

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

March 24, 2023

Dave Hickman, RA
Jeebs & Zuzu LLC
11030 Menaul NE, Suite C
Albuquerque, NM 87113

Re: Harper Apartments/ PHASE 5
6100 Harper Dr. NE
30-Day Temporary Certificate of Occupancy
Transportation Development Final Inspection
Architect's Stamp dated 09-15-20 (E18-D016)
Certification dated 03-15-23

Dear Mr. Hickman,

Based upon the information provided in your submittal received 03-17-23, Transportation Development has no objection to a 30-day Temporary Certificate of Occupancy based. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

- Please provide an As-Built site plan. Red mark the approved site plan to show the new location of the Basket Ball Court, and the Dumpster at the corner of building H. See attached pictures.
- Please fix the pedestrian pathway behind building H.

Once these corrections are complete, resubmit to PLNDRS@cabq.gov

If you have any questions, please contact me at (505) 924-3675.

Sincerely,

Marwa Al-najjar

Marwa Al-najjar
Associate Engineer, Planning Dept.
Development Review Services

Ma via: email
C: CO Clerk, File



March 15, 2023

Ernest Armijo, PE
Transportation Development
Planning Department
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103


RE: Request for Certificate of Occupancy – Phase 5
TCL
Plan dated 10/22/07
Administrative Amendment

Dear Mr. Armijo,

Please find a completed request for final inspection of Phase 5 of the 6100 Harper Renovation Project. The work in Phase Five consisted of the cleanup of the sidewalks, playgrounds, and parking lots which had not yet been completed in the previous phases of the work. We request that a traffic inspection be completed for this phase of the work


I have attached with this letter the certification, the Approved TCL, and the Drainage and Transportation Information Sheet.

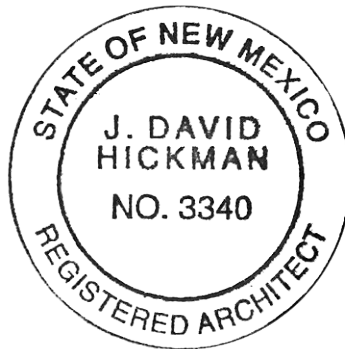
Please contact me if you have any questions or concerns.
Thank you,


J. David Hickman,
Architect



I, J. DAVID HICKMAN, A REGISTERED ARCHITECT IN THE STATE OF NEW MEXICO, OF THE FIRM JEEBS & ZUZU, LLC., HEREBY CERTIFY THAT THIS PROJECT, 6100 HARPER PHASE I, IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE AMENDED DRB, AA OR TCL APPROVED PLAN DATED 10/6/20. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON MARCH 15, 2023 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATION OF OCCUPANCY.


J. David Hickman
Architect



March 15, 2023

Date:



October 6, 2020

David Hickman, RA
Jeebs & ZuZu, LLC
11030 Menaul NE, Ste., C
Albuquerque, NM 87113

Re: **Harper Apartments**
6100 Harper Place NE
Traffic Circulation Layout
Architect's Stamp 09-15-2020 (E18-D016)

Dear Mr. Hickman,

The TCL submittal received 10-02-2020 is approved for Building Permit with. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Nilo Salgado-Fernandez, P.E.
Senior Engineer, Planning Dept.
Development Review Services

