

# CITY OF ALBUQUERQUE



May 31, 2016

Mr. Robert Adams  
910 South Kimball Avenue  
Southlake, Texas 76092

**Re: McDonald's at San Mateo and Academy  
Request for Permanent C.O. - Accepted  
Engineer's Stamp Date 2-9-16 (E18D019C)  
Certification date: 5-27-16**

Dear Mr. Adams,

Based upon the information provided in your submittal received 5/31/2016, the above referenced Certification received is acceptable for the release of Certificate of Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3986 or Totten Elliott at 924-3982.

Sincerely,

Abiel Carrillo, P.E.  
Principal Engineer, Planning Department  
Development and Review Services

PO Box 1293

Albuquerque

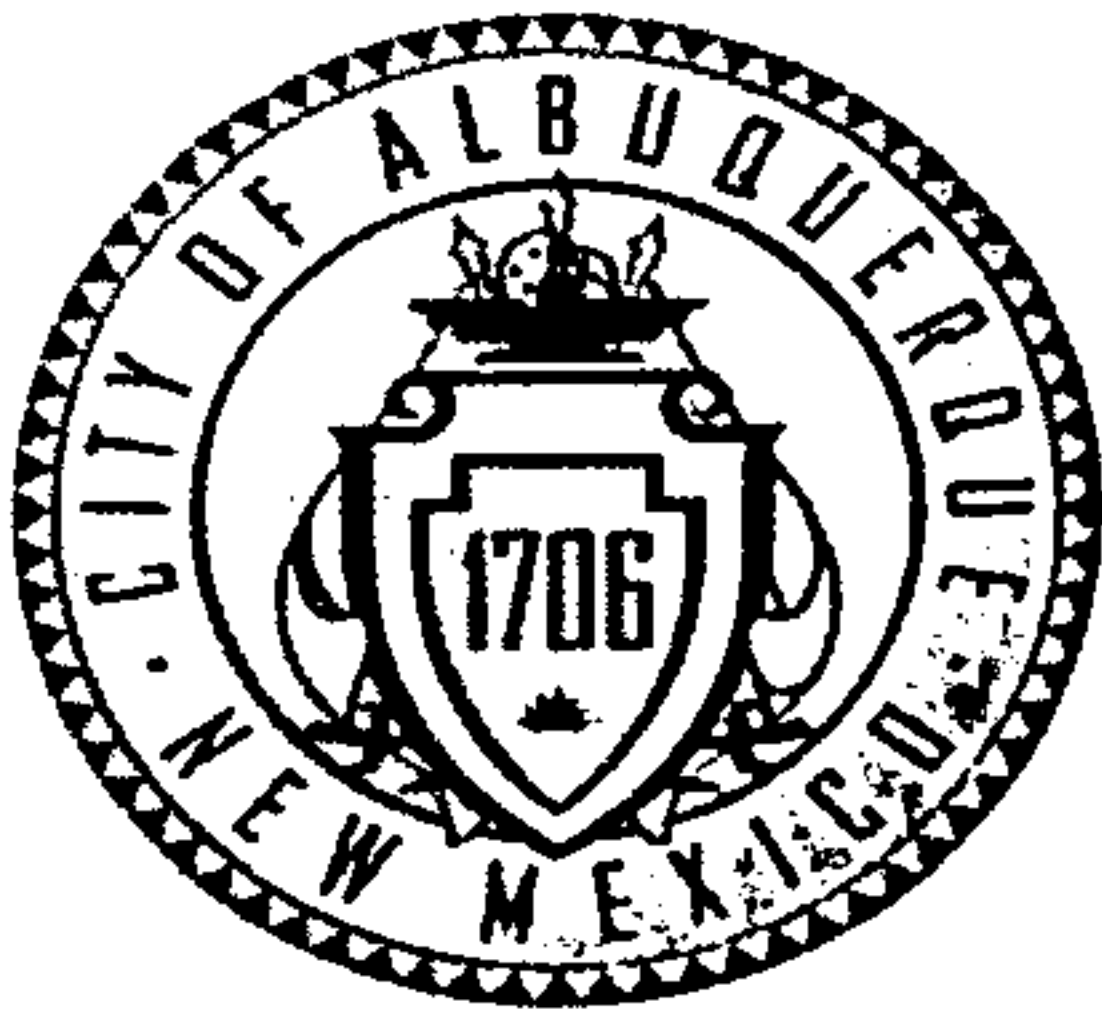
New Mexico 87103

TE/AC

C: email

Cordova, Camille C.; Miranda, Rachel; Sandoval, Darlene M.; Blocker,  
Lois

[www.cabq.gov](http://www.cabq.gov)



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: McDonald's San Mateo Building Permit #: T2014-92777 City Drainage #: E18D019C

DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: Tract M, Far North Shopping Center, within the Elena Gallegos Grant, Projected Section 26, T11N, R3E, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, NM

City Address: 6300 San Mateo Blvd. NE

Engineering Firm: Adams Engineering Contact: G. Robert Adams, P.E.

