

CITY OF ALBUQUERQUE



May 31, 2016

Mr. Robert Adams
910 South Kimball Avenue
Southlake, Texas 76092

**Re: McDonald's at San Mateo and Academy
Request for Permanent C.O. - Accepted
Engineer's Stamp Date 2-9-16 (E18D019C)
Certification date: 5-27-16**

Dear Mr. Adams,

Based upon the information provided in your submittal received 5/31/2016, the above referenced Certification received is acceptable for the release of Certificate of Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3986 or Totten Elliott at 924-3982.

Sincerely,

PO Box 1293

Albuquerque

Abiel Carrillo, P.E.
Principal Engineer, Planning Department
Development and Review Services

New Mexico 87103

TE/AC

C: email

Cordova, Camille C.; Miranda, Rachel; Sandoval, Darlene M.; Blocker,
Lois

www.cabq.gov

FULL PATH: L:\projects\0302013\244 McDonalds\Albuquerque\N.M\0300 San Mateo\McDonalds\Grading\Grading Plan

ROUTER: DWG TO PDF.plt

PLOT TIME: 8:31:58 AM

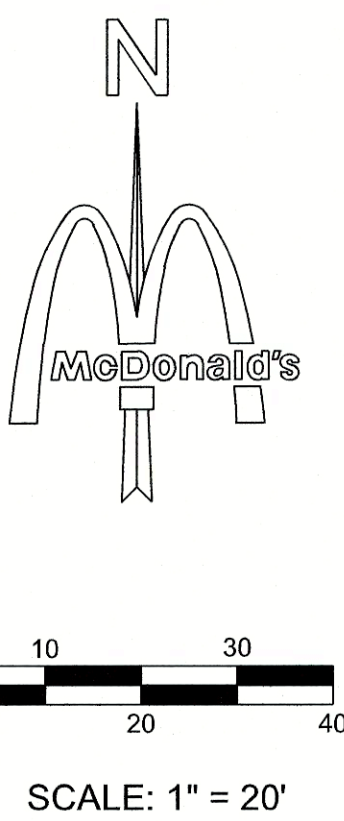
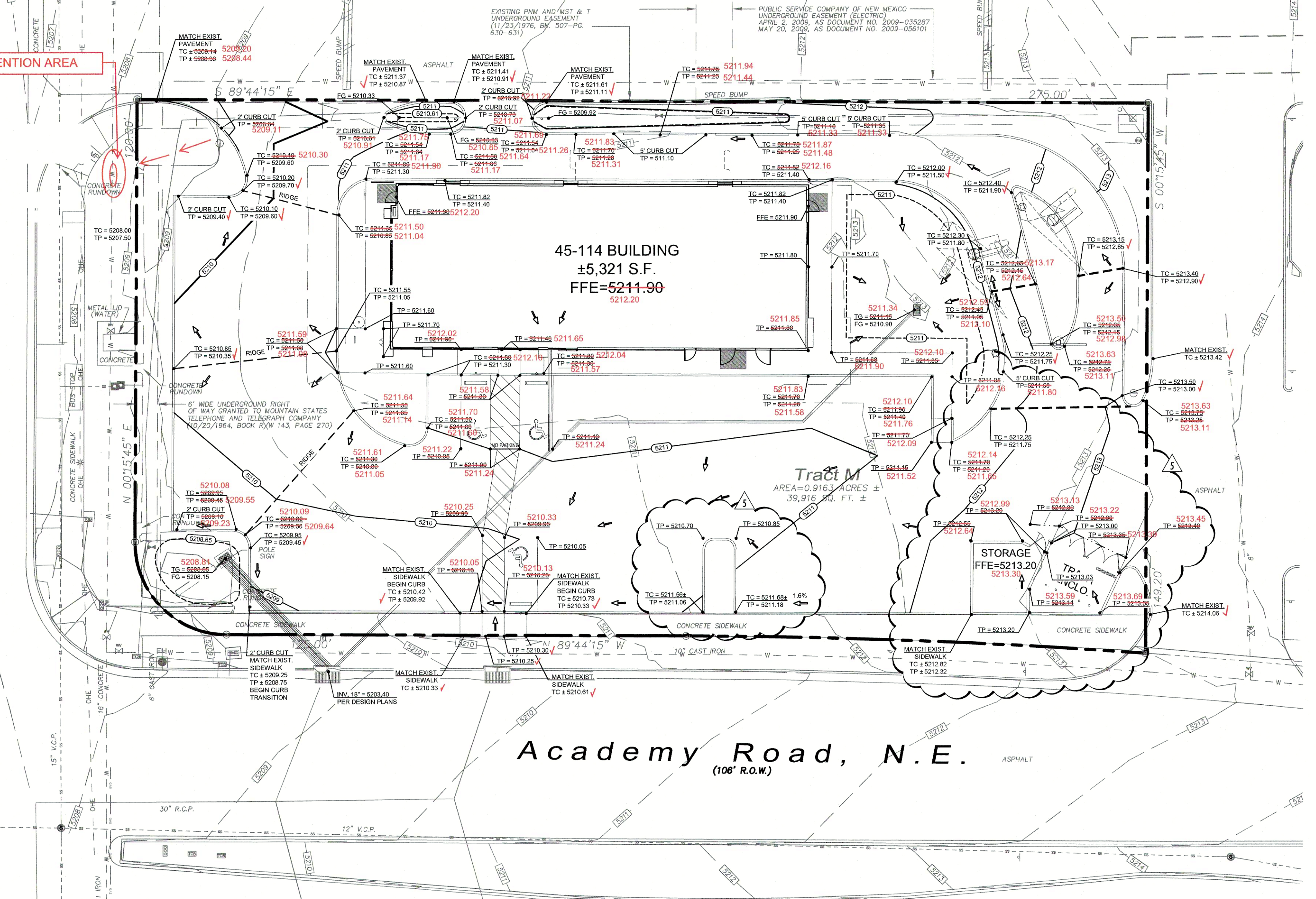
PLOT DATE: Tuesday, February 09, 2016