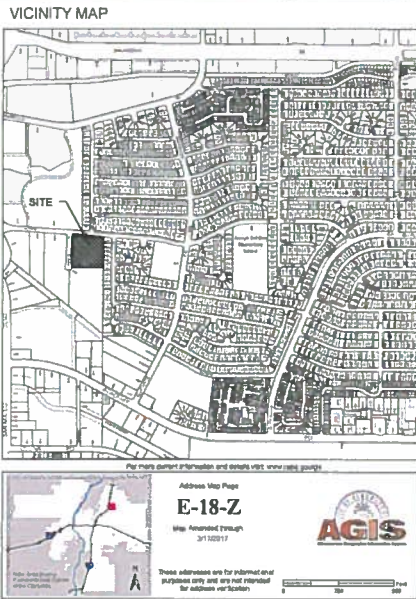
C: CO Clerk, File

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



GENERAL NOTES

1. ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON THE WORK ORDER

KEYED NOTES

1. ACCESSIBLE PARKING SPACES - SEE DETAIL
2. STANDARD PARKING SPACES (TYP)
3. CONCRETE SIDEWALK - SEE DETAIL
4. EXISTING SIDEWALK TO REMAIN
5. N/A
6. CONCRETE SIDEWALK - SEE DETAIL
7. EXISTING CONCRETE CURB AND REPLACE WITH NEW
8. BICYCLE PARKING - SEE DETAIL
9. FLOOR MOUNTED BENCHES - SEE DETAIL
10. NEW PLAYGROUND WITH ACCESSIBLE CURB RAMP
11. GARBAGE ENCLOSURE AND PAD/APRON - SEE DETAIL
12. EXISTING BASKETBALL COURT
13. NEW MONUMENTAL SIGN - UNDER SEPARATE PERMIT
14. VAN ACCESSIBLE PARKING SPACES
15. CONCRETE STEPS
16. CROSS WALK
17. MINI SITE TRIANGLE
18. EXISTING CURB

OCCUPANCY = R-2 43 UNITS

BUILDINGS = 10	3 UNITS	3 ADA UNIT
BUILDING A -	3 UNITS	0 ADA UNIT
BUILDING B -	6 UNITS	0 ADA UNIT
BUILDING C -	4 UNITS	0 ADA UNIT
BUILDING D -	6 UNITS	0 ADA UNIT
BUILDING E -	6 UNITS	0 ADA UNIT
BUILDING F -	6 UNITS	1 HI UNIT
BUILDING G -	6 UNITS	0 ADA UNIT
BUILDING H -	6 UNITS	0 ADA UNIT
BUILDING I -	4 UNITS	0 ADA UNIT
BUILDING J -	6 UNITS	1 HI UNIT
BUILDING K -	6 UNITS	0 ADA UNIT
COMMUNITY BUILDING	6 UNITS	0 ADA UNIT

EXISTING PARKING AS PROVIDED

PARKING SPACES	91 SPACES
STANDARD SPACES	8 SPACES
ADA SPACES	8 SPACES
TOTAL SPACES PROVIDED	99 SPACES

PARKING COMPARISON EXISTING TO IDO REQUIREMENTS

SPACES PER UNIT	33 UNITS @ 1 SPACE/UNIT	33 SPACES
2 BR UNITS	26 UNITS @ 2 SPACE/UNIT	52 SPACES
2 BR UNITS	OTHERWISE REQUIRED BY IDO	85 SPACES
		85 < 99 PROVIDED

BICYCLE PARKING SPACES

8 LOOPS WITH 4 SPACES PER LOOP = 32 SPACES * 5 SPACES PER UNIT

ZONING ORDINANCE ANALYSIS: (INTEGRATED DEVELOPMENT ORDINANCE - IDO)

IDO Applicable Sections of the IDO include

Part 5-5 Landscaping, Buffering, and Screening

(4) Renovation or redevelopment of an existing multi-family mixed-use, or nonresidential primary building, including but not limited to reconstruction after fire, flood, or other damage where the value of the renovation or redevelopment, as indicated by building permits, is \$500,000 or more

5-5(C)(2)(a) A minimum of 15 percent of the net lot area of each development shall contain landscaping. - See Landscaping Plan

Part 5-12 Signs (Erection of Monument Sign - To be Completed under Separate Permit)

5-12(B)(1) This Section 14-16-5-12 shall apply to the erection of all signs located outside of or located within but designed to be viewed from outside of a structure in any zone district unless specifically exempted by this IDO - Signs to be approved under separate permit

NOTE: The following Section of the IDO is NOT APPLICABLE

Part 5-5 Parking and Loading

(B) Applicability: (Explanation of lack of applicability)

5-5(B)(1)(a) - Construction of a new primary building - (The New Leasing Office Building will contain the leasing function and manager's office for the existing complex. In this case, the office lobby, maintenance, and community spaces are all ACCESSORY uses to the property's primary residential use. This is not a new Primary Use building.)

5-5(B)(1)(b) - Expansion of an existing building - (No existing buildings are being expanded or will receive increased areas.)

5-5(B)(1)(c) - A change in use of an existing primary use building - (No changes in use are being considered.)

5-5(B)(1)(d) - A change in use of a nonconforming existing primary use building - (No changes in use are being considered.)

