

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

October 1, 2020

David Thompson
Thompson Engineering Consultants, Inc.
P.O. Box 65760
Albuquerque, NM 87190

**RE: Lovelace Medical Group, Phase 2
Lot 4, Independence Square
Request for Certificate of Occupancy - Permanent
Hydrology Final Inspection –Approved
Grading and Drainage Plan Stamp Date: 9/6/19
Certification Dated: 9/21/20
Drainage File: E17D076B**

PO Box 1293

Dear Mr. Thompson:

Albuquerque

Based on the submittal received on 9/21/20 and field inspection 10/1/20, this certification is approved in support of Permanent Certificate of Occupancy by Hydrology.

If you have any questions, please contact me at 924-3986 or earmijo@cabq.gov.

NM 87103

Sincerely,

www.cabq.gov

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

Project Title: _____ **Building Permit #:** _____ **Hydrology File #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Applicant: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Owner: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF SUBMITTAL: _____ PLAT (____# OF LOTS) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL?: _____ Yes _____ No

DEPARTMENT: _____ TRAFFIC/ TRANSPORTATION _____ HYDROLOGY/ DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- _____ ENGINEER/ARCHITECT CERTIFICATION
- _____ PAD CERTIFICATION
- _____ CONCEPTUAL G & D PLAN
- _____ GRADING PLAN
- _____ DRAINAGE MASTER PLAN
- _____ DRAINAGE REPORT
- _____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- _____ ELEVATION CERTIFICATE
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ TRAFFIC IMPACT STUDY (TIS)
- _____ OTHER (SPECIFY) _____
- _____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- _____ BUILDING PERMIT APPROVAL
- _____ CERTIFICATE OF OCCUPANCY
- _____ PRELIMINARY PLAT APPROVAL
- _____ SITE PLAN FOR SUB'D APPROVAL
- _____ SITE PLAN FOR BLDG. PERMIT APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ SIA/ RELEASE OF FINANCIAL GUARANTEE
- _____ FOUNDATION PERMIT APPROVAL
- _____ GRADING PERMIT APPROVAL
- _____ SO-19 APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ GRADING/ PAD CERTIFICATION
- _____ WORK ORDER APPROVAL
- _____ CLOMR/LOMR
- _____ FLOODPLAIN DEVELOPMENT PERMIT
- _____ OTHER (SPECIFY) _____

DATE SUBMITTED: _____ **By:** _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

