

CITY OF ALBUQUERQUE



May 31, 2016

Mr. Robert Adams
910 South Kimball Avenue
Southlake, Texas 76092

**Re: McDonald's at San Mateo and Academy
Request for Permanent C.O. - Accepted
Engineer's Stamp Date 2-9-16 (E18D019C)
Certification date: 5-27-16**

Dear Mr. Adams,

Based upon the information provided in your submittal received 5/31/2016, the above referenced Certification received is acceptable for the release of Certificate of Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3986 or Totten Elliott at 924-3982.

Sincerely,

Abiel Carrillo, P.E.
Principal Engineer, Planning Department
Development and Review Services

PO Box 1293

Albuquerque

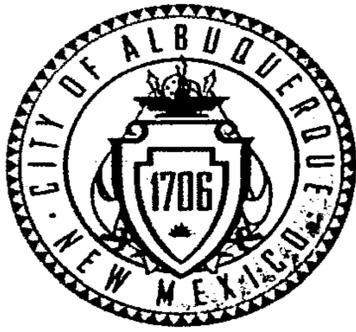
New Mexico 87103

TE/AC

C: email

Cordova, Camille C.; Miranda, Rachel; Sandoval, Darlene M.; Blocker,
Lois

www.cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: McDonald's San Mateo Building Permit #: T2014-92777 City Drainage #: E18D019C

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: Tract M, Far North Shopping Center, within the Elena Gallegos Grant, Projected Section 26, T11N, R3E, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, NM

City Address: 6300 San Mateo Blvd. NE

Engineering Firm: Adams Engineering Contact: G. Robert Adams, P.E.

Address: 8951 Cypress Waters Blvd., Suite 150

Phone#: 817-328-3200 Fax#: 817-328-3299 E-mail: rob.adams@adams-engineering.com

Owner: McDonald's Contact: Antwan Smith

Address: 511 E. Carpenter Freeway, Irving, TX 75062

Phone#: 817.240.0744 Fax#: _____ E-mail: antwan.smith@us.mcd.com

Architect: Rogue Architects Contact: Jeremy A. Williams, R.A.

Address: 513 Main St., Suite 200, Fort Worth, TX 76102

Phone#: 817-820-0433 Fax#: _____ E-mail: Jeremy@roguearchitects.com

Surveyor: Precision Surveys, Inc. Contact: Larry W. Medrano, P.S.

Address: 5571 Midway Park Place NE, Albuquerque, NM 87109

Phone#: 505-856-5700 Fax#: 505-856-7900 E-mail: larry@presurv.com

Contractor: Cordova Contracting, LLC Contact: Mark Cordova

Address: 316 Osuna Rd. NE, Ste 202, Albuquerque, NM 87107

Phone#: 505-243-9675 Fax#: _____ E-mail: mark@cordovallc.com

TYPE OF SUBMITTAL:

- DRAINAGE REPORT
- DRAINAGE PLAN 1st SUBMITTAL
- DRAINAGE PLAN RESUBMITTAL
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- EROSION & SEDIMENT CONTROL PLAN (ESC)
- ENGINEER'S CERT (HYDROLOGY)
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- ENGINEER'S CERT (TCL)
- ENGINEER'S CERT (DRB SITE PLAN)
- ENGINEER'S CERT (ESC)
- SO-19
- OTHER (SPECIFY)

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- SIA/FINANCIAL GUARANTEE RELEASE
- PRELIMINARY PLAT APPROVAL
- S. DEV. PLAN FOR SUB'D APPROVAL
- S. DEV. FOR BLDG. PERMIT APPROVAL
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- FINAL PLAT APPROVAL
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- CERTIFICATE OF OCCUPANCY (TCL TEMP)
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- GRADING CERTIFICATION
- SO-19 APPROVAL
- ESC PERMIT APPROVAL
- ESC CERT. ACCEPTANCE
- OTHER (SPECIFY)



WAS A PRE-DESIGN CONFERENCE ATTENDED: Yes No Copy Provided

DATE SUBMITTED: May 27, 2016 By: Dennis Lang PE

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
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4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

CITY OF ALBUQUERQUE



May 19, 2016

Mr. Robert Adams
910 South Kimball Avenue
Southlake, Texas 76092

**Re: McDonald's at San Mateo and Academy
Request for Permanent C.O. - Not Accepted
Engineer's Stamp Date 2-9-16 (E18D019C)
Certification date: 5-18-16**

Dear Mr. Adams,

Based upon the information provided in your submittal received May 18, 2016, the above referenced plan is not approved for release of Certificate of Occupancy by Hydrology. Please address the following:

1. The swale on the NW corner was not constructed per the approved plan. Water must not drain into the right-of-way. Attached is a copy of an option on how to address the flows.

PO Box 1293

If you have any questions, you can contact me at 924-3986 or Totten Elliott at 924-3982.

Sincerely,

Albuquerque

Abiel Carrillo, P.E.

New Mexico 87103 Principal Engineer, Planning Department
Development and Review Services

www.cabq.gov

TE/AC

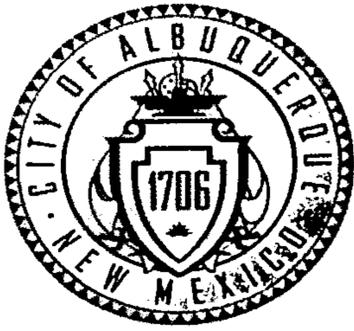
C: email Cordova, Camille C.; Miranda, Rachel; Sandoval, Darlene M.; Blocker,
Lois



SW culvert

Create small
dref down
area or swale
to convey to
SW culvert

→
→



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: McDonald's San Mateo Building Permit #: T2014-92777 City Drainage #: E18D019C
 DRB#: _____ EPC#: _____ Work Order#: _____
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Engineering Firm: Adams Engineering Contact: G. Robert Adams, P.E.
 Address: 8951 Cypress Waters Blvd., Suite 150
 Phone#: 817-328-3200 Fax#: 817-328-3299 E-mail: rob.adams@adams-engineering.com

Owner: McDonald's Contact: Antwan Smith
 Address: 511 E. Carpenter Freeway, Irving, TX 75062
 Phone#: 817.240.0744 Fax#: _____ E-mail: antwan.smith@us.mcd.com

Architect: Rogue Architects Contact: Jeremy A. Williams, R.A.
 Address: 513 Main St., Suite 200, Fort Worth, TX 76102
 Phone#: 817-820-0433 Fax#: _____ E-mail: Jeremy@roguearchitects.com

Surveyor: Precision Surveys, Inc. Contact: Larry W. Medrano, P.S.
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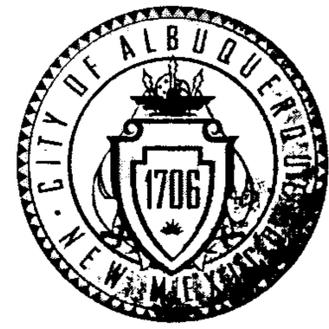


WAS A PRE-DESIGN CONFERENCE ATTENDED: Yes No Copy Provided
 DATE SUBMITTED: May 18, 2016 By: Dennis Lang PE

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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- Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

CITY OF ALBUQUERQUE



February 17, 2016

Mr. Robert Adams
910 South Kimball Avenue
Southlake, Texas 76092

**Re: McDonald's at San Mateo and Academy (E18D019C)
Grading Plan (C7.0) Dated 2-9-16
Post Developed Drainage Plan (C8.1) Dated 2-9-16**

Dear Mr. Adams,

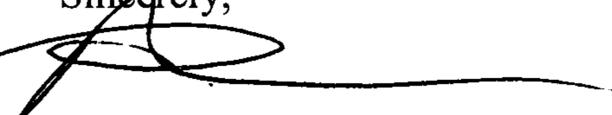
Based upon the information provided in your submittal received February 10, 2016 the revised plans are approved for Building Permit and S0-19.

