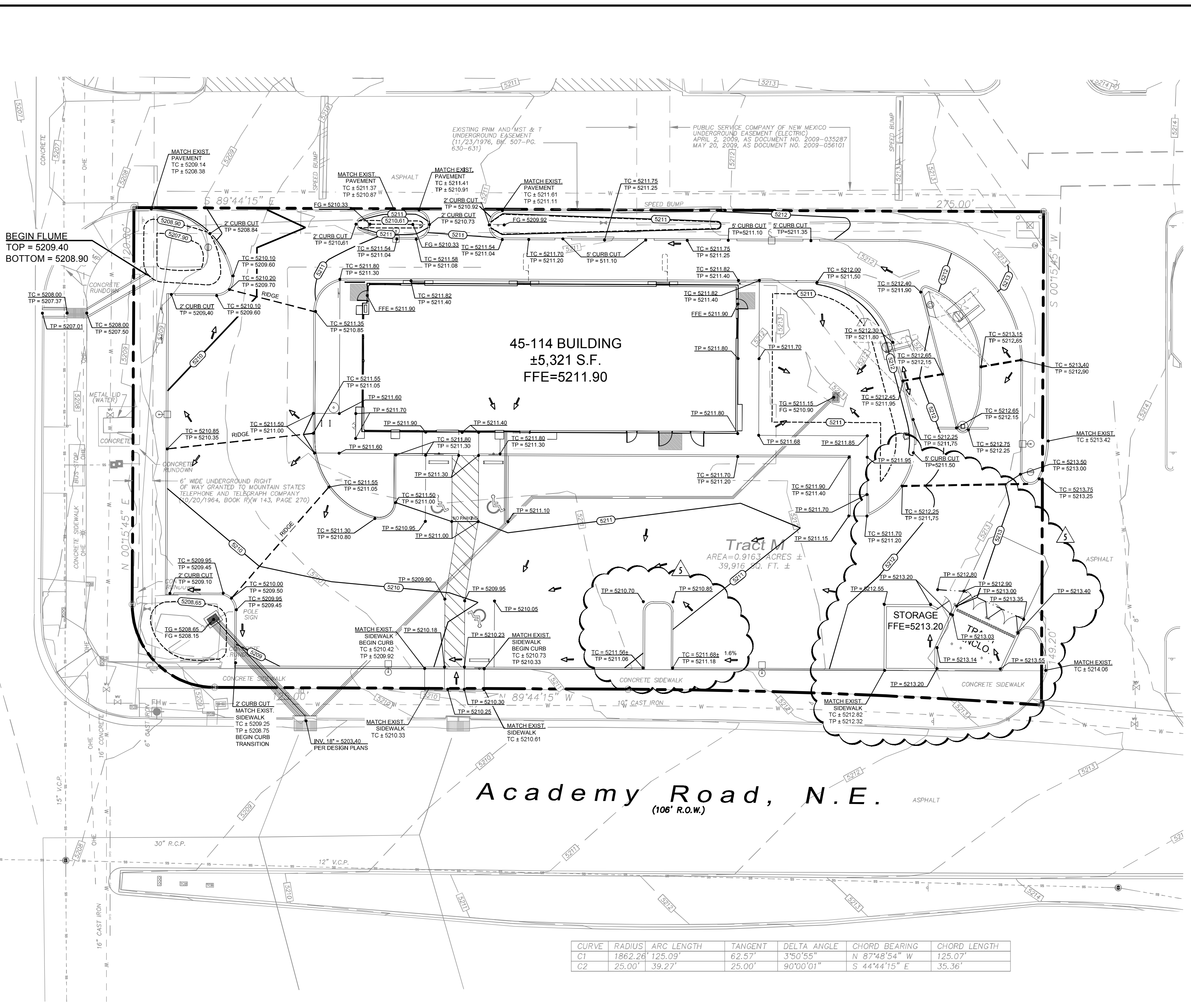


FILE NAME: C:\GRADING\PLAN.dwg PLOTTED BY: Heather McComber PLOT DATE: Tuesday, February 03, 2016 PLOT TIME: 9:23:56 AM PLOTTER: DMC TO PDF v3.0 FULL PATH: I:\Projects\2013\24\McDonalds - Albuquerque - New Mexico\San Mateo\New\Drawings\C7.0 GRADING PLAN

San Mateo Boulevard, N.E.
(125' R.O.W.)