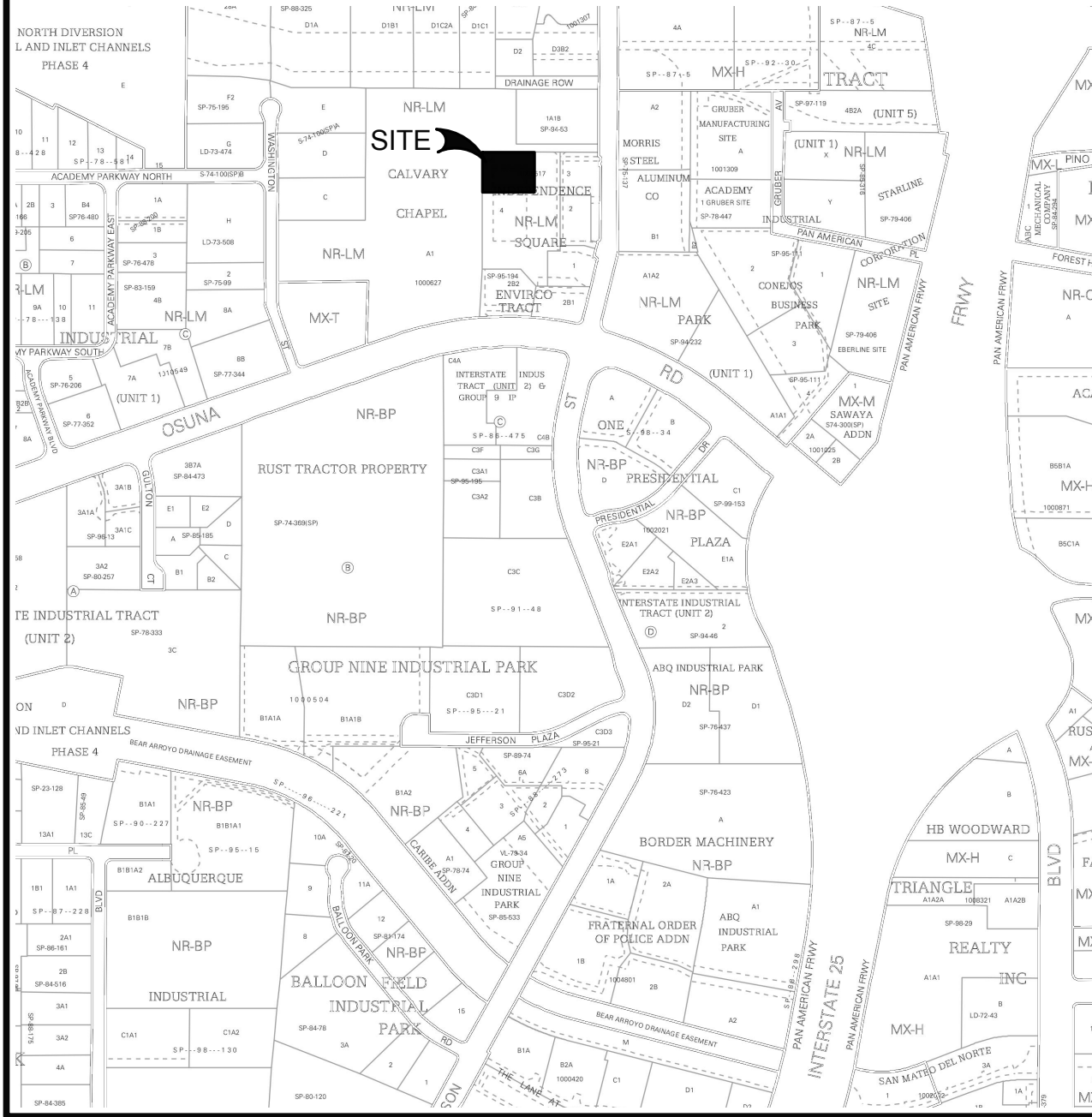
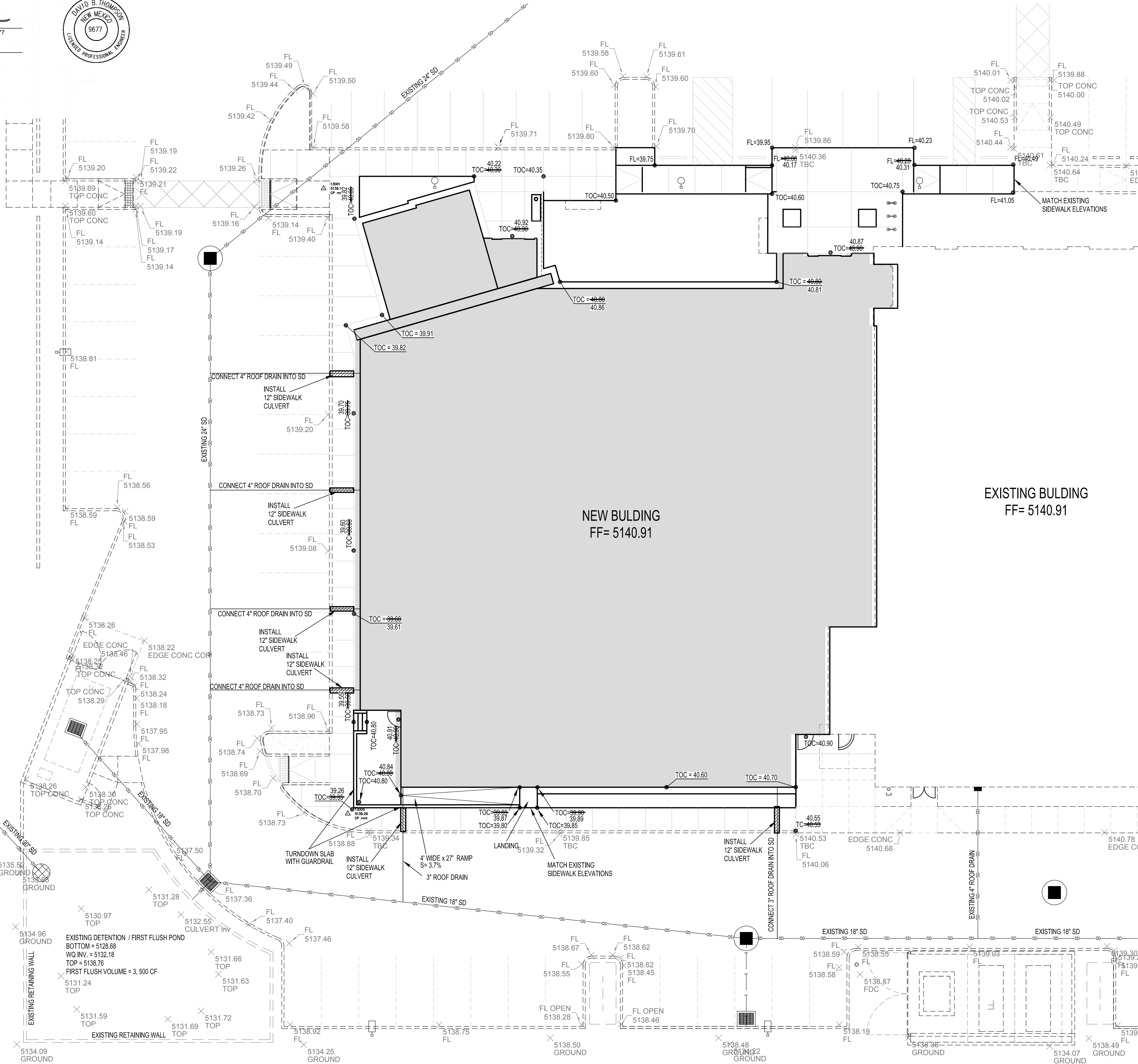
FEE PAID: _____