ROUTED BY: Heather Macomber

FILENAME: C7.0 GRADING PLAN.dwg

San Mateo Boulevard, N.E.
(125 R.O.W.)

RETENTION AREA



THESE PLANS ARE SUBJECT TO REVIEW & APPROVAL BY JURISDICTIONAL ENTITIES.

OWNER INFORMATION
MCDONALD'S U.S.A. LLC
GREATER SOUTHWEST REGION
511 E. CARPENTER FRWY., STE. 375
IRVING, TEXAS 75062
(972) 869-5348
CONTACT: LEE MORRIS

LEGEND

TC = PROPOSED TOP OF CURB ELEVATION	SWALE
TP = PROPOSED TOP OF PAVEMENT ELEVATION	RIDGE LINE
FG = PROPOSED FINISHED GRADE ELEVATION	
FF = PROPOSED FINISHED FLOOR ELEVATION	
	EXISTING CONTOUR (SURVEY)
	PROPOSED CONTOUR
	PROPOSED FLOW



Know what's below.
Call before you dig.

CURVE	RADIUS	ARC LENGTH	TANGENT	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	1862.26'	125.09'	62.57'	3°50'55"	N 87°48'54" W	125.07'
C2	25.00'	39.27'	25.00'	90°00'01"	S 44°44'15" E	35.36'