The SO-19 Permit is required for construction within the City Right of Way. A copy of this approval letter must be on hand when applying for the Excavation and SO-19 Permit at DMD.

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3999.

Sincerely,


Shahab Biazar, P.E.
City Engineer, Planning Department
Development Review Services

C: e-mail

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov



LETTER OF TRANSMITTAL

Engineers · Planners · LS Architects · Scientists
 910 S. Kimball Ave▪Southlake, Texas 76092
 (817) 328-3200 FAX (817) 328-3299

DATE:	2/9/2016	JOB NO:	2013.244
ATTN:	Shahab Biazar		
RE:	McDonald's		
	6300 San Mateo Blvd.		
	City Drainage # E18D019C		
	Building Permit # T2014-92777		
CC:	File		

TO: **City of Albuquerque**
Planning Department
600 2nd NW, Suite 201
Albuquerque, NM 87102

PHONE: **(505) 924-3999**

WE ARE SENDING YOU ATTACHED _____ UNDER SEPARATE COVER VIA _____

- | | | | |
|--|--|---|---|
| <input type="checkbox"/> Blueline Prints | <input checked="" type="checkbox"/> Blackline Prints | <input type="checkbox"/> Reproducible Plans | <input type="checkbox"/> Specifications |
| <input type="checkbox"/> Copy of Letter | <input type="checkbox"/> Change Order | <input type="checkbox"/> Diskette(s) | <input type="checkbox"/> Shop Drawings |
| <input type="checkbox"/> Bid Documents | <input type="checkbox"/> Invoice | <input type="checkbox"/> Samples | <input type="checkbox"/> Other |

COPIES	DATE	ACEI NO.	DESCRIPTION
1	11/19/2014	2013.244	DTIS For Grading Plan
1	10/27/2014	2013.244	DTIS For Drainage Plan
2	2/9/2016	2013.244	Civil Sheets C7.0 and C8.1

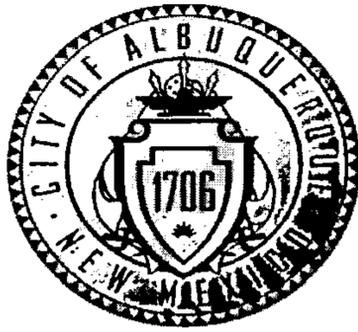
THESE ARE TRANSMITTED as checked below:

- | | | |
|--|---------------------------------------|---|
| <input checked="" type="checkbox"/> For approval | <input type="checkbox"/> For Your Use | <input type="checkbox"/> As requested by: _____ |
| <input type="checkbox"/> For review and comment | <input type="checkbox"/> For Bidding | <input type="checkbox"/> Return ASAP to: _____ |
| <input type="checkbox"/> Revise and resubmit | <input type="checkbox"/> Rejected | <input type="checkbox"/> Approved as noted |

REMARKS: Thanks.

DELIVERED VIA: U.S. Mail Std Overnight Priority Overnight Hand Delivery Pick-up Other

SIGNED: Heather Macomber



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: McDonald's San Mateo Building Permit #: T2014-92777 City Drainage #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: Tract M of the Summary Plat of the Far North Shopping Center, Albuquerque, NM - Book B12, Page 192

City Address: 6300 San Mateo SE

Engineering Firm: Adams Engineering Contact: G. Robert Adams, P.E.

Address: 910 S. Kimball Ave., Southlake, TX 76092

Phone#: 817-328-3200 Fax#: 817-328-3299 E-mail: rob.adams@adams-engineering.com

Owner: McDonald's Contact: Lee Morris

Address: 511 E. Carpenter Freeway Irving, TX 75062

Phone#: 972-869-5346 Fax#: _____ E-mail: Lee.Morris@us.mcd.com

Architect: Rogue Architects Contact: Jeremy A. Williams, R.A.

Address: 513 Main St., Suite 200, Fort Worth, TX 76102

Phone#: 817-820-0433 Fax#: _____ E-mail: Jeremy@roguearchitects.com

Surveyor: Precision Surveys, Inc. Contact: Larry Medrano

Address: 5571 Midway Park Place NE Albuquerque, NM 87199

Phone#: 505-856-5700 Fax#: 505-856-7900 E-mail: _____

Contractor: Cordova Contracting Contact: Mark Cordova

Address: 316 Osuna Rd NE, Albuquerque, NM 87107

Phone#: (505) 243-9675 Fax#: _____ E-mail: _____

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- ESC PERMIT APPROVAL
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- ESC CERT. ACCEPTANCE
- GRADING CERTIFICATION
- OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED: Yes No Copy Provided

DATE SUBMITTED: 11/19/14 By: Leslie Ford

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Owner: McDonald's Contact: Lee Morris

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Architect: Rogue Architects Contact: Jeremy A. Williams, R.A.

Address: 513 Main St., Suite 200, Fort Worth, TX 76102

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Surveyor: Precision Surveys, Inc. Contact: Larry Medrano

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WAS A PRE-DESIGN CONFERENCE ATTENDED: Yes No Copy Provided

DATE SUBMITTED: 10/27/2014 By: Leslie Ford

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Elliott, Stanice

From: Biazar, Shahab
Sent: Wednesday, October 14, 2015 11:49 AM
To: Dicome, Kym; 'elaine.pickering@adams-engineering.com'; 'margaret.grissom@adams-engineering.com'; leslie (leslie@roguearchitects.com)
Cc: Harmon Rita T.; Elliott, Stanice; Ortiz, Monica; Michel, Racquel M.
Subject: Administrative Amendment (15AA-10127) For McDonald's Restaurant Located At 6300 San Mateo Boulevard

Hi,

Please provide a full submittal to City Hydrology addressing the following comments prior to Administrative Amendment (15AA-10127) approval for the for McDonald's Restaurant located at 6300 San Mateo Boulevard:

- Provide floor drain for the Trash Enclosure. The floor drain must drain to a grease trap and then to sanitary sewer system.
- Are there existing drainage easements on this site?
- Provide First Flush required and proposed ponding volume calculations.
- Are the proposed storm drain system existing or proposed? Provide more details on the storm drain system (sizes, inverts, and capacity).
- Are there offsite runoff entering the site? Are there offsite drainage and access easements?
- Show all existing easements. Are there any conflicts between exiting utilities and storm drain system?
- Sidewalk culvert plate must include a plat for entire stretch within the right-of-way.
- SO-19 permit and notes are required for the sidewalk culvert and connection to the existing inlet within the right-of-way. What is the pipe size connection to the back of the inlet (12" line is the maximum line size allowed)? Provide inverts for connecting to the inlet.
- Is there an existing public sidewalk easement along Academy Road?
- Labels on the existing contours are not visible.
- Please darken the line work for the proposed improvements.
- Show roof flow directions for the new building. Which way will the roof drain for the proposed storage next to the trash enclosure. We recommend that the roof flow would drain to the north.
- Provide City Benchmark information on the plan.