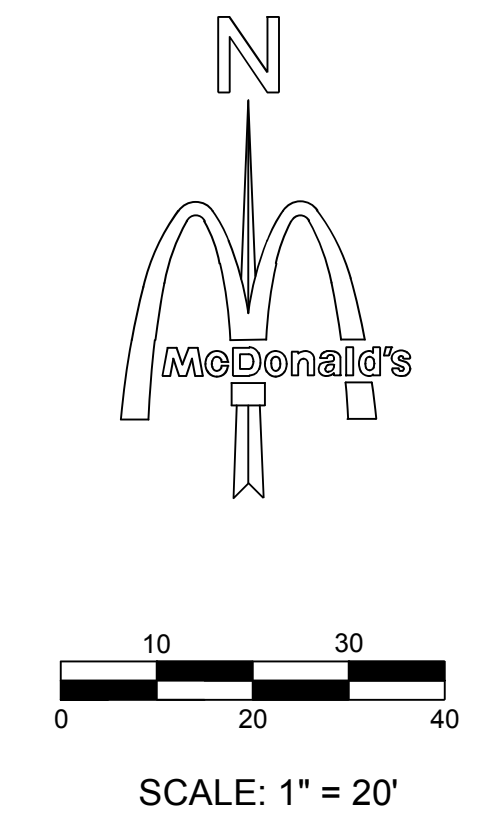


CURVE	RADIUS	ARC LENGTH	TANGENT	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	1862.268	125.09'	62.57'	3°50'55"	N 87°48'54" W	125.07'
C2	25.00'	39.27'	25.00'	90°00'01"	S 44°44'15" E	35.36'

ALL HANDICAP ACCESSIBLE RAMPS MUST BE DESIGNED AND BUILT PER ADA STANDARDS.

- STANDARD ACCESSIBILITY REQUIREMENTS**
- PARKING:**
- A ACCESSIBLE PARKING SPACES SHALL BE A MIN. 96" WIDE OR A MIN. 132" WIDE FOR VAN DESIGNATED SPACES WITH A MAXIMUM SLOPE OF 2% (IN ALL DIRECTIONS). ALL BUILDINGS SHALL CONTAIN AT LEAST ONE VAN ACCESSIBLE SPACE.
 - B EACH ACCESSIBLE PARKING SPACE SHALL HAVE A VERTICALLY MOUNTED (OR SUSPENDED) SIGN SHOWING THE SYMBOL OF ACCESSIBILITY. AT LEAST ONE SPACE MUST HAVE AN ADDITIONAL SIGN "VAN ACCESSIBLE" MOUNTED BELOW THE SYMBOL OF ACCESSIBILITY. SIGNS SHALL BE LOCATED 80" ABOVE THE ADJACENT PAVED SURFACE TO BOTTOM OF TEXT.
 - C ALL ACCESS AISLES SERVING H.C. PARKING SPACES SHALL BE 60" WIDE MINIMUM.
 - D RAMPS EXCEEDING 6" IN RISE (EXCLUDING CURB RAMPS) SHALL HAVE HANDRAILS ON EACH SIDE AT BETWEEN 34" AND 38", AND EXTEND 1/2 BEYOND THE TOP AND BOTTOM OF RAMP. HANDRAIL SHALL NOT DIMINISH THE CLEAR AREA REQUIRED FOR TOP AND BOTTOM LANDINGS SERVING THE RAMPS.
 - E IF REQUIRED BY LOCAL OR STATE JURISDICTION, RAMPS SHALL CONTAIN A TRUNCATED DOME SURFACE ARRANGED SO THAT WATER WILL NOT ACCUMULATE. COLOR OF RAMP FINISH MATERIAL (INCLUDING CONCRETE) SHALL HAVE A LIGHT AND REFLECTIVE VALUE AND MUST CONTRAST SIGNIFICANTLY TO DISTINGUISH IT FROM ADJACENT SURFACES. (OR PAINT STRIPE)
 - F BOTTOM LANDINGS FOR RAMPS SERVING REQUIRED EXITS SHALL BE 5'-0" LONG X 5'-0" WIDE MINIMUM.
 - G RAMPS SHALL NOT EXCEED A 1:12 SLOPE
- SIDEWALKS AND ACCESSIBLE ROUTES:**
- H SIDEWALKS MUST BE AT LEAST 36" WIDE SIDEWALK CROSS SLOPE SHALL NOT EXCEED 1:50 (2%)
 - I LONGITUDINAL SLOPE OF ANY SIDEWALK (ACCESSIBLE ROUTE) SHALL NOT EXCEED 1:20 (5%)

