS AREA WILL RESULT IN A MINOR REDUCTION IN RUNOFF FOR A 100-YEAR DESIGN STORM OF 0.16 CFS. RUNOFF FROM THE IMPERVIOUS AREAS WILL BE DIRECTED TO THE WEST INTO LOT 4 WHERE THE REQUIRED FIRST FLUSH VOLUMES WILL BE CONTAINED WITHIN LANDSCAPED AREAS AND A DRAINAGE POND WITHIN ADJACENT PREVIOUSLY DEVELOPED BASINS AS OUTLINED IN THE ABOVE REFERENCED DRAINAGE REPORT.

ALL IMPROVEMENTS DOWNSTREAM OF LOTS 1, 2 AND 3 HAVE BEEN COMPLETED AND CERTIFIED WITHIN THE OVERALL PLAN AREA INCLUDING FIRST FLUSH PONDS, THE DETENTION POND AND ITS OUTFALL TO THE SOUTH PINO ARROYO. ALL RUNOFF FROM LOTS 1, 2 AND 3 FLOW WEST THROUGH LOT 4 AND THE PREVIOUSLY COMPLETED PORTION OF THE OVERALL PLAN AREA TO EXISTING OUTFALLS WITH EXISTING DRAINAGE EASEMENTS THROUGH THE ADJACENT LOTS TO OSUNA BLVD TO THE SOUTH AND TO THE SOUTH PINO ARROYO TO THE NORTH. THE DRAINAGE EASEMENTS ARE SHOWN ON THE PLAT FOR LOTS 1-4, INDEPENDENCE SQUARE, DOC # 2016047428, 2016C, PG 0060 RECORDED ON 05/25/2016.

THE TRASH ENCLOSURE SHOWN FOR LOT 1 WILL BE EQUIPPED WITH AN INLET AND DRAIN TO A GREASE INTERCEPTOR BEFORE DRAINING TO THE EXISTING SANITARY SEWER SYSTEM AS PART OF THE DEVELOPMENT OF THIS LOT. DETAILS FOR THE DRAIN AND GREASE TRAP WILL BE PROVIDED WITH THE BUILDING PERMIT PLANS FOR LOT 1.

Zone #2

Developed Basins

Basin #	Area (sf)	Area (acres)	Area (sq miles)	Treatment A				Treatment B				Treatment C				Treatment D				100-Year		
				%	(acres)	%	(acres)	%	(acres)	%	(acres)	%	(acres)	%	(acres)	%	(acres)	%	(acres)	Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs
5	13050	0.300	0.00047	0%	0	0%	0.000	7%	0.020971	93%	0.279	2.051	0.051	1.38								
9	35751	0.821	0.00128	0%	0	0%	0.000	16%	0.131317	84%	0.689	1.962	0.134	3.65								
11	26143.00	0.600	0.00094	0%	0	0%	0.000	35%	0.210056	65%	0.390	1.774	0.089	2.49								
13	20822.00	0.478	0.00075	0%	0	0%	0.000	20%	0.095601	80%	0.382	1.922	0.077	2.10								

Equations:

Weighted E = Ea * Aa + Eb * Ab + Ec * Ac + Ed * Ad / (Total Area)
Volume = Weighted D * Total Area
Flow = Qa * Aa + Qb * Ab + Qc * Ac + Qd * Ad

Weighted E Method

INDEPENDENCE SQUARE
ALBUQUERQUE, NM

LOT 1 AND LOT 2
GRADING PLAN

TIERRA WEST, LLC
5571 MIDWAY PARK PL NE
ALBUQUERQUE, NEW MEXICO 87109
(505) 858-3100
www.tierrawestllc.com

DRAWN BY
pm

DATE
2-20-18

DRAWING
2017093-CRB

SHEET #

1

JOB #
2017093