

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

November 13, 2020

Scott McGee, P.E.
9700 Tanoan Drive NE
Albuquerque, NM 87111

**RE: Harper Apartments Office
6100 Harper Dr. NE
Grading and Drainage Plan
Engineer's Stamp Date: 08/31/20
Hydrology File: E18D016**

Dear Mr. McGee:

Based upon the information provided in your submittal received 10/21/2020, the Grading and Drainage Plan is approved for Building Permit.

Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter. Prior to approval in support of Permanent Release of Occupancy by Hydrology, Engineer Certification per the DPM checklist will be required.

If the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

Also, please provide the Drainage Covenant for the existing detention ponds per Article 6-15(C) of the DPM prior to Permanent Release of Occupancy. There is a recording fee (\$25, payable to Bernalillo County). Please contact Charlotte LaBadie (clabadie@cabq.gov, 924-3996). Due to COVID-19, please follow the instructions:

Either email a pdf copy of the executed drainage covenant and the exhibit to clabadie@cabq.gov or either mail or drop off the originals. Please mail the \$25.00 recording fee check made payable to Bernalillo County to:

Planning Dept./DRC
Attn: Charlotte LaBadie
600 2nd St. NW, Ste. 400
ABQ, NM, 87102

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If you drop off the originals, there is a drop box outside the building labeled DRC. Once approved and recorded, Charlotte will email you a copy.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

Project Title: _____ **Building Permit #:** _____ **Hydrology File #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Applicant: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Owner: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF SUBMITTAL: _____ PLAT (____# OF LOTS) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL?: _____ Yes _____ No

DEPARTMENT: _____ TRAFFIC/ TRANSPORTATION _____ HYDROLOGY/ DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- _____ ENGINEER/ARCHITECT CERTIFICATION
- _____ PAD CERTIFICATION
- _____ CONCEPTUAL G & D PLAN
- _____ GRADING PLAN
- _____ DRAINAGE MASTER PLAN
- _____ DRAINAGE REPORT
- _____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- _____ ELEVATION CERTIFICATE
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ TRAFFIC IMPACT STUDY (TIS)
- _____ OTHER (SPECIFY) _____
- _____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- _____ BUILDING PERMIT APPROVAL
- _____ CERTIFICATE OF OCCUPANCY
- _____ PRELIMINARY PLAT APPROVAL
- _____ SITE PLAN FOR SUB'D APPROVAL
- _____ SITE PLAN FOR BLDG. PERMIT APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ SIA/ RELEASE OF FINANCIAL GUARANTEE
- _____ FOUNDATION PERMIT APPROVAL
- _____ GRADING PERMIT APPROVAL
- _____ SO-19 APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ GRADING/ PAD CERTIFICATION
- _____ WORK ORDER APPROVAL
- _____ CLOMR/LOMR
- _____ FLOODPLAIN DEVELOPMENT PERMIT
- _____ OTHER (SPECIFY) _____

DATE SUBMITTED: _____ **By:** _____

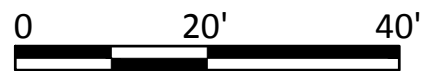
COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

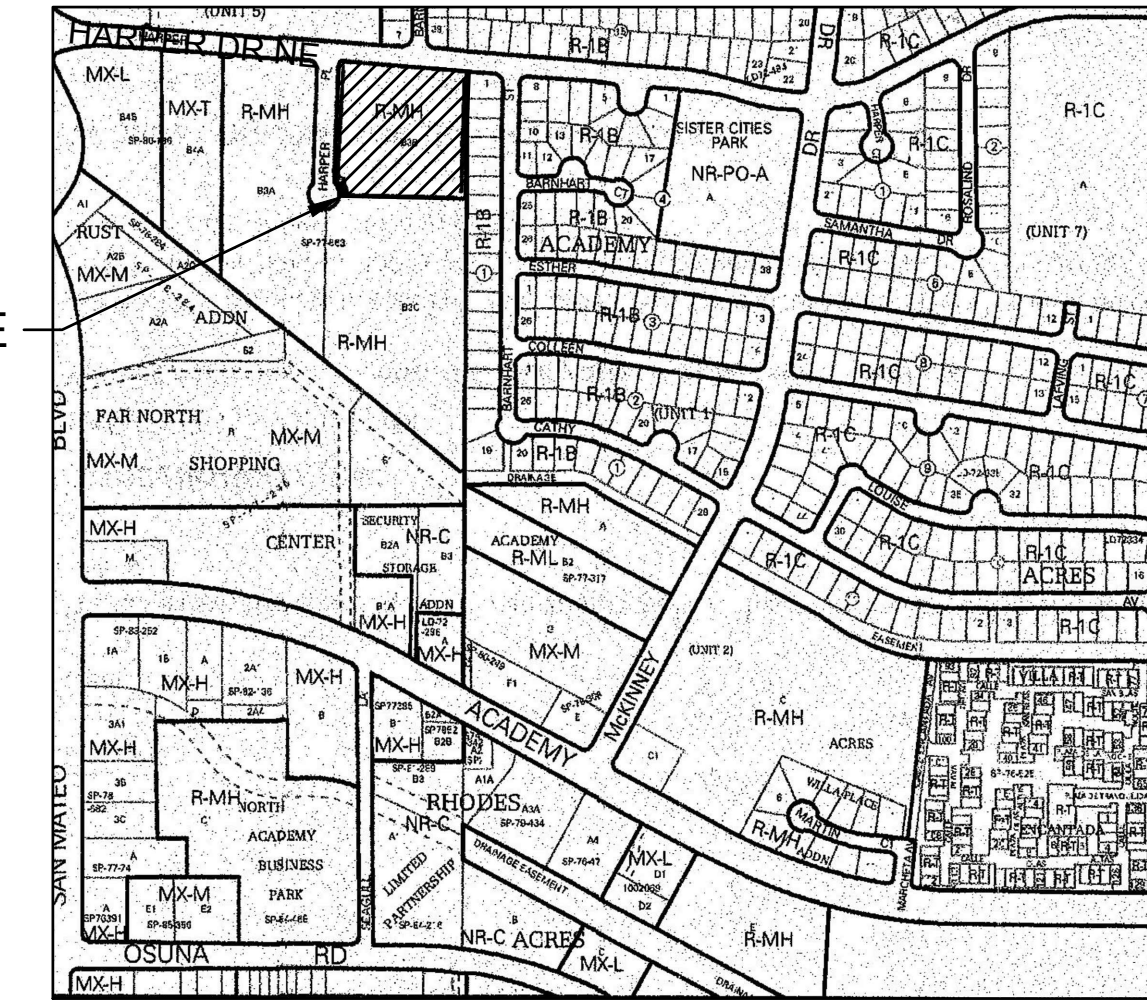
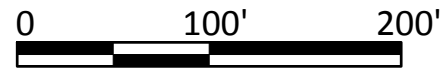
GRADING AND DRAINAGE PLAN