- *** CONSTRUCTION NOTES ***
- THE EARTHWORK FOR ALL BUILDING FOUNDATIONS AND SLABS SHALL BE IN ACCORDANCE WITH ARCHITECTURAL BUILDING PLANS AND SPECIFICATIONS.
 - ALL SIDEWALK AROUND BUILDING SHALL RECEIVE THE SAME SUBGRADE PREPARATION AS BUILDING FOUNDATION AS DESCRIBED IN GEOTECH REPORT PROVIDED BY TERRACON CONSULTANTS, INC. (PROJECT NO. 66145053)
 - ADJUST PAVEMENT AND/OR CURB ELEVATIONS AS NECESSARY TO ASSURE AS SMOOTH FIT AND CONTINUOUS GRADE WITH EXISTING WHILE MAINTAINING PROPOSED DRAINAGE PATTERN.
 - CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL UTILITIES AND NOTIFYING THE APPROPRIATE UTILITY COMPANY PRIOR TO BEGINNING CONSTRUCTION.
 - CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING STORM SEWER STRUCTURES, PIPES, AND ALL UTILITIES PRIOR TO CONSTRUCTION.
 - CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION, SUCH AS BUT NOT LIMITED TO DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURBS, ETC. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
 - PROPOSED SPOT GRADES SHOWN ARE TO TOP OF PAVEMENT UNLESS OTHERWISE NOTED.
 - EXISTING AND PROPOSED GRADE CONTOUR INTERVALS SHOWN AT ONE FOOT (1')
 - ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE FOUR (4) INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3H:1V OR STEEPER. CONTRACTOR SHALL GRASS DISTURBED AREAS IN ACCORDANCE WITH STANDARD SPECIFICATIONS UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
 - FOR LOCATION OF ALL UTILITY ENTRANCES, SEE ARCHITECTURAL PLANS AND SPECIFICATIONS.
 - CONTRACTOR SHALL COORDINATE WITH ARCHITECTURAL PLANS, POWER COMPANY, TELEPHONE COMPANY & GAS COMPANY FOR ACTUAL ROUTING OF POWER AND SERVICES TO BUILDING.
 - CONSTRUCTION SHALL COMPLY WITH ALL GOVERNING CODES AND BE CONSTRUCTED TO SAME.
 - CONTRACTOR SHALL REFER TO ARCHITECTURAL BUILDING PLANS FOR EXACT LOCATION AND ORIENTATION OF EXTERIOR DOORS.
 - TRASH ENCLOSURE WITH FINISH TO MATCH BUILDING AS PER MCDONALD'S ENGINEER OR APPROVED EQUAL. REF. SHEET TE-1 WITH 7" THICK X 15'X18" CONCRETE PAD. (CONTRACTOR TO COORDINATE DESIGN SPECS. WITH SOILS REPORT AND MCDONALD'S.)
 - LOCATION OF I.D. SIGN IS APPROXIMATE. IT IS THE RESPONSIBILITY OF THE SIGN CONTRACTOR TO VERIFY COMPLIANCE WITH SETBACK, SIZE, HEIGHT AND RELATED ZONING REQUIREMENTS PRIOR TO SETTING.
 - THE CONTRACTOR SHALL MAINTAIN DUST CONTROL ON SITE AT ALL TIMES BY WATERING SITE AS OFTEN AS NEEDED.
 - CONTRACTOR SHALL FIELD VERIFY ELEVATIONS OF ADJACENT PROPERTIES TO MCDONALD'S SITE. IF EXISTING GRADES DO NOT MATCH THOSE SHOWN ON THIS PLAN, CONTRACTOR SHALL NOTIFY MCDONALD'S PROJECT MANAGER.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ANY TRAFFIC CONTROL NECESSARY FOR DRIVE DEMOLITION/CONSTRUCTION.