Address: 8951 Cypress Waters Blvd., Suite 150

Phone#: 817-328-3200 Fax#: 817-328-3299 E-mail: rob.adams@adams-engineering.com

Owner: McDonald's Contact: Antwan Smith

Address: 511 E. Carpenter Freeway, Irving, TX 75062

Phone#: 817.240.0744 Fax#: \_\_\_\_\_ E-mail: antwan.smith@us.mcd.com

Architect: Rogue Architects Contact: Jeremy A. Williams, R.A.

Address: 513 Main St., Suite 200, Fort Worth, TX 76102

Phone#: 817-820-0433 Fax#: \_\_\_\_\_ E-mail: Jeremy@roguearchitects.com

Surveyor: Precision Surveys, Inc. Contact: Larry W. Medrano, P.S.

Address: 5571 Midway Park Place NE, Albuquerque, NM 87109

Phone#: 505-856-5700 Fax#: 505-856-7900 E-mail: larry@presurv.com

Contractor: Cordova Contracting, LLC Contact: Mark Cordova

Address: 316 Osuna Rd. NE, Ste 202, Albuquerque, NM 87107

Phone#: 505-243-9675 Fax#: \_\_\_\_\_ E-mail: mark@cordovallc.com

### TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☒ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY)

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY)



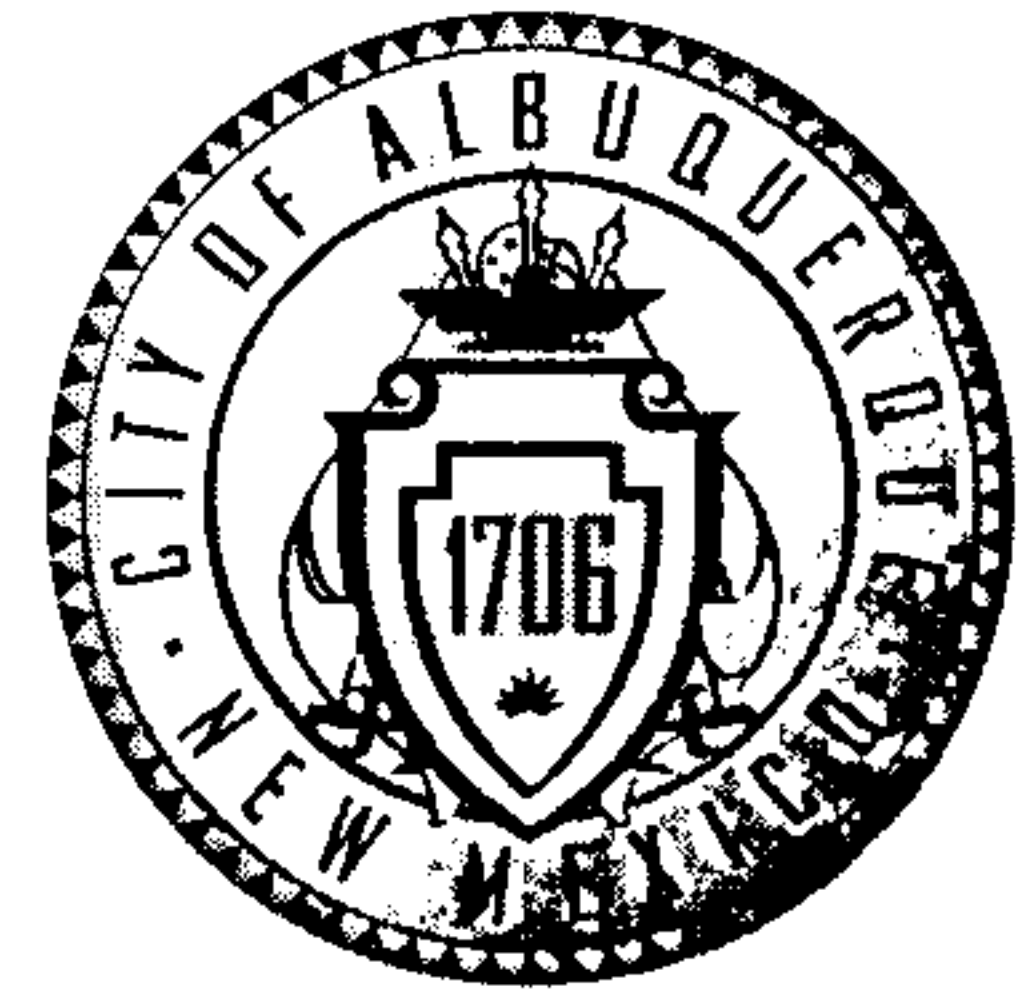
WAS A PRE-DESIGN CONFERENCE ATTENDED: ☐ Yes ☒ No ☐ Copy Provided