DRAINAGE CERTIFICATION

I, DAVID B. THOMPSON, NMPE 9677, OF THE FIRM THOMPSON ENGINEERING CONSULTANTS, INC., HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 9-6-19. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY BRIAN MARTINEZ, NMRPS 18374, OF THE FIRM CARTESIAN SURVEYS INC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 9-17-20 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

David B. Thompson
DAVID B. THOMPSON, NMPE 9677
DATE 9-21-20



DRAINAGE PLAN:

LEGAL DESCRIPTION: LOT 4, INDEPENDENCE SQUARE

SITE AREA: 4.38 ACRES

FLOOD HAZARD STATEMENT: F.E.M.A. FLOODWAY BOUNDARY AND FLOODWAY MAP DATED SEPTEMBER 26, 2008 (PANEL NO. 3501C131963) INDICATES A FLOOD HAZARD ZONE X WHICH IS AN AREA DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN.

METHODOLOGY:

THE DRAINAGE ANALYSIS FOR PHASE 2 OF THIS SITE IS IN ACCORDANCE WITH SECTION 22 OF THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL (DPM), ENTITLED "DRAINAGE: FLOOD CONTROL AND EROSION CONTROL." THE DESIGN STORM USED FOR BOTH UNDEVELOPED AND DEVELOPED CONDITIONS IS THE 100-YEAR, 24-HOUR STORM EVENT FOR RUNOFF. THE SITE IS LOCATED IN ZONE 2 SO THE 100-YEAR, 24-HOUR STORM EVENT IS 2.75 INCHES.