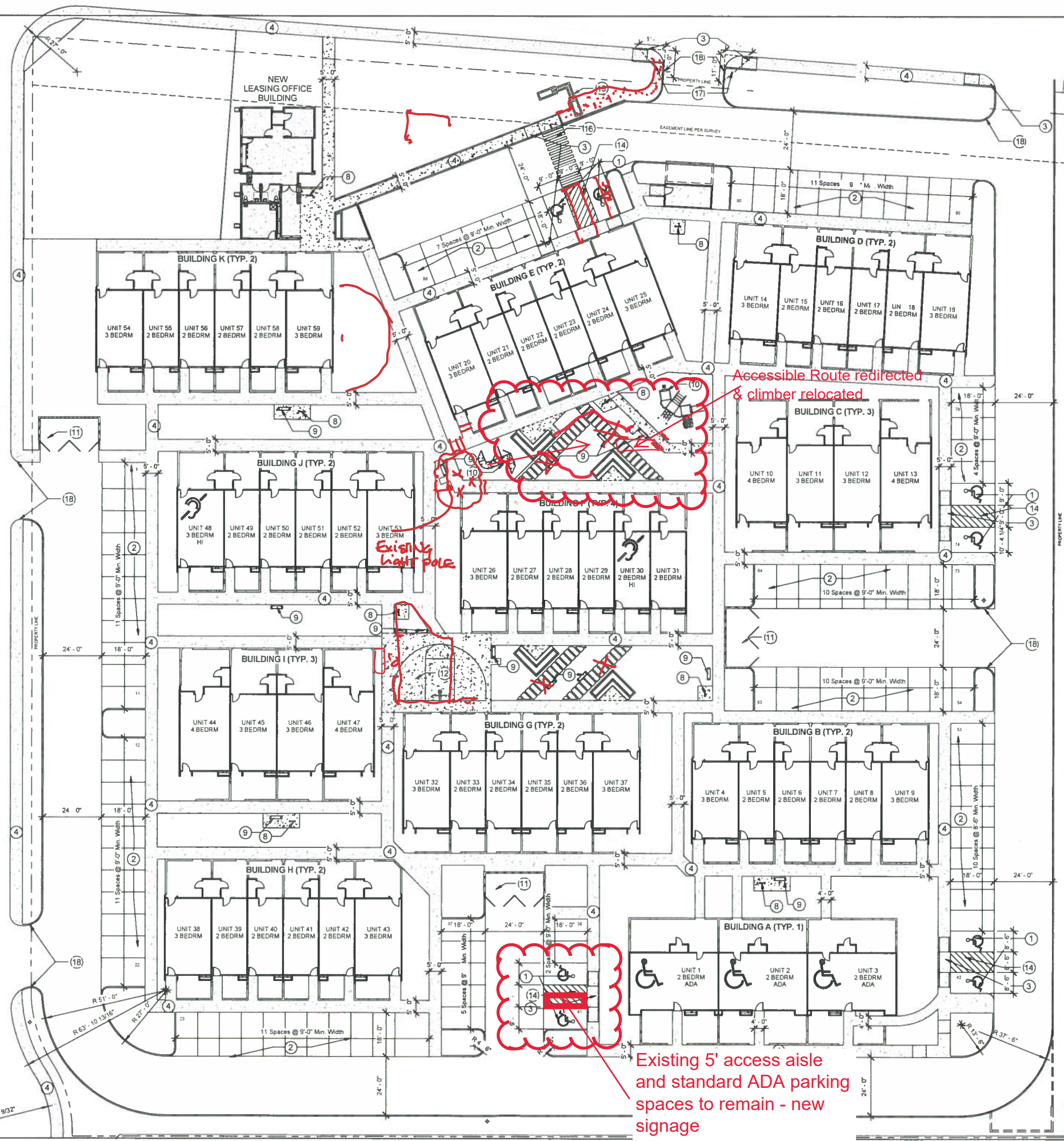
Therefore, the provisions of this part of the IDO are not applicable and changes in the number of parking spaces provided are not required.

1. Site Plan - Accessibility Plan (TCL)

1" = 20'-0"

TRAFFIC CIRCULATION LAYOUT
APPROVED
Signed
Date 10/06/20

ALL WHEELCHAIR RAMP LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.