Thanks

Shahab Biazar, P.E.

City Engineer

Planning Department
Development Review Services Division
600 2nd St. NW, Suite 201
Albuquerque, NM 87102
t 505-924-3999
f 505-924-3864

CITY OF ALBUQUERQUE



December 17, 2014

Mr. Robert Adams
910 South Kimball Avenue
Southlake, Texas 76092

**Re: McDonald's at San Mateo and Academy
Grading Plan (C7.0) dated 12-2-14
Pre-Developed Drainage Plan (C8.0) dated 11-5-14
Post Developed Drainage Plan (C8.1) dated 11-17-14
Standard Details (C10.5) dated 11-17-14
(E18D019C)**

Dear Mr. Adams,

Based upon the information provided in your submittal received December 15, 2014, 2014, the above referenced plan is approved for Building Permit and SO-19.

The SO-19 Permit is required for construction within the City Right of Way. A copy of this approval letter must be on hand when applying for the Excavation Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3994.

Sincerely,

Amy L. D. Niese, P.E.
Senior Engineer, Hydrology
Planning Department

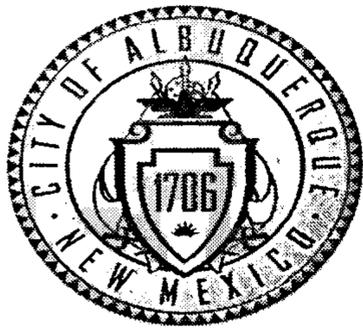
C: e-mail

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- S. DEV. PLAN FOR SUB'D APPROVAL
- S. DEV. FOR BLDG. PERMIT APPROVAL
- SECTOR PLAN APPROVAL
- FINAL PLAT APPROVAL
- CERTIFICATE OF OCCUPANCY (PERM)
- CERTIFICATE OF OCCUPANCY (TCL TEMP)
- FOUNDATION PERMIT APPROVAL
- BUILDING PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- SO-19 APPROVAL
- PAVING PERMIT APPROVAL
- ESC PERMIT APPROVAL
- WORK ORDER APPROVAL
- ESC CERT. ACCEPTANCE
- GRADING CERTIFICATION
- OTHER (SPECIFY)

RECEIVED
12/15/14

WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes No _____ Copy Provided _____

DATE SUBMITTED: 10/27/2014 By: Leslie Ford

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

$A_D = 0.741$ $Q_{out} = 4.34$ CFS

513 Main Street
Suite 200
Fort Worth, Texas 76102
Office: 817.820.0433
Fax: 682.224.8917
roguearchitects.com



LETTER OF TRANSMITTAL

November 7, 2014

Amy Niese
City of Albuquerque
Planning Department – Transportation & Hydrology
600 2nd St. NW, Suite 201
Albuquerque, NM 87102
505-924-3981

RE: McDonald's – 6300 San Mateo NE - T201492777

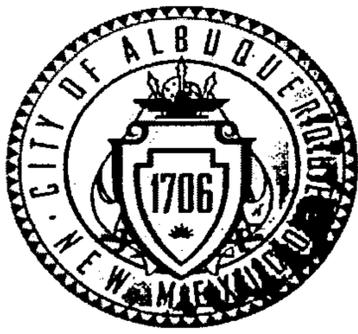
Attached are all documents for the Hydrology review of this project.

Enclosed Items

~~(2) 21236 Transportation Plan Sets~~
Grading BP/SO19 Information Sheet
Drainage BP/SO19 Information Sheet

Please feel free to contact me with any questions or concerns.

Sincerely,
Leslie Ford
Director, Development Services
leslie@roguearchitects.com
817-820-0433 / 325-370-9965



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: McDonald's San Mateo Building Permit #: T2014-92777 City Drainage #: E18D019C
 DRB#: _____ EPC#: _____ Work Order#: _____
 Legal Description: Tract M of the Summary Plat of the Far North Shopping Center, Albuquerque, NM - Book B12, Page 192
 City Address: 6300 San Mateo SE

Engineering Firm: Adams Engineering Contact: G. Robert Adams, P.E.
 Address: 910 S. Kimball Ave., Southlake, TX 76092
 Phone#: 817-328-3200 Fax#: 817-328-3299 E-mail: rob.adams@adams-engineering.com

Owner: McDonald's Contact: Lee Morris
 Address: 511 E. Carpenter Freeway Irving, TX 75062
 Phone#: 972-869-5346 Fax#: _____ E-mail: Lee.Morris@us.mcd.com

Architect: Rogue Architects Contact: Jeremy A. Williams, R.A.
 Address: 513 Main St., Suite 200, Fort Worth, TX 76102
 Phone#: 817-820-0433 Fax#: _____ E-mail: Jeremy@roguearchitects.com

Surveyor: Precision Surveys, Inc. Contact: Larry Medrano
 Address: 5571 Midway Park Place NE Albuquerque, NM 87199
 Phone#: 505-856-5700 Fax#: 505-856-7900 E-mail: _____

Contractor: Cordova Contracting Contact: Mark Cordova
 Address: 316 Osuna Rd NE, Albuquerque, NM 87107
 Phone#: (505) 243-9675 Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- DRAINAGE REPORT
- DRAINAGE PLAN 1st SUBMITTAL
- DRAINAGE PLAN RESUBMITTAL
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- EROSION & SEDIMENT CONTROL PLAN (ESC)
- ENGINEER'S CERT (HYDROLOGY)
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- ENGINEER'S CERT (TCL)
- ENGINEER'S CERT (DRB SITE PLAN)
- ENGINEER'S CERT (ESC)
- SO-19
- OTHER (SPECIFY)

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

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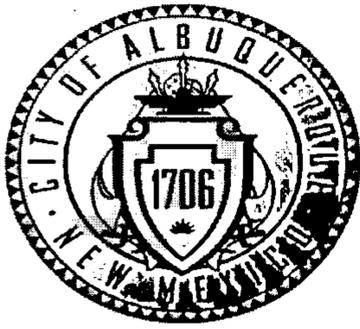
*RECEIVED
12/5/14
INFO ONLY*

WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes No _____ Copy Provided

DATE SUBMITTED: 11/19/14 By: Leslie Ford

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City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

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Engineering Firm: Adams Engineering Contact: G. Robert Adams, P.E.
 Address: 910 S. Kimball Ave., Southlake, TX 76092
 Phone#: 817-328-3200 Fax#: 817-328-3299 E-mail: rob.adams@adams-engineering.com