DEVELOPED DRAINAGE CONDITIONS:

THIS GRADING AND DRAINAGE PLAN FOLLOWS THE INDEPENDENCE SQUARE DRAINAGE REPORT (CON FILE E170701). PHASE 2 INVOLVES THE CONSTRUCTION OF THE EXPANSION OF THE LOVELAKE MEDICAL GROUP BUILDING TO THE NORTH. THE MAJORITY OF THE PAVING AND SIDEWALKS WERE CONSTRUCTED DURING PHASE 1. SOME MINOR ADJUSTMENTS TO THE PARKING AND SIDEWALKS ADJACENT TO THE BUILDING ARE INCLUDED WITH THIS PHASE. THE PHASE 2 BUILDING WAS INCLUDED IN BASIN 2 OF THE ORIGINAL DRAINAGE REPORT. WITH THIS PHASE, THE TOTAL IMPERVIOUS AREA FOR BASIN 2 IS 25,100 SQUARE FEET OR 83% OF THE BASIN AREA, WHICH IS SLIGHTLY LESS THAN THE 85% IMPERVIOUS AREA FOR BASIN 2 SHOWN IN THE INDEPENDENCE SQUARE DRAINAGE REPORT. THEREFORE, THE RUNOFF AND FIRST FLUSH VOLUME WILL BE SLIGHTLY LESS THAN THE RUNOFF AND FIRST FLUSH VOLUME INCLUDED IN THE INDEPENDENCE SQUARE DRAINAGE REPORT. RUNOFF FROM THE BUILDING ROOF WILL BE DISCHARGED DIRECTLY TO THE EXISTING STORM DRAIN SYSTEM VIA UNDERGROUND DRAIN PIPES. ALL RUNOFF FROM PHASE 2 DRAINS TO THE EXISTING STORM DRAIN. THE STORM DRAIN DISCHARGES TO A RETENTION/DETENTION POND AT THE NORTHWEST CORNER OF THE SITE. THIS POND HAS A 100-YEAR PEAK DISCHARGE OF 21.7 CFS. THE POND DRAINS THROUGH A 30-INCH STORM DRAIN TO THE SOUTH POND CHANNEL NORTH OF THE SITE. THIS POND ALSO INCLUDES A FIRST FLUSH VOLUME OF 3,500 CUBIC FEET BELOW THE DISCHARGE ELEVATION. ACCORDING TO THE INDEPENDENCE SQUARE DRAINAGE REPORT THE TOTAL FIRST FLUSH VOLUME PROVIDED FOR INDEPENDENCE SQUARE LOT 4 IS 5,878 CUBIC FEET, WHICH IS GREATER THAN 5,878 CUBIC FEET REQUIRED. ALL FIRST FLUSH PONDS WERE CONSTRUCTED AND CERTIFIED AS PART OF PHASE 1.

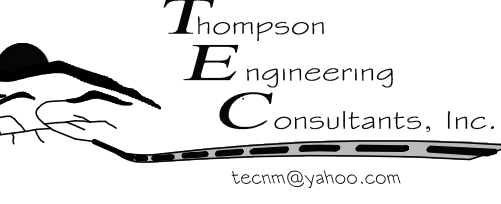
LEGEND

- EXISTING CURB & GUTTER
- EXISTING STORM DRAIN
- EXISTING STORM DRAIN MANHOLE
- EXISTING STORM DRAIN INLET
- EXISTING PARKING STRIPE
- EXISTING SIDEWALK
- PROPERTY BOUNDARY
- PROPOSED BUILDING

NOTE:

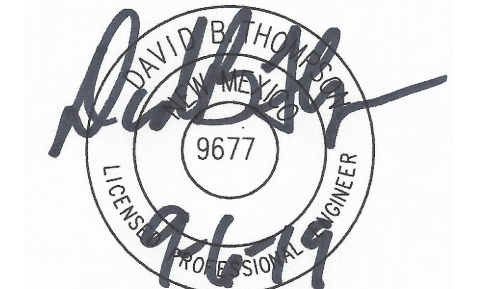
TOC = TOP OF CONCRETE
TBC = TOP OF BACK OF CURB
FL = FLOWLINE

ARCHITECT



P.O. BOX 65760
ALBUQUERQUE, NM 87193
PHONE: (505) 271-2199
FAX: (505) 650-9246

ENGINEER



PROJECT

LMG CLINIC ADDITION

6701 JEFFERSON NE
ALBUQUERQUE, NM

REVISIONS

- RFI - 054
- ASI - 019

DRAWN BY DEM
REVIEWED BY DBT
DATE August 2019
PROJECT NO. 19-0041

GRADING &
DRAINAGE PLAN

SHEET NO.

C101