1" = 20'



OVERALL SITE PLAN

1" = 100'



VICINITY MAP

E-18-Z

LEGEND

- EXISTING CONSTRUCTION
- NEW CONTOUR
- PROPOSED BUILDING FINISH FLOOR ELEV
- NEW SPOT ELEVATION
- NEW CONSTRUCTION
- NEW STORM DRAIN
- RD ROOF DRAIN
- TC TOP OF CURB

KEYED NOTES

- A. REMOVE ROCK ARMORING FROM SIDE AND BOTTOM OF POND AS NEEDED AND STOCKPILE. PERFORM POND GRADING TO INCREASE POND VOLUME BY 100 CF AND REPLACE ROCK ARMORING ON POND SIDE AND BOTTOM.
- B. REMOVE EXISTING 10" CMP STORM DRAIN UNDER THE NEW BUILDING AND PLUG ENDS WITH GROUT. INSTALL NEW 10" STORM DRAIN AS SHOWN SOUTH OF THE NEW BUILDING TO DISCHARGE INTO THE POND.

DRAINAGE ANALYSIS

ADDRESS: 6100 Harper Drive NE, Albuquerque, NM

LEGAL DESCRIPTION: TRACT B-3-B, SUMMARY REPLAT OF TRACT B-3 ACADEMY ACRES SUBD UNIT #5

SITE AREA: 1.98 AC PROJECT AREA: 11,500 SF (0.264 AC)

BENCHMARK: City of Albuquerque Station '21-E18' being a brass cap located on the north side of Harper Drive across the street. ELEV= 5217.15 (NAVD 1988)

SURVEYOR: Cartesian Surveys Inc. dated August, 2020

FLOOD HAZARD: From FEMA Map 35001C0139G (9/26/2008), this site is identified as being within Zone 'X' which is determined to be outside the 0.2% annual chance floodplain.

OFFSITE FLOW: The site does not accept offsite flow as public streets border the site to the north and west. An existing block wall while Alameda Blvd runs along the east side of the lot.

EXISTING CONDITIONS: The site is currently developed with 11 residential apartment buildings, existing paved access and parking, and landscaped areas. The site slopes down to the west at 0.5 - 1% and discharges to Harper Drive NE. In this NW corner of the site there is an outdoor basketball court and a fenced storm water retention pond.

PROPOSED IMPROVEMENTS: The proposed improvements include a 1,350 SF office and community building, concrete sidewalks, and landscaping. This building will be located where the existing BB court was located.

DRAINAGE APPROACH: The site drainage pattern will follow historic conditions and include the onsite retention of the SWQ volume.

Existing land treatment: 72% C and 28% D PRECIPITATION ZONE: 3
Q= [(0.72)(3.45)+(.28)(5.02)](0.264)= 1.0 CFS
Proposed land treatment: 71% C and 29% D
Q= [(0.71)(3.45)+(0.29)(5.02)](0.264)= 1.0 CFS

SWQ V= (2,070)(0.34/12)= 59 CF

This flow will discharge to an onsite retention ponding area located west of the community building. The SWQ volume of 2,326 CF will be retained in the pond bottom. Site discharge will remain unchanged.

JEEBS & ZUZU, LLC.
ARCHITECTS & CONTRACTORS
MAKING HOUSE CALLS

11030 MENAUL NE SUITE C ALBUQUERQUE, NM 87112
P: 505-797-1318

job no: -
drawn: -
checked: -
date: July 18, 2020

6100 Harper
6100 HARPER PI NE,
ALBUQUERQUE, NM
87109

sheet no:
C101