DRAINAGE CERTIFICATION
I, DENNIS LANG PE #15837, OF THE FIRM ADAMS ENGINEERING (ADAMS) HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED FEBRUARY 9, 2016. THE RECORD INFORMATION EDITED ONTO THIS COPY OF THE DESIGN DOCUMENT HAS BEEN OBTAINED BY LORENZO DOMINGUEZ NM PS NO 10461, OF EAST MOUNTAIN SURVEYING COMPANY. I FURTHER CERTIFY THAT I PERSONALLY VISITED THE PROJECT SITE ON MAY 16, 2016 AND HAVE DETERMINED BY VISUAL INSPECTION OF COMPLETED WORK THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR A CERTIFICATE OF OCCUPANCY. THERE ARE NO KNOWN EXCEPTIONS AND/OR QUALIFICATION OF THE SUBSTANTIALLY COMPLETED WORK. THE SURVEYOR HAS DETERMINED THE RECORD FINISHED FLOOR IS 5212.20. A PRINT OF THE PLAN WHICH WAS APPROVED WAS BROUGHT TO THE SITE AND SUBSTANTIALLY CONFIRMED BY ME.
THE DESIGNED FLUME WAS NOT BUILT. SEE EDITED PORTION SHOWING RETENTION AREA THAT WAS BUILT INSTEAD.

THERE ARE NO KNOWN REMAINING DEFICIENCIES AND REQUIRED CORRECTIONS OF THE SUBSTANTIALLY COMPLETED WORK HAVE BEEN COMPLETED. THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THE PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