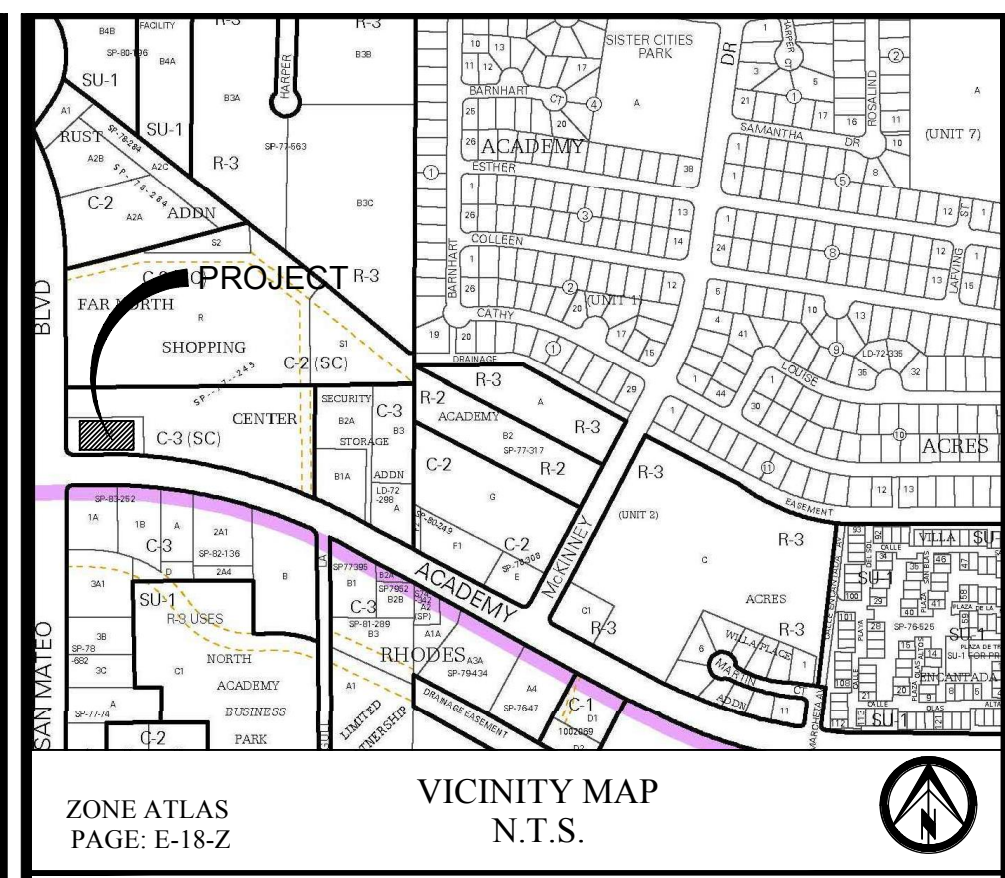


THESE PLANS ARE SUBJECT TO REVIEW & APPROVAL BY JURISDICTIONAL ENTITIES.