Owner: McDonald's Contact: Lee Morris
 Address: 511 E. Carpenter Freeway Irving, TX 75062
 Phone#: 972-869-5346 Fax#: _____ E-mail: Lee.Morris@us.mcd.com

Architect: Rogue Architects Contact: Jeremy A. Williams, R.A.
 Address: 513 Main St., Suite 200, Fort Worth, TX 76102
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Contractor: Cordova Contracting Contact: Mark Cordova
 Address: 316 Osuna Rd NE, Albuquerque, NM 87107
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WAS A PRE-DESIGN CONFERENCE ATTENDED: Yes No Copy Provided

DATE SUBMITTED: 10/27/2014 By: Leslie Ford

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LETTER OF TRANSMITTAL

Engineers · Planners · LS Architects · Scientists
 910 S. Kimball Ave • Southlake, Texas 76092
 (817) 328-3200 FAX (817) 328-3299

DATE:	12/3/2014	JOB NO:	2013.244
ATTN:	Monica Ortiz		
RE:	McDonald's		
	6300 San Mateo Blvd.		
	City Drainage # E18D019C		
	Building Permit # T2014-92777		
CC:	File		

TO: **City of Albuquerque**
Planning Department
600 2nd NW
Albuquerque, NM 87102

PHONE: **(505) 924-3994**

WE ARE SENDING YOU ATTACHED _____ UNDER SEPARATE COVER VIA _____

- | | | | |
|--|--|---|---|
| <input type="checkbox"/> Blueline Prints | <input checked="" type="checkbox"/> Blackline Prints | <input type="checkbox"/> Reproducible Plans | <input type="checkbox"/> Specifications |
| <input type="checkbox"/> Copy of Letter | <input type="checkbox"/> Change Order | <input type="checkbox"/> Diskette(s) | <input type="checkbox"/> Shop Drawings |
| <input type="checkbox"/> Bid Documents | <input type="checkbox"/> Invoice | <input type="checkbox"/> Samples | <input type="checkbox"/> Other |

COPIES	DATE	ACEI NO.	DESCRIPTION
1	12/3/2014	2013.244	DTIS For Grading Plan
1	12/3/2014	2013.244	DTIS For Drainage Plan
2	12/2/2014	2013.244	Civil Sheets C7.0, C8.0, C8.1, and C10.5

THESE ARE TRANSMITTED as checked below:

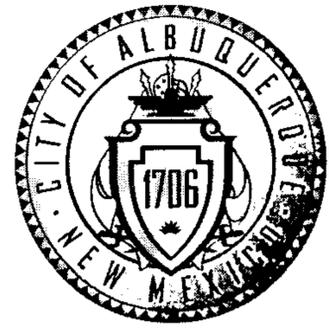
- | | | |
|--|---------------------------------------|---|
| <input checked="" type="checkbox"/> For approval | <input type="checkbox"/> For Your Use | <input type="checkbox"/> As requested by: _____ |
| <input type="checkbox"/> For review and comment | <input type="checkbox"/> For Bidding | <input type="checkbox"/> Return ASAP to: _____ |
| <input type="checkbox"/> Revise and resubmit | <input type="checkbox"/> Rejected | <input type="checkbox"/> Approved as noted |

REMARKS: Thanks.

DELIVERED VIA: U.S. Mail Std Overnight Priority Overnight Hand Delivery Pick-up Other

SIGNED: Heather Macomber

CITY OF ALBUQUERQUE



November 25, 2014

Mr. Robert Adams
910 South Kimball Avenue
Southlake, Texas 76092

**Re: McDonald's at San Mateo and Academy
Grading and Drainage Plan
Engineer's Stamp Date 11-17-14 (E18D019C)**

Dear Mr. Adams,

Based upon the information provided in your submittal received November 25, 2014, the above referenced plan is not approved for Building Permit nor S0-19. Please address the following:

1. The existing contour elevations were turned off. Please show them.

If you have any questions, you can contact me at 924-3994.

Sincerely,

Amy L. D. Niese, P.E.
Senior Engineer, Hydrology
Planning Department

PO Box 1293

Albuquerque

New Mexico 87103

C: e-mail

www.cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: McDonald's San Mateo Building Permit #: T2014-92777 City Drainage #: E180019C
 DRB#: _____ EPC#: _____ Work Order#: _____
 Legal Description: Tract M of the Summary Plat of the Far North Shopping Center, Albuquerque, NM - Book B12, Page 192
 City Address: 6300 San Mateo SE

Engineering Firm: Adams Engineering Contact: G. Robert Adams, P.E.
 Address: 910 S. Kimball Ave., Southlake, TX 76092
 Phone#: 817-328-3200 Fax#: 817-328-3299 E-mail: rob.adams@adams-engineering.com

Owner: McDonald's Contact: Lee Morris
 Address: 511 E. Carpenter Freeway Irving, TX 75062
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- GRADING CERTIFICATION
- OTHER (SPECIFY)

RECEIVED
11/25/14

WAS A PRE-DESIGN CONFERENCE ATTENDED: Yes No _____ Copy Provided _____

DATE SUBMITTED: 10/27/2014 By: Leslie Ford

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513 Main Street
Suite 200
Fort Worth, Texas 76102
Office: 817.820.0433
Fax: 682.224.8917
roguearchitects.com



LETTER OF TRANSMITTAL

November 19, 2014

Monica Ortiz
City of Albuquerque
Planning Department – Hydrology
600 2nd St. NW, Suite 201
Albuquerque, NM 87102
505-924-3981

EI 810019C

RE: McDonald's – 6300 San Mateo NE - T201492777

Attached are all documents for the Hydrology building permit and SO19 review of this project.

Enclosed Items

(2) 24x36 Hydrology G&D Plan Sets
Grading Information Sheet

Please feel free to contact me with any questions or concerns.

Sincerely,
Leslie Ford
Director, Development Services
leslie@roguearchitects.com
817-820-0433 / 325-370-9965

McDonalds

ELSD019C

11/14/14

Really needs BP + 8019

FLUME Detail, SW cables exist? - HARD TO TELL
SW CABLE + RUNDOWN
CALL OUT AS PART OF 8019

Do 3 epd go under old cables to rundown to Sallata?

Retention

Area 1 290 CF

2 3 CF

3 135 CF

4 464 CF

5 81 CF

973 CF > 915 1250 ✓

Is SW going to be new?

8019? 18" CONCRETE DOWN TO SD

SW?

SW CABLE + RUNDOWN

Cherne, Curtis

E/D 10/16/14

From: Cherne, Curtis
Sent: Thursday, October 16, 2014 2:59 PM
To: 'Perry Hassell'
Subject: RE: 2013.244 McDonald's San Mateo

Perry,

The City would allow either 1 or 2 listed below, but will lean towards the solution that addresses the first flush better. As discussed on the phone today, the site has to retain the first flush. The volume is 0.34" times the impervious area. Seems to work best if you pick it up in numerous locations.

