

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

October 10, 2023

David Madden
BDA Architecture
901 Lamberton Pl. NE
Albuquerque, NM 87107

Re: Roadrunner Veterinary Hospital
5971 Jefferson St. NE
Traffic Circulation Layout
Architect's Stamp 08-16-23 (E17-D078)

Dear Mr. Madden,

Based upon the information provided in your submittal received 09-26-23, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. List the number of Motorcycle and Bicycle parking spaces required by the IDO.
2. Identify all existing access easements and rights of way width dimensions.
3. Show on the site plan the existing site accesses width.
4. Due to show the property line in the middle of the site, please provide approved plat showing shares accesses and parking agreement.
5. Please list the width and length for all existing and proposed parking spaces. Some dimensions are not shown.
6. The minimum parking stall dimensions are:

Type of parking	Min. Width	Min. Length	Min. Overhang
Standard	8.5'	18'	2'
Compact	7.5'	15'	1.5'
Motorcycle	4'	8'	N/A
ADA	8.5'	18'	2'

7. The ADA accessible spaces must include an access aisle. Van accessible aisles should be 8ft wide; all others should be 5ft wide.
8. **All ADA signage** must be updated to the current standard. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 "**Violators Are Subject to a Fine and/or Towing.**" Please call out detail and location of signs.
9. **All the ADA access aisles** shall have the words "**NO PARKING**" in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1. B NMSA 1978)

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10. ADA curb ramps at the site accesses must be updated to current standards and have truncated domes installed.
11. All the interior existing ADA curb ramps must be updated to current standards and have truncated domes installed.
12. Motorcycle parking spaces shall be designated by its own conspicuously posted upright sign, either free-standing or wall mounted per the zoning code.
13. The pavement marking "MC" should be shown in the opposite direction for motorcycles entering the parking space.
14. All bicycle racks shall be designed according to the following guidelines:
 - a. The rack shall be a minimum 30 inches tall and 18 inches wide.
 - b. The bicycle frame shall be supported horizontally at two or more places. Comb/toaster racks are not allowed.
 - c. The rack shall be designed to support the bicycle in an upright position. See the IDO for additional information.
 - d. The rack allows varying bicycle frame sizes and styles to be attached.
 - e. The user is not required to lift the bicycle onto the bicycle rack.
 - f. Each bicycle parking space is accessible without moving another bicycle.
15. Bicycle racks shall be sturdy and anchored to a concrete pad.
16. A 1-foot clear zone around the bicycle parking stall shall be provided.
17. Bicycle parking spaces shall be at least 6 feet long and 2 feet wide.
18. Show all drive aisle widths and radii. Some dimensions are not shown.
19. The minimum drive aisle dimensions are shown below

	Minimum Drive Aisle Width
Two Way Traffic	22'
Main Circulation Road	24'
Fire Lane	20'

20. Per the IDO, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please clearly show this pathway and provide details.
21. Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the ADA parking stall access aisles to the building entrances. Please clearly show this pathway and provide details.
22. ADA accessible pedestrian pathway should not be placed behind parking space or adjacent to a vehicular way. Vehicle and pedestrian/wheel chair conflicts should be avoided as much as possible.

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23. Provide a copy of Fire Marshal and Solid Waste approval.
24. It is not apparent what type of pavement surface is being proposed. A hard driving surface will be required as part of this proposed project for parking area and drive aisles.
25. Show the Intersection clear sight triangle and add the following note to the plan:
"Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in the clear sight triangle.
26. Please specify the City Standard Drawing Number when applicable.
27. Add a note stating "All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter." A build note must be provided referring to the appropriate City Standard drawing.
28. Traffic Studies: See the Traffic Impact Study (TIS) thresholds. In general, a minimum combination of 100 vehicles entering and exiting in the peak hour warrants a Traffic Impact Study. Visit with Traffic Engineer for determination, and fill out a TIS Form that states whether one is warranted. In some cases, a trip generation may be requested for determination (**Contact Matt Grush: mgrush@cabq.gov**).
29. Please provide a letter of response for all comments given.

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Once corrections are complete resubmit

1. The Traffic Circulation Layout
2. A Drainage Transportation Information Sheet (DTIS)
3. Send an electronic copy of your submittal to PLNDRS@cabq.gov.
4. The \$75 re-submittal fee.

for log in and evaluation by Transportation.

If you have any questions, please contact me at (505) 924-3675.