DENNIS LANG NM PE 15837
ADAMS

5/27/2016
DATE

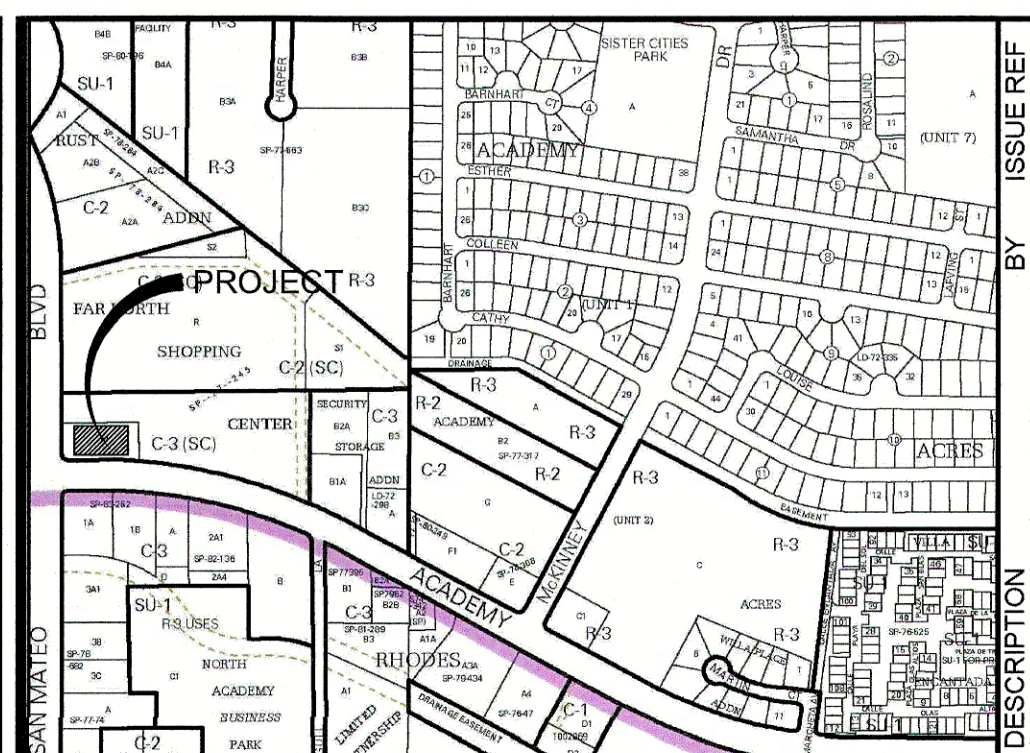
5/27/2016
DENNIS W. LANG
NEW MEXICO
15837
LICENSED PROFESSIONAL ENGINEER

STANDARD ACCESSIBILITY REQUIREMENTS

- PARKING:**
- ACCESSIBLE PARKING SPACES SHALL BE A MIN. 96" WIDE OR A MIN. 132" WIDE FOR VAN DESIGNATED SPACES WITH A MAXIMUM SLOPE OF 2% (IN ALL DIRECTIONS). ALL BUILDINGS SHALL CONTAIN AT LEAST ONE VAN ACCESSIBLE SPACE.
 - EACH ACCESSIBLE PARKING SPACE SHALL HAVE A VERTICALLY MOUNTED (OR SUSPENDED) SIGN SHOWING THE SYMBOL OF ACCESSIBILITY. AT LEAST ONE SPACE MUST HAVE AN ADDITIONAL SIGN "VAN ACCESSIBLE" MOUNTED BELOW THE SYMBOL OF ACCESSIBILITY. SIGNS SHALL BE LOCATED 60" (MIN.) ABOVE THE ADJACENT PAVED SURFACE TO BOTTOM OF TEXT.
 - ALL ACCESSIBLES SERVING H.C. PARKING SPACES SHALL BE 60" WIDE MINIMUM.
- CURB RAMPS:**
- RAMPS EXCEEDING 6" IN RISE (EXCLUDING CURB RAMPS) SHALL HAVE HANDRAILS ON EACH SIDE AT BETWEEN 34" AND 38", AND EXTEND 12" BEYOND THE TOP AND BOTTOM OF RAMP. HANDRAIL SHALL NOT DIMINISH THE CLEAR AREA REQUIRED FOR TOP AND BOTTOM LANDINGS SERVING THE RAMPS.
 - IF REQUIRED BY LOCAL OR STATE JURISDICTION, RAMPS SHALL CONTAIN A TRUNCATED DOME SURFACE ARRANGED SO THAT WATER WILL NOT ACCUMULATE. COLOR OF RAMP FINISH MATERIAL (INCLUDING CONCRETE) SHALL HAVE A LIGHT AND REFLECTIVE VALUE AND MUST CONTRAST SIGNIFICANTLY TO DISTINGUISH IT FROM ADJACENT SURFACES - (OR PAINT STRIPE)
 - BOTTOM LANDINGS FOR RAMPS SERVING REQUIRED EXITS SHALL BE 5'-0" LONG X 5'-0" WIDE MINIMUM.
 - RAMPS SHALL NOT EXCEED A 1:12 SLOPE
- SIDEWALKS AND ACCESSIBLE ROUTES:**
- SIDEWALKS MUST BE AT LEAST 36" WIDE
 - SIDEWALK CROSS SLOPE SHALL NOT EXCEED 1:50 (2%)
 - LONGITUDINAL SLOPE OF ANY SIDEWALK (ACCESSIBLE ROUTE) SHALL NOT EXCEED 1:20 (5%)