DATE SUBMITTED: May 27, 2016 By: Dennis Lang PE

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

# CITY OF ALBUQUERQUE



May 19, 2016

Mr. Robert Adams  
910 South Kimball Avenue  
Southlake, Texas 76092

**Re: McDonald's at San Mateo and Academy  
Request for Permanent C.O. - Not Accepted  
Engineer's Stamp Date 2-9-16 (E18D019C)  
Certification date: 5-18-16**

Dear Mr. Adams,

Based upon the information provided in your submittal received May 18, 2016, the above referenced plan is not approved for release of Certificate of Occupancy by Hydrology. Please address the following:

1. The swale on the NW corner was not constructed per the approved plan. Water must not drain into the right-of-way. Attached is a copy of an option on how to address the flows.

PO Box 1293

If you have any questions, you can contact me at 924-3986 or Totten Elliott at 924-3982.

Sincerely,

Albuquerque

Abiel Carrillo, P.E.

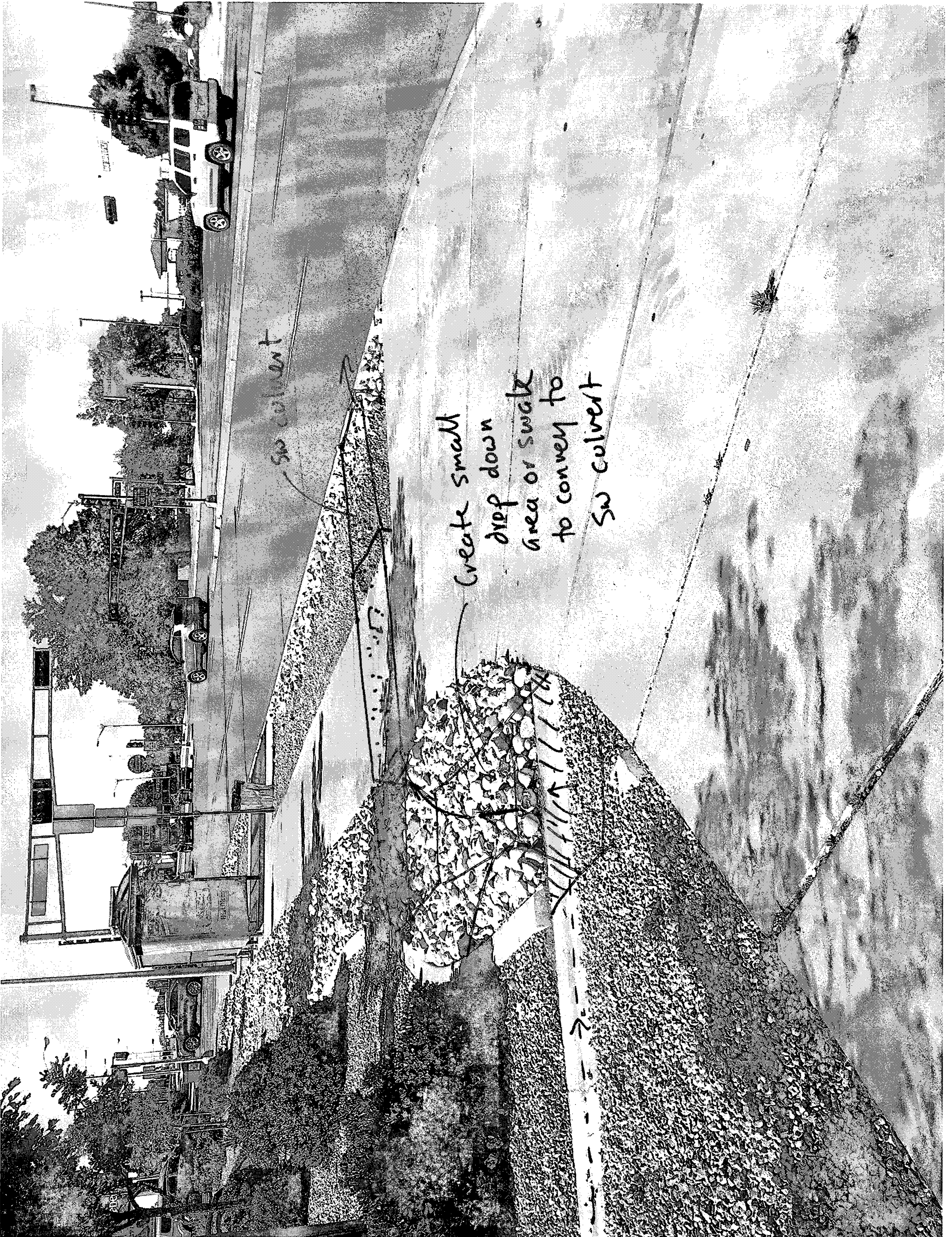
New Mexico 87103 Principal Engineer, Planning Department  
Development and Review Services