Sincerely,

Marwa Al-najjar

Marwa Al-najjar
Associate Engineer, Planning Dept.
Development Review Services

\ma via: email
C: CO Clerk, File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 10/2018)

Project Title: Roadrunner Veterinary Hospital **Building Permit #:** BP-2023-33599 **Hydrology File #:** N/A

DRB#: N/A **EPC#:** N/A **Work Order#:** _____

Legal Description: LT8 Plat of Lts 1-8 C-4, Group Nine Industrial Park

City Address: 5971 Jefferson St. NE

Applicant: BDA Architecture **Contact:** David Madden

Address: 901 Lamberton Pl. NE

Phone#: (505) 858-0180 **Fax#:** _____ **E-mail:** david.madden@bdaarc.com

Other Contact: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes ☒ No

DEPARTMENT: ☒ TRAFFIC/TRANSPORTATION _____ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- _____ ENGINEER/ARCHITECT CERTIFICATION
- _____ PAD CERTIFICATION
- _____ CONCEPTUAL G & D PLAN
- _____ GRADING PLAN
- _____ DRAINAGE MASTER PLAN
- _____ DRAINAGE REPORT
- _____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- _____ ELEVATION CERTIFICATE
- _____ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ TRAFFIC IMPACT STUDY (TIS)
- _____ OTHER (SPECIFY) _____
- _____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
- _____ CERTIFICATE OF OCCUPANCY
- _____ PRELIMINARY PLAT APPROVAL
- _____ SITE PLAN FOR SUB'D APPROVAL
- _____ SITE PLAN FOR BLDG. PERMIT APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ SIA/ RELEASE OF FINANCIAL GUARANTEE
- _____ FOUNDATION PERMIT APPROVAL
- _____ GRADING PERMIT APPROVAL
- _____ SO-19 APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ GRADING/ PAD CERTIFICATION
- _____ WORK ORDER APPROVAL
- _____ CLOMR/LOMR
- _____ FLOODPLAIN DEVELOPMENT PERMIT
- _____ OTHER (SPECIFY) _____

DATE SUBMITTED: 09/13/2023 **By:** David Madden

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

VAN ACCESSIBLE SPACES SHALL HAVE AN ADDITIONAL SIGN STATING "VAN ACCESSIBLE" MOUNTED BELOW THE SYMBOL OF ACCESSIBILITY.

INTERNATIONAL SYMBOL
OF ACCESSIBILITY (white
on dark background)



INTERNATIONAL SYMBOL
OF ACCESSIBILITY (dark
color on white or transparen
background)

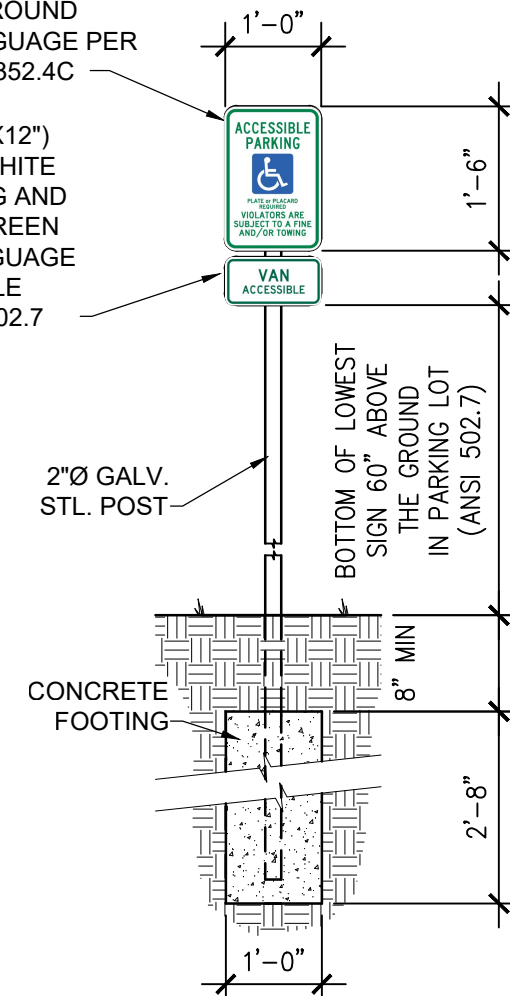
B H.C. ENTRANCE SIGN (ON GLASS)
International symbol of accessibility

(ON GLASS)
International symbol of accessibility,
4" x 4" reverse stick-on, white figure
on blue background field

6" x 6" painted blue on paved background surface

- SIGN TYPE R7-8 (12"x18")
- SIGN FIELD IS WHITE
- SIGN LETTERING AND BORDER ARE GREEN
- INTERNATIONAL SYMBOL OF ACCESSIBILITY IS WHITE ON A BLUE BACKGROUND
- REQUIRED LANGUAGE PER NMSA 197866-7-352.4C