*** CONSTRUCTION NOTES ***

- THE EARTHWORK FOR ALL BUILDING FOUNDATIONS AND SLABS SHALL BE IN ACCORDANCE WITH ARCHITECTURAL BUILDING PLANS AND SPECIFICATIONS.
- ALL SIDEWALK AROUND BUILDING SHALL RECEIVE THE SAME SUBGRADE PREPARATION AS BUILDING FOUNDATION AS DESCRIBED IN GEOTECH REPORT PREPARED BY TERRACON CONSULTANTS, INC. (PROJECT NO. 66145053)
- ADJUST PAVEMENT AND/OR CURB ELEVATIONS AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE WITH EXISTING WHILE MAINTAINING PROPOSED DRAINAGE PATTERN.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL UTILITIES AND NOTIFYING THE APPROPRIATE UTILITY COMPANY PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING STORM SEWER STRUCTURES, PIPES, AND ALL UTILITIES PRIOR TO CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION, SUCH AS BUT NOT LIMITED TO DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURBS, ETC. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
- PROPOSED SPOT GRADES SHOWN ARE TO TOP OF PAVEMENT UNLESS OTHERWISE NOTED.
- EXISTING AND PROPOSED GRADE CONTOUR INTERVALS SHOWN AT ONE FOOT (1')
- ALL UN-SURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE FOUR (4) INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3H:1V OR STEEPER. CONTRACTOR SHALL GRASS DISTURBED AREAS IN ACCORDANCE WITH STANDARD SPECIFICATIONS UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
- FOR LOCATION OF ALL UTILITY ENTRANCES, SEE ARCHITECTURAL PLANS AND SPECIFICATIONS.
- CONTRACTOR SHALL COORDINATE WITH ARCHITECTURAL PLANS, POWER COMPANY, TELEPHONE COMPANY & GAS COMPANY FOR ACTUAL ROUTING OF POWER AND SERVICES TO BUILDING.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL BUILDING PLANS FOR EXACT LOCATION AND ORIENTATION OF EXTERIOR DOORS.
- TRASH ENCLOSURE WITH FINISH TO MATCH BUILDING AS PER MCDONALD'S ENGINEER OR APPROVED EQUAL. REF. SHEET TE-1 WITH 7" THICK X 15'X18" CONCRETE PAD. (CONTRACTOR TO COORDINATE DESIGN SPECS. WITH SOILS REPORT AND MCDONALD'S.)
- LOCATION OF I.D. SIGN IS APPROXIMATE. IT IS THE RESPONSIBILITY OF THE SIGN CONTRACTOR TO VERIFY COMPLIANCE WITH SETBACK, SIZE, HEIGHT AND RELATED ZONING REQUIREMENTS PRIOR TO SETTING.
- THE CONTRACTOR SHALL MAINTAIN DUST CONTROL ON SITE AT ALL TIMES BY WATERING SITE AS OFTEN AS NEEDED.
- CONTRACTOR SHALL FIELD VERIFY ELEVATIONS OF ADJACENT PROPERTIES TO MCDONALD'S SITE. IF EXISTING GRADES DO NOT MATCH THOSE SHOWN ON THIS PLAN, CONTRACTOR SHALL NOTIFY MCDONALD'S PROJECT MANAGER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY TRAFFIC CONTROL NECESSARY FOR DRIVE DEMOLITION/CONSTRUCTION.



ZONE ATLAS
PAGE: E-18-Z

VICINITY MAP
N.T.S.

- GENERAL NOTES**
- Bases, anchor bolts, conduit, and wiring for all signs are by the General Contractor.
 - Empty conduit to locations shown at the lot perimeter for lot lighting is by the General Contractor. Lighting fixtures, bases, poles, conduit, and wiring are by the flagpole supplier.
 - Lot lighting concrete footings to conform with the soils report recommendations for this site.
 - Bases for flagpoles are by the General Contractor. Anchor bolts are by the flagpole supplier. General contractor shall coordinate with flag pole supplier prior to construction.
 - The Contractor shall coordinate with all utility companies to determine exact point of service connection at existing utility. Refer to the building electrical and plumbing drawings for utility service entrance locations, sizes, and curbing.
 - General Contractor must provide exact "as built" information upon completion.
 - All elevations shown are in reference to the benchmark and must be verified by the General Contractor at groundbreak.
 - Curb elevations shall be 6" above finish pavement unless noted otherwise.
 - All landscape areas shall be rough graded to 6" below top of all walks and curbs. Finished grading, landscaping and sprinkler systems are by the Owner / Operator.
 - It is strongly recommended that no contractual agreements of any kind be signed prior to receiving and thoroughly reviewing all approvals from all of the regulatory authorities having jurisdiction over this project.
 - Due to the nature of the work, all dimensions shown shall be considered approximate. Contractor shall field verify all dimensions prior to beginning construction. Shop drawings shall be submitted to the Architect and/or Engineer for approval prior to fabrication or installation of any item. Failure to adhere to this procedure shall place full responsibility for any errors directly upon the Contractor.
 - Contractor shall contact appropriate jurisdictional agencies prior to construction to confirm if independent testing or inspection services will be required prior to acceptance of work. Contractor shall make necessary arrangements to insure proper testing & inspections are documented such that work will be accepted at project completion.
 - Sidewalks around building shall have same subgrade preparation as building foundation.
 - All materials and construction within easements and R.O.W. shall conform to all governing authorities' jurisdictional standard construction details and specifications.
 - Precision Surveys, Inc. The Contractor shall notify the Engineer immediately, in writing, of any discrepancies or omissions to the topographic information. The Contractor(s) shall be responsible for confirming the location (horizontal/vertical) of any buried cables, conduits, pipes, and structures (storm sewer, sanitary sewer, water, gas, television, telephone, etc.) which impact the construction site. The Contractor(s) shall notify the Owner and Engineer if any discrepancies are found between the actual conditions versus the data contained in the construction plans. Any costs incurred as the result of not confirming the actual location (horizontal/vertical) of said cables, conduits, pipes, and structures shall be borne by the Contractor. Additionally, the Contractor(s) shall notify the Owner and Engineer if any errors or discrepancies are found on the construction documents (p&se), which negatively impact the project. The Engineer and Owner shall be indemnified of problems and/or cost which may result from Contractor's failure to notify Engineer and Owner.
 - McDonald's reserves the right to request a compaction and/or a core sample. If tests prove correct, per the soils report, tests will be at the expense of McDonald's, otherwise G.C. will be charged.
 - Contractor shall comply to the fullest extent with the latest standards of OSHA directives or any other agency having jurisdiction for excavation and trenching procedure. Contractor shall use support systems, sloping, benching, or other means of protection, including but not limited to, access and egress from all excavation and trenching. Contractor is responsible to comply with performance criteria for OSHA.