Curtis

From: Perry Hassell [<mailto:Perry.Hassell@Adams-Engineering.com>]
Sent: Monday, October 13, 2014 3:52 PM
To: Cherne, Curtis
Cc: Rob Adams; Heather Macomber
Subject: FW: 2013.244 McDonald's San Mateo

Curtis,

I have attached our proposed drainage plan for the McDonald's rebuild on the northeast corner of San Mateo Boulevard, NE and Academy Road, NE. The site currently drains east to west, and through three concrete flumes in the west curb of the parking area, then across the existing sidewalk and onto San Mateo. When we completed the Site Investigation Report (SIR), we were told to split the site grading into essentially a north half and a south half. The north half would drain out the existing driveway to the north and onto San Mateo. The south half would drain to a new inlet and connect to the existing system in Academy. This was to alleviate an icing problem on the existing sidewalk. I have attached the notes from our SIR for your reference.

McDonald's has asked us that in the event runoff from the McDonald's site is not allowed to drain directly to the shopping center driveway, would we be allowed to either:

- 1) construct a flume near the northwest site corner and rework the sidewalk so that it would span over the new flume, and runoff would flow under the sidewalk, or
- 2) capture the north half of the site in an inlet and route this to the system in Academy.

Is either of these a viable option in the event that the shopping center does not allow runoff to the driveway?

Thank you,

Perry Hassell, P.E. (TX), CFM, LEED AP BD+C, CPESC

Adams | Engineering & Development Consultants

perry.hassell@adams-engineering.com

O: 817.328.3200 D: 817.328.3207

From: Heather Macomber
Sent: Monday, October 13, 2014 3:01 PM
To: Perry Hassell

Cc: Rob Adams

Subject: 2013.244 McDonald's San Mateo

Perry,

Can you check with the city drainage and see if in the case that the shopping center doesn't allow us to drain onto them if we could either:

1. Drain to a flume in the NW corner of the parking lot, and do some reworking of the sidewalk to create a sidewalk bridge, so the drainage goes under the sidewalk and out through a curb cut into the street gutter. Or
2. Capture it with an inlet, and pipe it to the inlet in Academy, thus increasing the drainage going to that system.

Thanks,

Heather Macomber

Designer

Adams | Engineering & Development Consultants

Tyler | Dallas/Fort Worth | Austin | Tampa

O: 817.328.3200 | D: 817.328.3243

910 S. Kimball Avenue

Southlake, Texas 76092

heather.macomber@adams-engineering.com

www.adams-engineering.com

PRE-DESIGN - LETTER.

Michael,

1. Existing is acceptable. New onsite landscape areas should be depressed for water harvesting.
2. retention not required.
3. As discussed on 9-5-13, possibly grade the site with a hinge line in the middle, wherein the southern portion drains to an onsite inlet that drains to the back of the inlet on Academy Ave and the northern portion drains out the drive entrance onto San Mateo.
4. A tap is allowed with an SO-19 Permit. The SO-19 Permit is approved by Hydrology. The actual permit is obtained from our Construction Division on the 8th floor.
5. Laterals are most likely 18" or 24".
6. I don't know the inverts of the inlets. Your surveyor should provide that information.
7. McDonald's would hire a contractor to make the tap.
8. There is no finished floor requirement for FEMA, but you should be above the San Mateo top of curb and have a water block on Academy if you change that drive entrance.

Cutis Cherne, P.E., CFM
Hydrology, COA
505-924-3986

From: Michael Martinie [mailto:Michael.Martinie@Adams-Engineering.com]
Sent: Wednesday, September 04, 2013 3:32 PM
To: Cherne, Curtis
Subject: 2013.244 - McDonald's - NWC San Mateo & Academy - Drainage questions

Curtis,

Per my voicemail to you, I am performing another due diligence report for the existing McDonald's @ 6300 San Mateo NE. Currently the site is surface draining onto San Mateo via small flumes across the San Mateo R/W sidewalk (see attached photos). The water then gutter flows around the intersection corner into a combination inlet on Academy. Please see the attached PDF for existing drainage route.

A few questions:

1. Would matching existing flows be adequate -OR- would the 100-yr 6 hour storm max discharge rate need to be less than 2.75 CFS like the site on Central Ave?
2. How would you suggest we install retention in this situation?
3. Should we follow the same drainage pattern and drain onto San Mateo, or could we explore inlets with tapping into the back of the inlet on Academy?
4. Is a tap into the inlet on Academy allowed?
 - a. If so how much do you think it would cost?
 - b. Is there a fee charged by the city to tap?
5. What size are the laterals coming out of those inlets on the north side of Academy?
6. What are the inverts roughly on those inlets?
7. Would the city make the tap, or would McDonald's need to hire a contractor?
8. This site is in Zone X per the FEMA FIRM. There is no finished floor elevation requirements correct?

Michael Martinie
Civil EIT

Adams | Engineering & Development Consultants
Tyler • Dallas/Fort Worth • Tampa

O: 817.328.3200 D: 817.328.3241

910 S. Kimball Avenue

Southlake, Texas 76092

michael.martinie@adams-engineering.com

www.adams-engineering.com

CITY OF ALBUQUERQUE



November 14, 2014

Mr. Robert Adams
910 South Kimball Avenue
Southlake, Texas 76092

**Re: McDonald's at San Mateo and Academy
Grading and Drainage Plan
Engineer's Stamp Date 11-5-14 (E18D019C)**

Dear Mr. Adams,

Based upon the information provided in your submittal received November 11, 2014, the above referenced plan is approved for Grading Permit. When submitting for Building Permit and SO-19, please address the following:

1. Check off Building Permit and SO-19 on the DTIS sheet.
2. Language for the SO-19 work is included on the plans, but the work is not called out for the new sidewalk culvert and rundown in the northwest corner, and for the sidewalk removal and replacement above the storm drain. Reference standard City details for this work in the Right-of-Way. For the Sidewalk Culvert, use the attached detail #2236 that was updated May 2011. Provide a detail for the flume / concrete rundown and include a width.

PO Box 1293

Albuquerque

New Mexico 87103

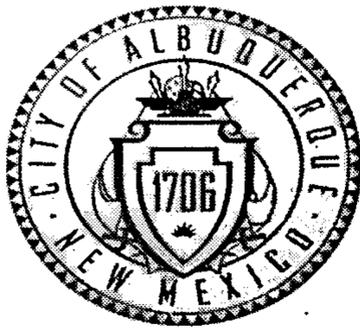
www.cabq.gov

If you have any questions, you can contact me at 924-3994.

Sincerely,

Amy L. D. Niese, P.E.
Senior Engineer, Hydrology
Planning Department

C: e-mail



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

FASTRAK

E18D019C

Project Title: McDonald's San Mateo Building Permit #: T2014-92777 City Drainage #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: Tract M of the Summary Plat of the Far North Shopping Center, Albuquerque, NM - Book B12, Page 192

City Address: 6300 San Mateo SE

Engineering Firm: Adams Engineering Contact: *ROB* G. Robert Adams, P.E.