- SIGN TYPE R7-8A (6"X12")
- SIGN FIELD IS WHITE
- SIGN LETTERING AND BORDER ARE GREEN
- REQUIRED LANGUAGE (VAN ACCESSIBLE SPACES) ANSI 502.7

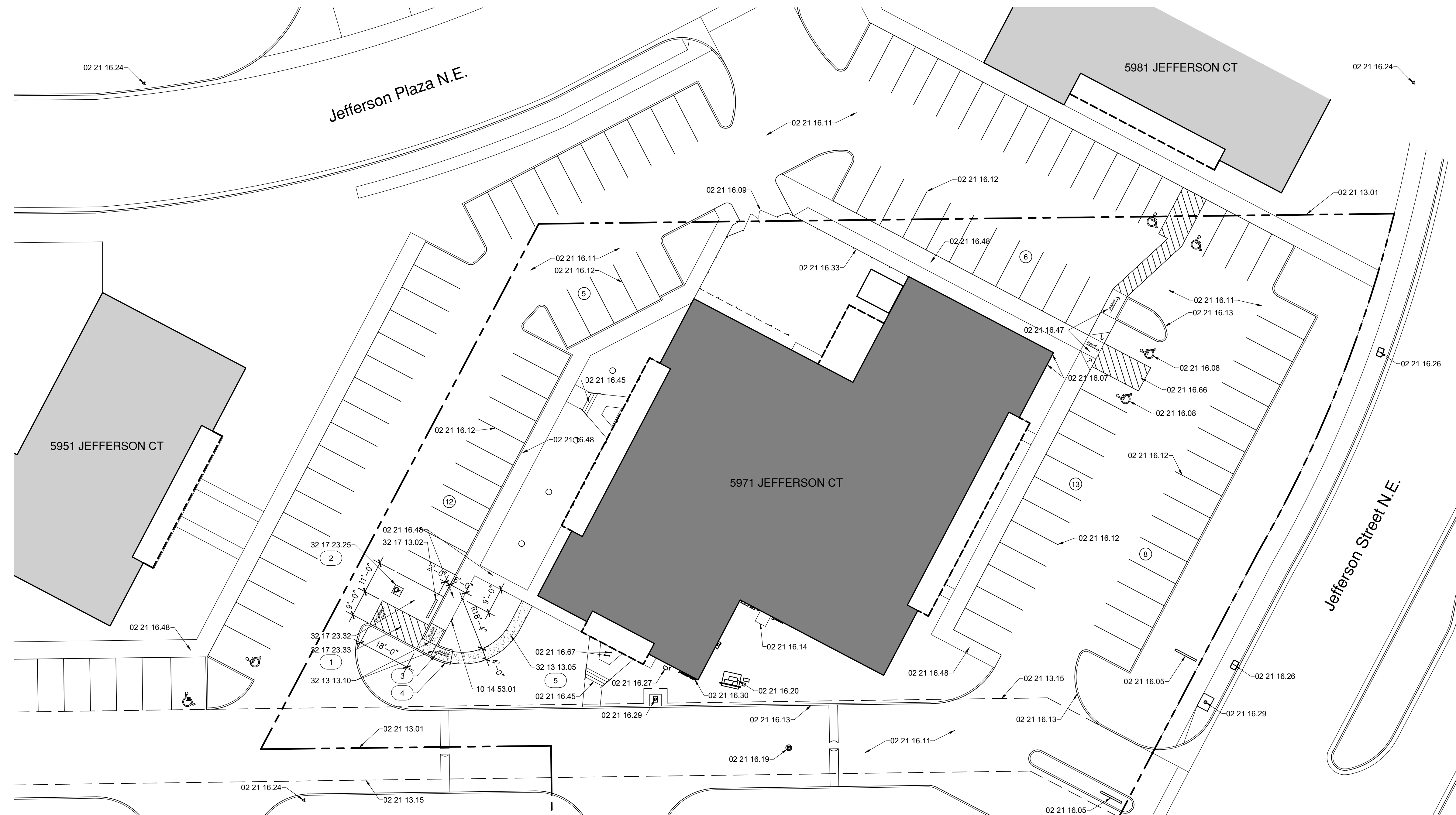


G1 ADA PARKING SYMBOL

SCALE: "NTS"

G4 ADA PARKING SIGNAGE

SCALE: *NTS



B3 TRAFFIC CIRCULATION LAYOUT
1" = 20'-0"

$$1'' = 20' - 0''$$


LEGAL DESCRIPTION: LT8 PLAT OF LTS 1-8 C-4
GROUP NINE INDUSTRIAL PARK
CONT 69,552 SQ.FT.