OWNER INFORMATION

MCDONALD'S USA, LLC
GREATER SOUTHWEST REGION
511 E. CARPENTER FRWY, STE. 375
IRVING, TEXAS 75062
(972) 869-5346
CONTACT: LEE MORRIS

- LEGEND**
- TC = PROPOSED TOP OF CURB ELEVATION
 - TP = PROPOSED TOP OF PAVEMENT ELEVATION
 - FG = PROPOSED FINISHED GRADE ELEVATION
 - FF = PROPOSED FINISHED FLOOR ELEVATION
 - SWALE
 - RIDGE LINE
 - EXISTING CONTOUR (SURVEY)
 - PROPOSED CONTOUR
 - PROPOSED FLOW



GENERAL NOTES

- Bases, anchor bolts, conduit, and wiring for all signs are by the General Contractor.
- 2" empty conduit to locations shown at the lot perimeter for lot lighting is by the General Contractor. Lighting fixtures, bases, poles, conduit, and wiring are by the General Contractor.
- Lot lighting concrete footings to conform with the soils report recommendations for this site.
- Bases for flagpoles are by the General Contractor. Anchor bolts are by the flagpole supplier. General contractor shall coordinate with flag pole supplier prior to construction.
- The Contractor shall coordinate with all utility companies to determine exact point of service connection at existing utility. Refer to the building electrical and plumbing drawings for utility service entrance locations, sizes, and circuiting.
- General Contractor must provide exact "as built" information upon completion.
- All elevations shown are in reference to the benchmark and must be verified by the General Contractor at groundbreak.
- Curb elevations shall be 6" above finish pavement unless noted otherwise.
- All landscape areas shall be rough graded to 6" below top of all walks and curbs. Finished grading, landscaping and sprinkler systems are by the Owner / Operator.
- It is strongly recommended that no contractual agreements of any kind be signed prior to receiving and thoroughly reviewing all approvals from all of the regulatory authorities having jurisdiction over this project.
- Due to the nature of the work, all dimensions shown shall be considered approximate. Contractor shall field verify all dimensions prior to beginning construction. Shop drawings shall be submitted to the Architect and/or Engineer for approval prior to fabrication or installation of any item. Failure to adhere to this procedure shall place full responsibility for any errors directly upon the Contractor.
- Contractor shall contact appropriate jurisdictional agencies prior to construction to confirm if independent testing or inspections will be required prior to their acceptance of work. Contractor shall make necessary arrangements to insure proper testing & inspections are documented such that work will be accepted at project completion.
- Sidewalks around building shall have same subgrade preparation as building foundation.
- All materials and construction within easements and R.O.W. shall conform to all governing authorities' jurisdictional standard construction details and specifications.
- Topographic information taken from a Topographic Survey performed by PRECISION SURVEYS, INC. The Contractor shall notify the Engineer immediately, in writing, of any discrepancies or omissions to the topographic information. The Contractor(s) shall be responsible for confirming the location (horizontal/vertical) of any buried cables, conduits, pipes, and structures (storm sewer, sanitary sewer, gas, television, telephone, etc.) which impact the construction site. The Contractor(s) shall notify the Owner and Engineer if any discrepancies are found between the actual conditions versus the data contained in the construction plans. Any costs incurred as the result of not confirming the actual location (horizontal/vertical) of said cables, conduits, pipes, and structures shall be borne by the Contractor. Additionally, the Contractor(s) shall notify the Owner and Engineer if any errors or discrepancies are found on the construction documents (plans), which negatively impact the project. The Engineer and Owner shall be indemnified of problems and/or cost which may result from Contractor's failure to notify Engineer and Owner.
- McDonald's reserves the right to request a compaction and/or a core sample. If tests prove correct, per the soils report, tests will be at the expense of McDonald's, otherwise G.C. will be charged.
- Contractor shall comply to the fullest extent with the latest standards of OSHA directives or any other agency having jurisdiction for excavation and trenching procedure. Contractor shall use support systems, sloping, benching, or other means of protection, including but is not limited to, access and egress from all excavation and trenching. Contractor is responsible to comply with performance criteria for OSHA.