PAVING SPECIFICATION

VERIFY W/MCDONALD'S:	ASPHALT:	<input type="checkbox"/>	CONCRETE:	<input checked="" type="checkbox"/>
CONTRACTOR TO BID:	ASPHALT:	<input type="checkbox"/>	CONCRETE:	<input checked="" type="checkbox"/>

NOTE: ALL PAVING & SUBGRADE SPECIFICATIONS TO COMPLY WITH GEOTECHNICAL REPORT AS PREPARED BY:
TERRACON CONSULTANTS, INC.
AUGUST 29, 2014
PROJECT NO. 66145053

ASPHALT PAVEMENT RECOMMENDATIONS - ALTERNATE BID				
PAVEMENT MATERIALS	LIGHT DUTY	HEAVY DUTY		
Asphalt Surface Course	3"	4.5"	4"	5.5"
Aggregate Base Course	6"	OR	6"	OR
CONCRETE PAVEMENT RECOMMENDATIONS - BASE BID				
PAVEMENT MATERIALS	LIGHT DUTY	HEAVY DUTY		
Portland Cement Concrete P/MT	5"	5.5"		

- PAVEMENT NOTES:**
- PAVEMENT AND SUBGRADE SHALL BE PREPARED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT PREPARED BY TERRACON CONSULTANTS, INC. DATED AUGUST 29, 2014. (PROJECT NUMBER 66145053)
 - SUBGRADE SHOULD BE SPECIFIED AND COMPACTED TO AT LEAST 98 PERCENT OF THE STANDARD PROCTOR (ASTM D 698) MAXIMUM DRY DENSITY FOR A DEPTH OF AT LEAST 10 INCHES BELOW THE SURFACE. SEE SECTION 4.2 OF GEOTECH REPORT
 - PAVEMENT MAY BE PLACED AFTER THE SUBGRADE HAS BEEN PROPERLY COMPACTED, FINE-GRADED AND PROOF ROLLED AS SPECIFIED IN THE SOILS REPORT.
 - ALL WORK SHALL BE IN ACCORDANCE WITH THE NEW MEXICO STATE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS AND CITY OF ALBUQUERQUE SPECIFICATIONS.
 - WATER SHOULD NOT BE ALLOWED TO POND BEHIND CURBS AND SATURATE THE BASE MATERIALS. GRANULAR BASE MATERIAL SHOULD EXTEND THROUGH THE SLOPE PROVIDING UNDERGROUND DRAINAGE AN EXIT PATH.
 - REFER TO C10.2 FOR CONCRETE JOINT SPECIFICATIONS UNLESS NOTED OTHERWISE IN THE SOILS REPORT.
 - ALL CONCRETE PAVEMENT SHALL BE 4,000 PSI @ 28 DAYS AND REINFORCED WITH #3 BARS @ 18" O.C.E.W.
 - IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REFER TO GEOTECHNICAL REPORT FOR ADDITIONAL INFORMATION.
- THE INFORMATION ABOVE IS PROVIDED FOR REFERENCE ONLY AND SHALL NOT BE RELIED ON AS ACCURATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REFERRING TO THE GEOTECHNICAL REPORT REFERENCE ABOVE FOR ALL PAVEMENT/CONSTRUCTION REQUIREMENTS.