SITE ADDRESS: 5971 JEFFERSON CT NE
ALBUQUERQUE, NM 87109

CURRENT ZONING: NR-BP: NON RESIDENTIAL BUSINESS PARK
SITE AREA: 1.59 ACRES

BUILDING CODES 2015 IBC
(AS ADOPTED BY THE STATE OF NM): 2015 IEBC

BUILDING TYPE:	ANIMAL HOSPITAL
OCCUPANCY TYPE:	B
OCCUPANT LOAD:	256
CONSTRUCTION TYPE:	VB
ALLOWABLE AREA: (BUILDING NOT SPRINKLED)	15,750 SF (9,000 + (9,000 x 0.75))
GROSS USABLE AREA:	13,451 SF
WORK AREA:	13,451 SF
ALTERATION LEVEL (IEBC):	LEVEL 3

WORK INCLUDES DEMOLITION OF INTERIOR PARTITIONS, FIXTURES, EQUIPMENT AND FINISHES, CONSTRUCTION OF NEW PARTITIONS, FINISHES, PLUMBING, MEDICAL GAS, HVAC AND ELECTRICAL. SITE WORK INCLUDES A SIDEWALK ADDITION.

PARKING REQUIRED (2.5 PER 1,000 GFA):	33
EXISTING PARKING:	45
ADA PARKING REQUIRED:	3
ADA PARKING PROVIDED:	3

PARKING REQUIRED (2.5 PER 1,000 GFA):	33
EXISTING PARKING:	45

ADA PARKING REQUIRED:	3
ADA PARKING PROVIDED:	3

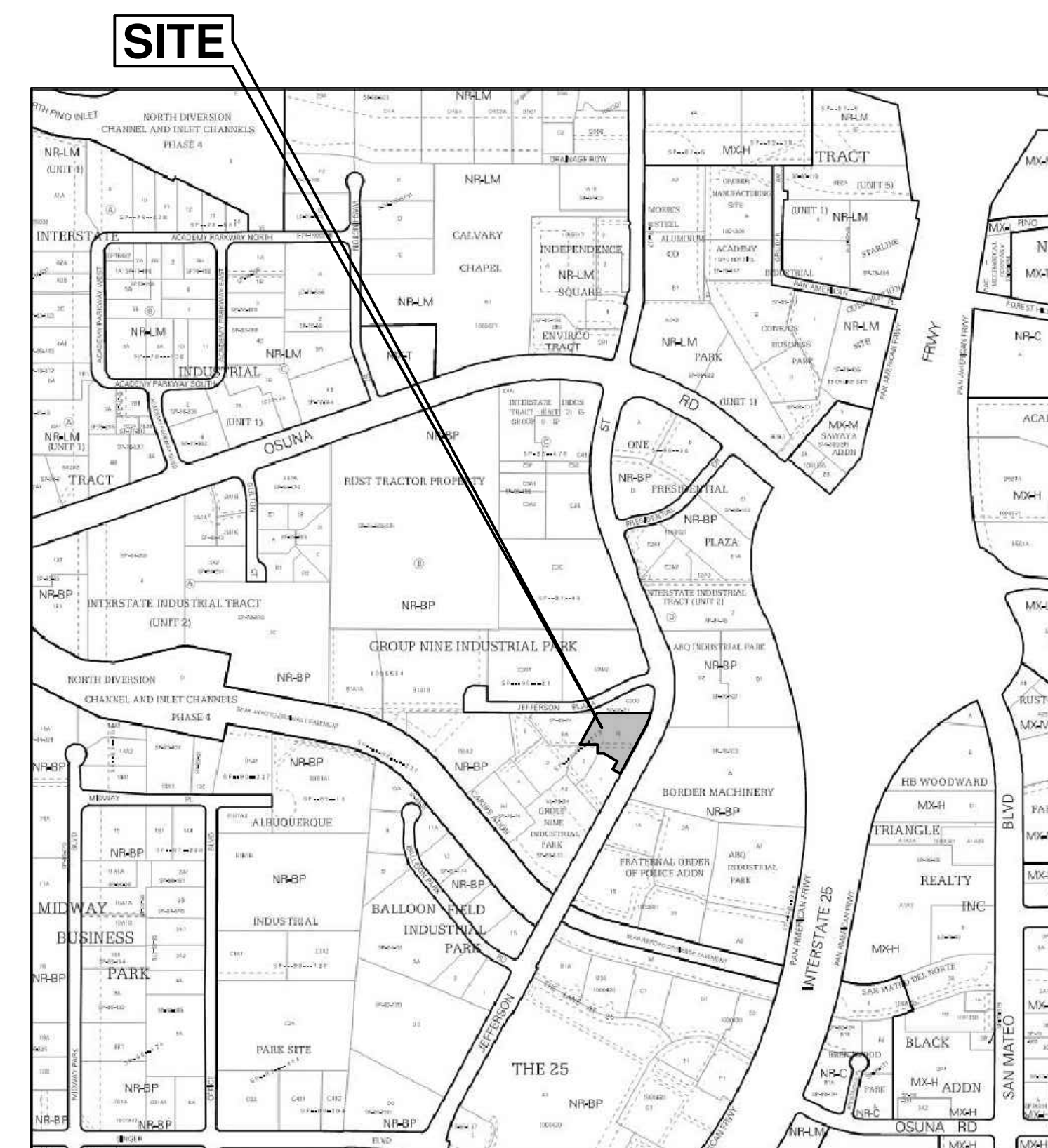
A. THIS IS NOT A SURVEY. INFORMATION SHOWN ON THIS SITE PLAN IS DIAGRAMMATICAL IN NATURE IN ORDER TO SHOW THE PHYSICAL CHARACTERISTIC, FEATURES AND USES OF THE PROPERTY.