PAVING SPECIFICATION

VERIFY W/MCDONALD'S: ASPHALT: CONCRETE:

CONTRACTOR TO BID: ASPHALT: CONCRETE:

TERRACON CONSULTANTS, INC.
AUGUST 29, 2014
PROJECT NO. 66145053

ASPHALT PAVEMENT RECOMMENDATIONS - ALTERNATE BID		
PAVEMENT MATERIALS	LIGHT DUTY	HEAVY DUTY
Asphalt Surface Course	3" OR 4.5"	4" OR 5.5"
Aggregate Base Course	6"	6"

CONCRETE PAVEMENT RECOMMENDATIONS - BASE BID		
PAVEMENT MATERIALS	LIGHT DUTY	HEAVY DUTY
Portland Cement Concrete PVMT	5"	5.5"

- PAVEMENT NOTES:**
- PAVEMENT AND SUBGRADE SHALL BE PREPARED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT PREPARED BY TERRACON CONSULTANTS, INC. DATED AUGUST 29, 2014. (PROJECT NUMBER 66145053)
 - SUBGRADE SHOULD BE SCARIFIED AND COMPACTED TO AT LEAST 98 PERCENT OF THE STANDARD PROCTOR (ASTM D 698) MAXIMUM DRY DENSITY FOR A DEPTH OF AT LEAST 10 INCHES BELOW THE SURFACE. SEE SECTION 4.2 OF THE SOILS REPORT.
 - PAVEMENT MAY BE PLACED AFTER THE SUBGRADE HAS BEEN PROPERLY COMPACTED, FINE-GRADED AND PROOF-ROLLED AS SPECIFIED IN THE SOILS REPORT.
 - ALL WORK SHALL BE IN ACCORDANCE WITH THE NEW MEXICO STATE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS AND CITY OF ALBUQUERQUE SPECIFICATIONS.
 - WATER SHOULD NOT BE ALLOWED TO POND BEHIND CURBS AND SATURATE THE BASE MATERIALS. GRANULAR BASE MATERIAL SHOULD EXTEND THROUGH THE SLOPE PROVIDING UNDERGROUND DRAINAGE AN EXIT PATH.
 - REFER TO C10.2 FOR CONCRETE JOINT SPECIFICATIONS UNLESS NOTED OTHERWISE IN THE SOILS REPORT.
 - ALL CONCRETE PAVEMENT SHALL BE 4,000 PSI @ 28 DAYS AND REINFORCED WITH #3 BARS @ 18" O.C.E.W.
 - IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REFER TO GEOTECHNICAL REPORT FOR ADDITIONAL INFORMATION.
- THE INFORMATION ABOVE IS BEING PROVIDED FOR REFERENCE ONLY AND SHALL NOT BE RELIED ON AS ACCURATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REFERRING TO THE GEOTECHNICAL REPORT REFERENCED ABOVE FOR ALL PAVEMENT/EARTHWORK REQUIREMENTS.

SURVEY INFORMATION

PREPARED BY: PRECISION SURVEYS, INC. LEGAL DESCRIPTION: TRACT M OF THE FAR NORTH SHOPPING CENTER, 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NEW MEXICO IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO
DATE: 05-14-2014

PLAN SCALE: 1" = 20'

ADDITION
FAR NORTH SHOPPING CENTER
STREET ADDRESS
6300 SAN MATEO BLVD NE
CITY STATE
ALBUQUERQUE NEW MEXICO

COUNTY: BERNALILLO SURVEY: --- ABSTRACT NO. ---

L/C NUMBER: 030-0021 CORPORATE DWG. NAME
GRADING PLAN

REV	DATE	DESCRIPTION	BY	ISSUE REF
1	11/05/2014	PER CITY COMMENTS	HJM	----
2	11/17/2014	PER TRANSPORTATION COMMENTS	HJM	----
3	12/02/2014	PER OWNER COMMENTS	HJM	----
5	02/09/2016			

2.9.16

McDONALD'S
THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF MCDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION

6300 SAN MATEO BLVD NE
ALBUQUERQUE, NEW MEXICO

ADAMS ENGINEERING INC. 05-05-0021
ADAMS ENGINEERING INC. 2013.244

PLANNING APPROVALS

REGIONAL MGR.	CONIST MGR.	OPERATIONS DEPT.	REAL ESTATE DEPT.	CONTRACTOR	OWNER

CO-SIGN SIGNATURES

PLAN APPROVALS	DATE	BY
SIGNATURE (2 REQUIRED)		
STATUS	DATE	BY
DATE DRAWN	SEPT 2014	MEG
PLAN CHECKED	11/5/14	DWL
AS-BUILT		

C7.0