"WERE YOUR BUILDING WIZ KIDZ"

JEEBS & ZUZU, LLC.

ARCHITECTS & CONTRACTORS
MAKING HOUSE CALLS

11030 MENAUL NE SUITE C
ALBUQUERQUE, NM 871132
P 505-797-1318



JOB NO: 20-005
DRAWN: GH
CHECKED: J&Z
DATE: Sep. 15, 2020

EAM 10-5-20

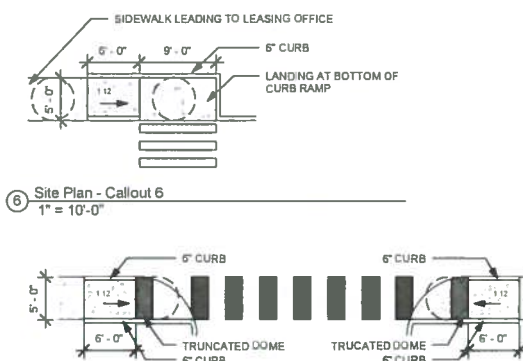
WWW.JEEBSANDZUZU.COM

600 HARPER

600 HARPER PL. NE
ALBUQUERQUE, NM 87109

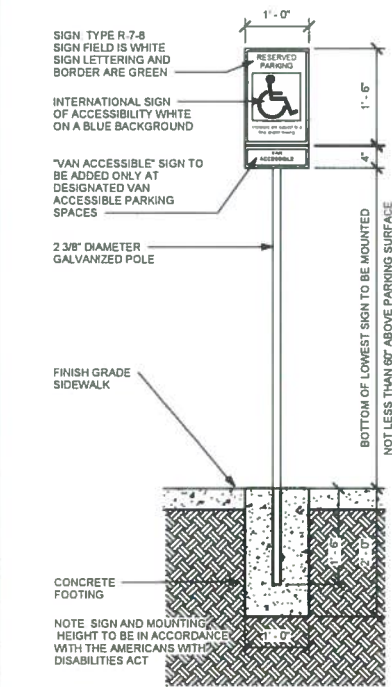
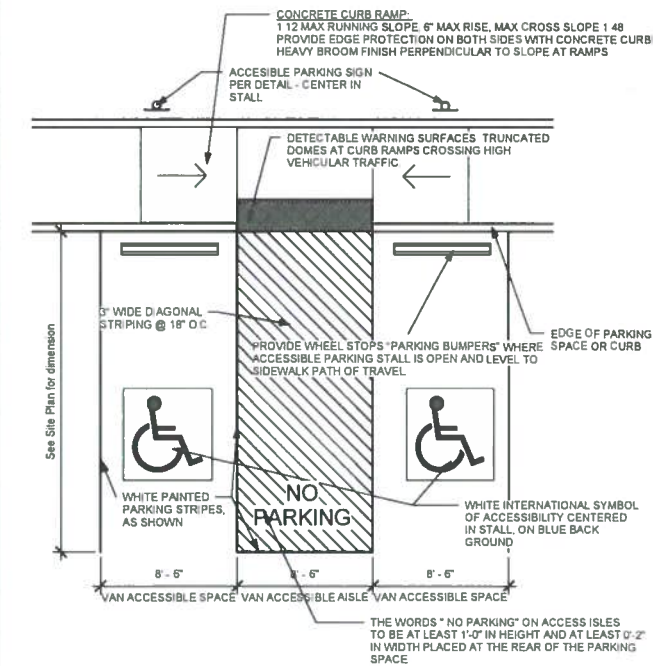
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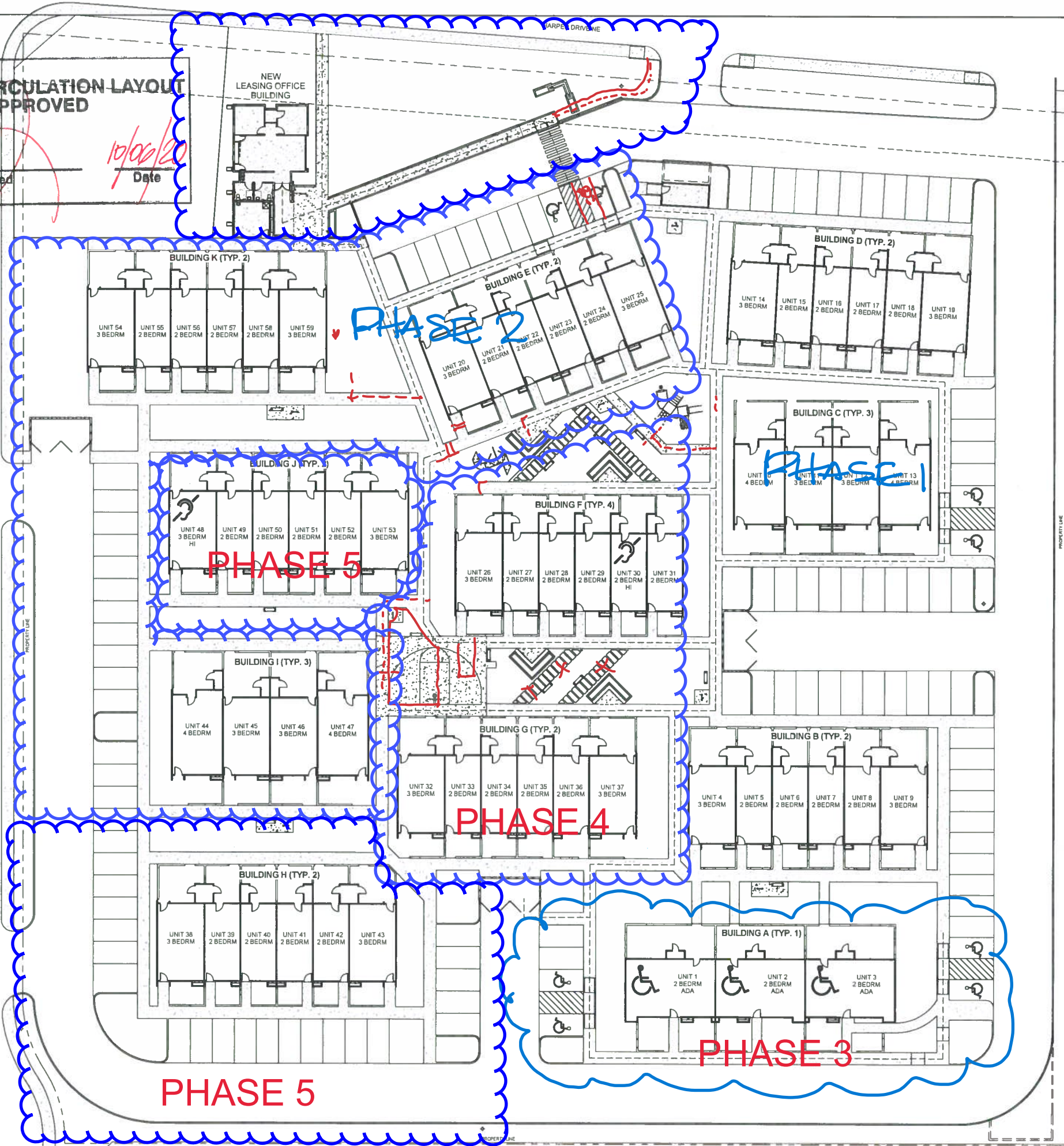


TRAFFIC CIRCULATION LAYOUT
APPROVED

Signed _____
Date 10/06/20



ALL WHEELCHAIR RAMP LOCATED
WITHIN THE PUBLIC RIGHT OF WAY
MUST HAVE TRUNCATED DOMES.



WWW.JEEBSANDZUZU.COM

"WERE YOUR BUILDING WIZ KIDZ SO YOU CAN"

STATE OF NEW MEXICO
JEEBS & ZUZU
REGISTERED
SEP 15, 2020

JEEBS & ZUZU, LLC.
ARCHITECTS & CONTRACTORS
MAKING HOUSE CALLS
11030 MENAUL NE SUITE C
ALBUQUERQUE, NM 871132
P: 505-797-1318

J&Z

JOB NO: 20-005
DRAWN: GH
CHECKED: J&Z
DATE: Sep. 15, 2020

1 EAM
10-5-20

6100 HARPER
6100 HARPER PL. NE.
ALBUQUERQUE, NM 87109

sheat no:
TCLII