DIVISION 02 - EXISTING CONDITIONS	
02 21 13.01	- PROPERTY LINE
02 21 13.15	- EASEMENT LINE
02 21 16.05	- EXISTING MONUMENT SIGN
02 21 16.07	- EXISTING ADA PARKING SIGN
02 21 16.08	- EXISTING ADA ACCESSIBLE PARKING
02 21 16.09	- EXISTING VEHICLE GATE
02 21 16.11	- EXISTING ASPHALT
02 21 16.12	- EXISTING PARKING
02 21 16.13	- EXISTING CONCRETE CURB
02 21 16.14	- EXISTING CONCRETE PAD
02 21 16.19	- EXISTING MANHOLE
02 21 16.20	- EXISTING ELECTRICAL TRANSFORMER
02 21 16.24	- EXISTING FIRE HYDRANT
02 21 16.26	- EXISTING UTILITIES
02 21 16.27	- EXISTING IRRIGATION EQUIPMENT
02 21 16.29	- EXISTING WATER SUPPLY SHUT-OFF
02 21 16.30	- EXISTING GAS METER
02 21 16.33	- EXISTING FENCE
02 21 16.45	- EXISTING CONCRETE STAIRS
02 21 16.47	- EXISTING CONCRETE RAMP
02 21 16.48	- EXISTING SIDEWALK TO REMAIN
02 21 16.66	- EXISTING ADA ACCESS AISLE
02 21 16.67	- EXISTING PLUMBING CLEANOUT

10 14 53.01 - ADA PARKING SIGN


32 13 13.05	-	CONCRETE SIDEWALK
32 13 13.10	-	CONCRETE ADA ACCESS RAMP
32 17 13.02	-	CONCRETE WHEEL STOP
32 17 23.25	-	ADA PARKING SYMBOL
32 17 23.32	-	VAN ACCESSIBLE PARKING
32 17 23.33	-	ADA ACCESS AISLE

1. BLUE 45° DEGREE PAINTED PARKING STRIPING W/ "NO PARKING" PER NMSA 66-1-4.1.B
2. BLUE INTERNATIONAL SYMBOL OF ACCESSIBILITY (ISA) PAINTED ON THE PAVEMENT SURFACE AT THE REAR OF THE SPACE PER NMSA 66-1-4.4.E AND 2010 ADA 216.5
3. CURB RAMP. MAXIMUM SLOPE 1:12.
4. HEADER CURB INTEGRAL WITH RAMP.
5. CONCRETE SIDEWALK. MAXIMUM SLOPE 1:20.




For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas
May 2018



IDO Zoning Information as of May 17, 2018
The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).

Zone Atlas Page: E-17-Z



Legend:

- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

Gray Shading Represents Areas Outside of the City Limits

Scale: 0 250 500 1,000 Feet

ROADRUNNER VETERINARY HOSPITAL

5971 Jefferson St. NE
Albuquerque, New Mexico 87109

Ashlee Andrews, DVM & Kristin Bannon Klessig, DVM
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TRAFFIC CIRCULATION LAYOUT

TRAFFIC CIRCUIT		REV #	DATE	COMMENTS
REVISION:	-			
REVISION:	-			
REVISION:	-			

REVIEWS	
INITIALS	

INITIALS	
-	BDA DSGN. REV.
-	BDA TECH REV.
-	CMP TECH REV.

PROJECT NO.: 2227
DRAWN: -
DATE: 8/16/2023

TCL1

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