Address: 910 S. Kimball Ave., Southlake, TX 76092

Phone#: 817-328-3200 Fax#: 817-328-3299 E-mail: rob.adams@adams-engineering.com

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Contractor: Cordova Contracting Contact: Mark Cordova

Address: 316 Osuna Rd NE, Albuquerque, NM 87107

Phone#: (505) 243-9675 Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- DRAINAGE REPORT
- DRAINAGE PLAN 1st SUBMITTAL
- DRAINAGE PLAN RESUBMITTAL
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- EROSION & SEDIMENT CONTROL PLAN (ESC)
- ENGINEER'S CERT (HYDROLOGY)
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- ENGINEER'S CERT (TCL)
- ENGINEER'S CERT (DRB SITE PLAN)
- ENGINEER'S CERT (ESC)
- SO-19
- OTHER (SPECIFY)

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- SIA/FINANCIAL GUARANTEE RELEASE
- PRELIMINARY PLAT APPROVAL
- S. DEV. PLAN FOR SUB'D APPROVAL
- S. DEV. FOR BLDG. PERMIT APPROVAL
- SECTOR PLAN APPROVAL
- FINAL PLAT APPROVAL
- CERTIFICATE OF OCCUPANCY (PERM)
- CERTIFICATE OF OCCUPANCY (TCL TEMP)
- FOUNDATION PERMIT APPROVAL
- BUILDING PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- PAVING PERMIT APPROVAL
- WORK ORDER APPROVAL
- GRADING CERTIFICATION
- SO-19 APPROVAL
- ESC PERMIT APPROVAL
- ESC CERT. ACCEPTANCE
- OTHER (SPECIFY)

RECEIVED 11/10/14

WAS A PRE-DESIGN CONFERENCE ATTENDED: Yes No _____ Copy Provided _____

DATE SUBMITTED: 10/27/2014 By: Leslie Ford

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following

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A_D = 0.741 Q_{out} = 4.34 cfs

513 Main Street
Suite 200
Fort Worth, Texas 76102
Office: 817.820.0433
Fax: 682.224.8917
roguearchitects.com



LETTER OF TRANSMITTAL

November 7, 2014

Monica Ortiz
City of Albuquerque
Planning Department – Transportation & Hydrology
600 2nd St. NW, Suite 201
Albuquerque, NM 87102
505-924-3981

RE: McDonald's – 6300 San Mateo NE - T201492777

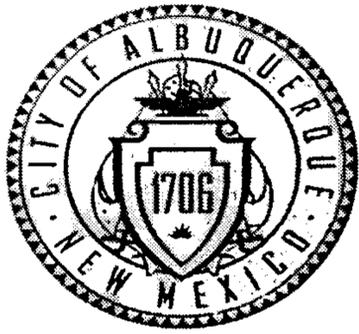
Attached are all documents for the Hydrology review of this project.

Enclosed Items

(2) 24x36 Hydrology G&D Plan Sets
Grading Information Sheet
Drainage Information Sheet

Please feel free to contact me with any questions or concerns.

Sincerely,
Leslie Ford
Director, Development Services
leslie@roguearchitects.com
817-820-0433 / 325-370-9965



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

E18 D019C

Project Title: McDonald's San Mateo Building Permit #: T2014-92777 City Drainage #: _____
 DRB#: _____ EPC#: _____ Work Order#: _____
 Legal Description: Tract M of the Summary Plat of the Far North Shopping Center, Albuquerque, NM - Book B12, Page 192
 City Address: 6300 San Mateo SE

Engineering Firm: Adams Engineering Contact: G. Robert Adams, P.E.
 Address: 910 S. Kimball Ave., Southlake, TX 76092
 Phone#: 817-328-3200 Fax#: 817-328-3299 E-mail: rob.adams@adams-engineering.com

Owner: McDonald's Contact: Lee Morris
 Address: 511 E. Carpenter Freeway Irving, TX 75062
 Phone#: 972-869-5346 Fax#: _____ E-mail: Lee.Morris@us.mcd.com

Architect: Rogue Architects Contact: Jeremy A. Williams, R.A.
 Address: 513 Main St., Suite 200, Fort Worth, TX 76102
 Phone#: 817-820-0433 Fax#: _____ E-mail: Jeremy@roguearchitects.com

Surveyor: Precision Surveys, Inc. Contact: Larry Medrano
 Address: 5571 Midway Park Place NE Albuquerque, NM 87199
 Phone#: 505-856-5700 Fax#: 505-856-7900 E-mail: _____

Contractor: Cordova Contracting Contact: Mark Cordova
 Address: 316 Osuna Rd NE, Albuquerque, NM 87107
 Phone#: (505) 243-9675 Fax#: _____ E-mail: _____

- TYPE OF SUBMITTAL:**
- DRAINAGE REPORT
 - DRAINAGE PLAN 1st SUBMITTAL
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 - SO-19
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- CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:**
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 - WORK ORDER APPROVAL
 - GRADING CERTIFICATION
 - SO-19 APPROVAL
 - ESC PERMIT APPROVAL
 - ESC CERT. ACCEPTANCE
 - OTHER (SPECIFY)

NOT RQD 0.92AC

WAS A PRE-DESIGN CONFERENCE ATTENDED: Yes No Copy Provided

DATE SUBMITTED: 10/27/2014 By: Leslie Ford

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services**

November 12, 2014

Leslie Ford
Rogue Architects
513 Main Street, Suite 200
Fort Worth, Texas 76102

**Re: McDonalds, 6300 San Mateo Blvd.
Traffic Circulation Layout**
Architect's Stamp dated 11-05-14 (E18-DO19C)

Dear Ms. Ford,

Based upon the information provided in your submittal received 11-07-14, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

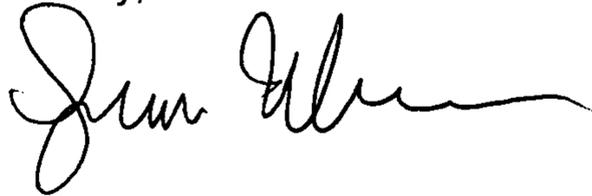
1. Label the McDonald's building as existing. Label width of existing sidewalk along San Mateo Boulevard. If some of the existing curb on the site is to remain, label the existing curb and curb height. (The curb height should be between 6 inches and 8 inches.)
2. List the width for all parking spaces. The minimum width for the parking spaces should be 8.5 feet. Also label the width of the handicap space on the south side of the parking lot.
3. The handicap accessible spaces must include an 8-foot wide van access aisle. Currently, the aisle shown is only 5 feet. Also, label the striping for the handicap accessible aisle and pathway.
4. Include an ADA van accessible sign. This sign must have the required language per 66-7-352.4C NMSA 1978 **"Violators Are Subject to a Fine and/or Towing."** (Provide sign detail on Sheet C10.1 as called out by Keyed Note 7 on the plan sheet.)
5. The 8-foot wide ADA access aisle shall have the words **"NO PARKING"** in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)
6. Per the DPM, a minimum 6-foot wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please widen the existing handicap accessible pathway shown tying into the existing sidewalk at

Academy Boulevard. (Note Comment 3 about the minimum 8-foot wide van accessible aisle.)

7. A 6-inch to 8-inch high curb is required to separate the driving area and parking lot from the sidewalk and landscaped areas. Label the new curb as 6 inches or 8 inches.
8. Label both existing and proposed asphalt for the new parking lot.
9. Show the queue length for the drive-thru.