SURVEY INFORMATION

PREPARED BY: PRECISION SURVEYS, INC. 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NEW MEXICO DATE: 05-14-2014	LEGAL DESCRIPTION: TRACT N.M. OF THE FAR NORTH SHOPPING CENTER, PLAT BOOK B12, PAGE 192 OF WHICH WAS FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO
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PLAN SCALE: 1" = 20'
ADDITION

FAR NORTH SHOPPING CENTER
STREET ADDRESS

6300 SAN MATEO BLVD NE
CITY: ALBUQUERQUE STATE: NEW MEXICO

COUNTY:	SURVEY:	ABSTRACT NO.
BERNALILLO	---	---
L/C NUMBER:	CORPORATE DWG. NAME	
030-0021	GRADING PLAN	

McDONALD'S
6300 SAN MATEO BLVD NE
ALBUQUERQUE, NEW MEXICO

McDONALD'S LAC: 030-0021
ADAMS ENGINEERING No. 2013.244

OFFICE	ADDRESS	DATE	SIGNATURE (S REQUIRED)	STATUS	DATE	BY
GREATER SOUTHWEST	KROC DRIVE - OAK BROOK, ILLINOIS 60521	11/05/2014		PER CITY COMMENTS	11/17/2014	HJM
		12/02/2014		PER DRAINAGE COMMENTS	12/02/2014	HJM
		02/09/2016		PER TRANSPORTATION COMMENTS	02/09/2016	HJM
				PER OWNER COMMENTS		HJM

CO-SIGN SIGNATURES

REGIONAL MGR.	CONSTR. MGR.	OPERATIONS DEPT.	REAL ESTATE DEPT.	CONTRACTOR	OWNER

PLAN APPROVALS

DATE	SIGNATURE (S REQUIRED)
5/27/2016	DENNIS W. LANG

CONSTRUCTION NOTES

1. THE EARTHWORK FOR ALL BUILDING FOUNDATIONS AND SLABS SHALL BE IN ACCORDANCE WITH ARCHITECTURAL BUILDING PLANS AND SPECIFICATIONS.

2. ALL SIDEWALK AROUND BUILDING SHALL RECEIVE THE SAME SUBGRADE PREPARATION AS BUILDING FOUNDATION AS DESCRIBED IN GEOTECH REPORT PREPARED BY TERRACON CONSULTANTS, INC. (PROJECT NO. 66145053)

3. ADJUST PAVEMENT AND/OR CURB ELEVATIONS AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE WITH EXISTING WHILE MAINTAINING PROPOSED DRAINAGE PATTERN.

4. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL UTILITIES AND NOTIFYING THE APPROPRIATE UTILITY COMPANY PRIOR TO BEGINNING CONSTRUCTION.

5. CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING STORM SEWER STRUCTURES, PIPES, AND ALL UTILITIES PRIOR TO CONSTRUCTION.

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7. PROPOSED SPOT GRADES SHOWN ARE TO TOP OF PAVEMENT UNLESS OTHERWISE NOTED.

8. EXISTING AND PROPOSED GRADE CONTOUR INTERVALS SHOWN AT ONE FOOT (1')

9. ALL UN-SURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE FOUR (4) INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3H:1V OR STEEPER. CONTRACTOR SHALL GRASS DISTURBED AREAS IN ACCORDANCE WITH STANDARD SPECIFICATIONS UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.