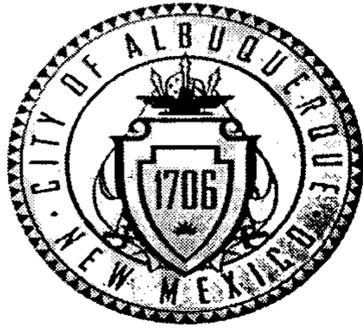
Resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. If you have any questions, please contact me at (505) 924-3924.

Sincerely,

A handwritten signature in black ink, appearing to read "Jeanne Wolfenbarger". The signature is fluid and cursive, with a long horizontal stroke at the end.

Jeanne Wolfenbarger, P.E.
Senior Engineer, Planning Dept.
Development Review Services

c: File
CO Clerk



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: McDonald's San Mateo Building Permit #: T2014-92777 City Drainage #: E18 D019C
 DRB#: _____ EPC#: _____ Work Order#: _____
 Legal Description: Tract M of the Summary Plat of the Far North Shopping Center, Albuquerque, NM - Book B12, Page 192
 City Address: 6300 San Mateo SE

Engineering Firm: Adams Engineering Contact: G. Robert Adams, P.E.
 Address: 910 S. Kimball Ave., Southlake, TX 76092
 Phone#: 817-328-3200 Fax#: 817-328-3299 E-mail: rob.adams@adams-engineering.com

Owner: McDonald's Contact: Lee Morris
 Address: 511 E. Carpenter Freeway Irving, TX 75062
 Phone#: 972-869-5346 Fax#: _____ E-mail: Lee.Morris@us.mcd.com

Architect: Rogue Architects Contact: Jeremy A. Williams, R.A.
 Address: 513 Main St., Suite 200, Fort Worth, TX 76102
 Phone#: 817-820-0433 Fax#: _____ E-mail: Jeremy@roguearchitects.com

Surveyor: Precision Surveys, Inc. Contact: Larry Medrano
 Address: 5571 Midway Park Place NE Albuquerque, NM 87199
 Phone#: 505-856-5700 Fax#: 505-856-7900 E-mail: _____

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- GRADING CERTIFICATION
- SO-19 APPROVAL
- ESC PERMIT APPROVAL
- ESC CERT. ACCEPTANCE
- OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED: Yes No Copy Provided

DATE SUBMITTED: 10/27/2014 By: Leslie Ford

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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513 Main Street
Suite 200
Fort Worth, Texas 76102
Office: 817.820.0433
Fax: 682.224.8917
roguearchitects.com



LETTER OF TRANSMITTAL

November 7, 2014

Monica Ortiz
City of Albuquerque
Planning Department – Transportation & Hydrology
600 2nd St. NW, Suite 201
Albuquerque, NM 87102
505-924-3981

RE: McDonald's – 6300 San Mateo NE - T201492777

Attached are all documents for the Transportation review of this project.

Enclosed Items

(2) 24x36 Transportation Plan Sets
Transportation Information Sheet

Please feel free to contact me with any questions or concerns.

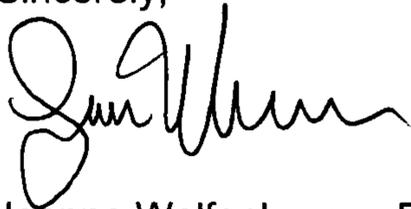
Sincerely,
Leslie Ford
Director, Development Services
leslie@roguearchitects.com
817-820-0433 / 325-370-9965

Academy Boulevard. (Note Comment 3 about the minimum 8-foot wide van accessible aisle.)

7. A 6-inch to 8-inch high curb is required to separate the driving area and parking lot from the sidewalk and landscaped areas. Label the new curb as 6 inches or 8 inches.
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9. Show the queue length for the drive-thru.

Resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. If you have any questions, please contact me at (505) 924-3924.

Sincerely,

A handwritten signature in black ink, appearing to read 'Jeanne Wolfenbarger', written in a cursive style.

Jeanne Wolfenbarger, P.E.
Senior Engineer, Planning Dept.
Development Review Services

c: File
CO Clerk

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services**

November 12, 2014

Leslie Ford
Rogue Architects
513 Main Street, Suite 200
Fort Worth, Texas 76102

**Re: McDonalds, 6300 San Mateo Blvd.
Traffic Circulation Layout**
Architect's Stamp dated 11-05-14 (E18-DO19C)

Dear Ms. Ford,

Based upon the information provided in your submittal received 11-07-14, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

1. Label the McDonald's building as existing. Label width of existing sidewalk along San Mateo Boulevard. If some of the existing curb on the site is to remain, label the existing curb and curb height. (The curb height should be between 6 inches and 8 inches.)
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513 Main Street
Suite 200
Fort Worth, Texas 76102
Office: 817.820.0433
Fax: 682.224.8917
roguearchitects.com



LETTER OF TRANSMITTAL

December 3, 2014

Monica Ortiz
City of Albuquerque
Planning Department – Transportation & Hydrology
600 2nd St. NW, Suite 201
Albuquerque, NM 87102
505-924-3981

RE: McDonald's – 6300 San Mateo NE - T201492777

Attached are all documents for the Transportation review of this project.

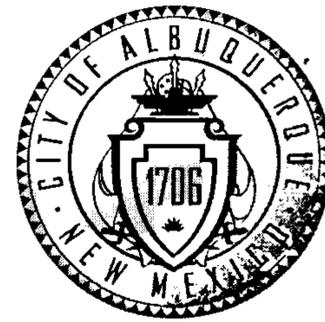
Enclosed Items

(2) 24x36 Transportation Plan Sets

Please feel free to contact me with any questions or concerns.

Sincerely,
Leslie Ford
Director, Development Services
leslie@roguearchitects.com
817-820-0433 / 325-370-9965

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services**

December 16, 2014

Leslie Ford
Rogue Architects
513 Main Street, Suite 200
Fort Worth, Texas 76102

**Re: McDonalds, 6300 San Mateo Blvd.
Traffic Circulation Layout**
Engineer's Stamp dated 12-02-14 (E18-DO19C)

Dear Ms. Ford:

The TCL submittal received 12-12-14 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

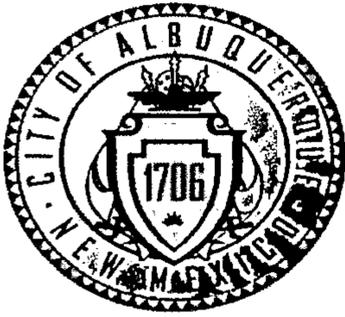
When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Jeanne Wolfenbarger, P.E.
Senior Engineer, Planning Dept.
Development Review Services

c: File
CO Clerk



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: McDonald's San Mateo Building Permit #: T2014-92777 City Drainage #: E18DD019C
 DRB#: _____ EPC#: _____ Work Order#: _____
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 City Address: 6300 San Mateo SE

Engineering Firm: Adams Engineering Contact: G. Robert Adams, P.E.
 Address: 910 S. Kimball Ave., Southlake, TX 76092
 Phone#: 817-328-3200 Fax#: 817-328-3299 E-mail: rob.adams@adams-engineering.com

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 Address: 513 Main St., Suite 200, Fort Worth, TX 76102
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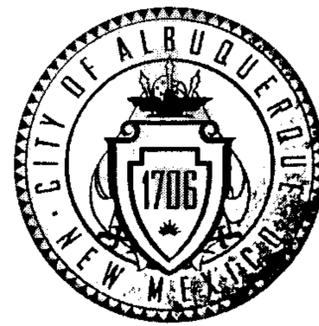
WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes No _____ Copy Provided

DATE SUBMITTED: 10/27/2014 By: Leslie Ford

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following

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CITY OF ALBUQUERQUE



May 25, 2016

Dennis Lang
Adams Engineering
8951 Cypress Waters Blvd., Suite 150
Dallas, Texas 75019

Re: McDonanld's
6300 San Mateo Blvd, NE
Request for Certificate of Occupancy- Transportation Development
Engineer's/Architect's Stamp dated 12-2-14 (E18-D019C)
Certification dated 5-18-16

Dear Lang,

Based upon the information provided in your submittal received 5-18-16, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

PO Box 1293

If you have any questions, please contact Gary Sandoval at (505) 924-3675 or me at (505)924-3991.

Albuquerque

Sincerely,

New Mexico 87103

www.cabq.gov

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

\gs via: email
C: CO Clerk, File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

*Need: HC Signs, striping
Exit directional arrows
to be emailed
received 5/25/16*

Project Title: McDonald's San Mateo Building Permit #: T2014-92777 City Drainage #: E18D019C
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: Tract M, Far North Shopping Center, within the Elena Gallegos Grant, Projected Section 26, T11N, R3E, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, NM
City Address: 6300 San Mateo Blvd. NE

Engineering Firm: Adams Engineering Contact: G. Robert Adams, P.E.
Address: 8951 Cypress Waters Blvd., Suite 150
Phone#: 817-328-3200 Fax#: 817-328-3299 E-mail: rob.adams@adams-engineering.com

Owner: McDonald's Contact: Antwan Smith
Address: 511 E. Carpenter Freeway, Irving, TX 75062
Phone#: 817.240.0744 Fax#: _____ E-mail: antwan.smith@us.mcd.com

Architect: Rogue Architects Contact: Jeremy A. Williams, R.A.
Address: 513 Main St., Suite 200, Fort Worth, TX 76102
Phone#: 817-820-0433 Fax#: _____ E-mail: Jeremy@roguearchitects.com

Surveyor: Precision Surveys, Inc. Contact: Larry W. Medrano, P.S.
Address: 5571 Midway Park Place NE, Albuquerque, NM 87109
Phone#: 505-856-5700 Fax#: 505-856-7900 E-mail: larry@presurv.com

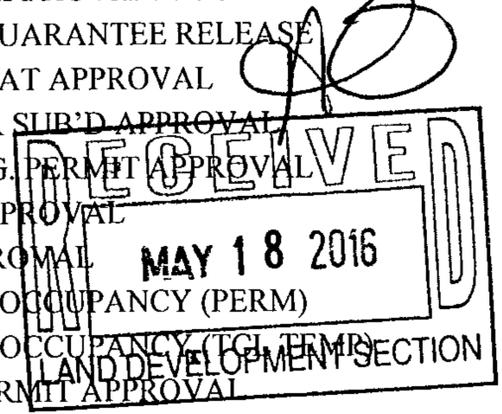
Contractor: Cordova Contracting, LLC Contact: Mark Cordova
Address: 316 Osuna Rd. NE, Ste 202, Albuquerque, NM 87107
Phone#: 505-243-9675 Fax#: _____ E-mail: mark@cordovallc.com

TYPE OF SUBMITTAL:

- DRAINAGE REPORT
- DRAINAGE PLAN 1st SUBMITTAL
- DRAINAGE PLAN RESUBMITTAL
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- EROSION & SEDIMENT CONTROL PLAN (ESC)
- ENGINEER'S CERT (HYDROLOGY)
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- ENGINEER'S CERT (TCL)
- ENGINEER'S CERT (DRB SITE PLAN)
- ENGINEER'S CERT (ESC)
- SO-19
- OTHER (SPECIFY)

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- SIA/FINANCIAL GUARANTEE RELEASE
- PRELIMINARY PLAT APPROVAL
- S. DEV. PLAN FOR SUB'D APPROVAL
- S. DEV. FOR BLDG. PERMIT APPROVAL
- SECTOR PLAN APPROVAL
- FINAL PLAT APPROVAL
- CERTIFICATE OF OCCUPANCY (PERM)
- CERTIFICATE OF OCCUPANCY (TCL TEMP)
- FOUNDATION PERMIT APPROVAL
- BUILDING PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- PAVING PERMIT APPROVAL
- WORK ORDER APPROVAL
- GRADING CERTIFICATION
- SO-19 APPROVAL
- ESC PERMIT APPROVAL
- ESC CERT. ACCEPTANCE
- OTHER (SPECIFY)



WAS A PRE-DESIGN CONFERENCE ATTENDED: Yes No Copy Provided

DATE SUBMITTED: May 18, 2016 By: Dennis Lang PE

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
- Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
- Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
- Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



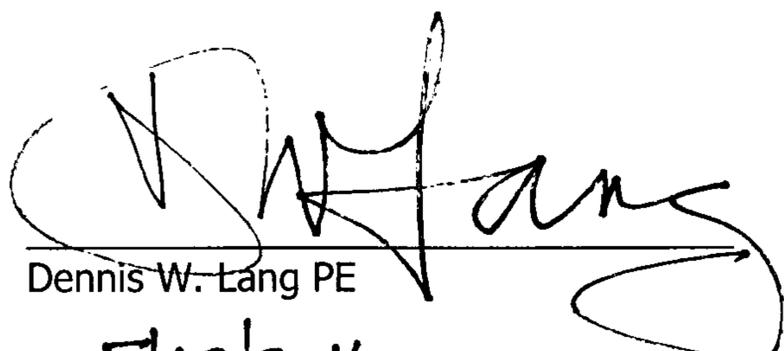
TRAFFIC CERTIFICATION

I, Dennis Lang, NM PE, of the firm of Adams Engineering (ADAMS), hereby certify that this project is in substantial compliance with and in accordance with the design intent of the DRB Site Development approved plan dated December 16, 2014 (Traffic Engineering signoff date). The record information edited onto the ADAMS Grading Plan (to follow with drainage certification) has been obtained by Lorenzo (Larry) E. Dominguez, NM PS 10461, of the firm East Mountain Surveying Company, New Mexico. I further certify that I personally visited the project site on May 18, 2016, and determined by visual inspection that the survey data provided was representative of actual site conditions and was true and correct to the best of my knowledge and belief. This certification was submitted in support of a request for a certificate of occupancy.

There are no known transportation related visible deficiencies and/or required corrections of the substantially completed work. One of the parking spaces nearly midway along the south side of the project was replaced with a curbed island at the owner's request. This was done to protect a water PIV.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Adams | Engineering & Development Consultants


Dennis W. Lang PE
5/18/2016
Date



5/18/2016

RECEIVED
MAY 18 2016
LAND DEVELOPMENT SECTION