10. FOR LOCATION OF ALL UTILITY ENTRANCES, SEE ARCHITECTURAL PLANS AND SPECIFICATIONS.

11. CONTRACTOR SHALL COORDINATE WITH ARCHITECTURAL PLANS, POWER COMPANY, TELEPHONE COMPANY & GAS COMPANY FOR ACTUAL ROUTING OF POWER AND SERVICES TO BUILDING.

12. CONSTRUCTION SHALL COMPLY WITH ALL GOVERNING CODES AND BE CONSTRUCTED TO SAME.

13. CONTRACTOR SHALL REFER TO ARCHITECTURAL BUILDING PLANS FOR EXACT LOCATION AND ORIENTATION OF EXTERIOR DOORS.

14. TRASH ENCLOSURE WITH FINISH TO MATCH BUILDING AS PER MCDONALD'S ENGINEER OR APPROVED EQUAL. REF. SHEET TE-1 WITH 7" THICK X 15'X18" CONCRETE PAD. (CONTRACTOR TO COORDINATE DESIGN SPECS. WITH SOILS REPORT AND MCDONALD'S.)

15. LOCATION OF I.D. SIGN IS APPROXIMATE. IT IS THE RESPONSIBILITY OF THE SIGN CONTRACTOR TO VERIFY COMPLIANCE WITH SETBACK, SIZE, HEIGHT AND RELATED ZONING REQUIREMENTS PRIOR TO SETTING.

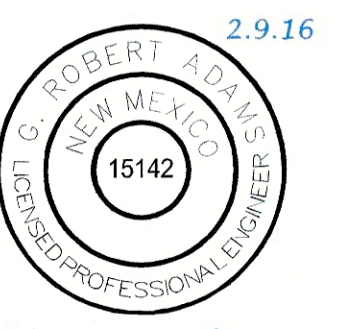
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18. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY TRAFFIC CONTROL NECESSARY FOR DRIVE DEMOLITION/CONSTRUCTION.



910 S. Kimball Avenue ■ Southlake, Texas 76095 ■ (817) 338-3300



G. R. Raulo

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6300 SAN MATEO BLVD NE
ALBUQUERQUE, NEW MEXICO

McDONALD'S LAC: 030-0021
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C7.0



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: _____ Building Permit #: _____ City Drainage #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: _____

City Address: _____

Engineering Firm: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Owner: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Architect: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- _____ DRAINAGE REPORT
- _____ DRAINAGE PLAN 1st SUBMITTAL
- _____ DRAINAGE PLAN RESUBMITTAL
- _____ CONCEPTUAL G & D PLAN
- _____ GRADING PLAN
- _____ EROSION & SEDIMENT CONTROL PLAN (ESC)
- _____ ENGINEER'S CERT (HYDROLOGY)
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ ENGINEER'S CERT (TCL)
- _____ ENGINEER'S CERT (DRB SITE PLAN)
- _____ ENGINEER'S CERT (ESC)
- _____ SO-19
- _____ OTHER (SPECIFY)

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- _____ SIA/FINANCIAL GUARANTEE RELEASE
- _____ PRELIMINARY PLAT APPROVAL
- _____ S. DEV. PLAN FOR SUB'D APPROVAL
- _____ S. DEV. FOR BLDG. PERMIT APPROVAL
- _____ SECTOR PLAN APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ CERTIFICATE OF OCCUPANCY (PERM)
- _____ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- _____ FOUNDATION PERMIT APPROVAL
- _____ BUILDING PERMIT APPROVAL
- _____ GRADING PERMIT APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ WORK ORDER APPROVAL
- _____ GRADING CERTIFICATION
- _____ SO-19 APPROVAL
- _____ ESC PERMIT APPROVAL
- _____ ESC CERT. ACCEPTANCE
- _____ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes _____ No _____ Copy Provided

DATE SUBMITTED: _____ By: _____

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development