[www.cabq.gov](http://www.cabq.gov)

TE/AC

C: email Cordova, Camille C.; Miranda, Rachel; Sandoval, Darlene M.; Blocker,  
Lois

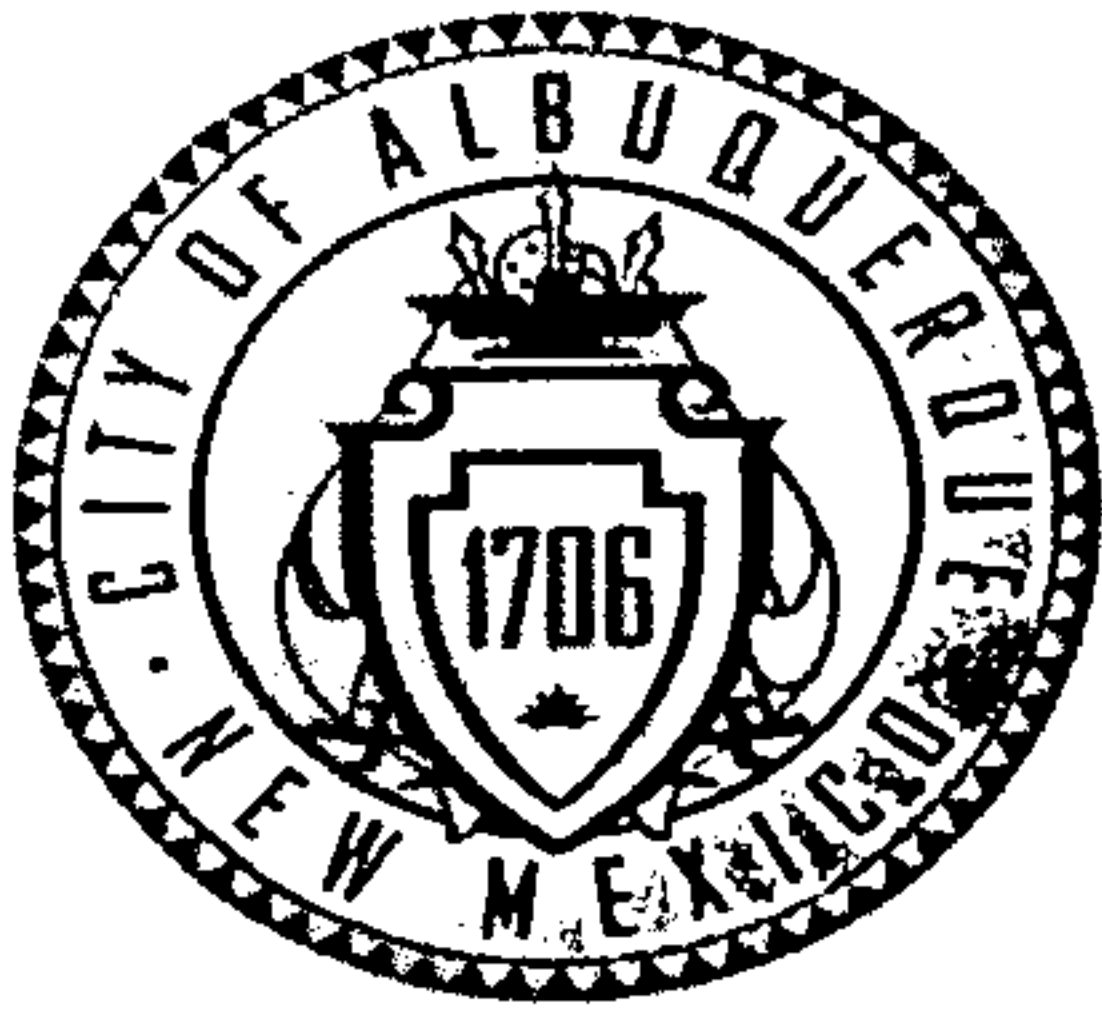




sw culvert

create small  
drop down  
area or swale  
to convey to  
sw culvert





# City of Albuquerque

## Planning Department

### Development & Building Services Division

#### DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: McDonald's San Mateo Building Permit #: T2014-92777 City Drainage #: E18D019C  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_  
Legal Description: Tract M, Far North Shopping Center, within the Elena Gallegos Grant, Projected Section 26, T11N, R3E, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, NM  
City Address: 6300 San Mateo Blvd. NE

Engineering Firm: Adams Engineering Contact: G. Robert Adams, P.E.  
Address: 8951 Cypress Waters Blvd., Suite 150  
Phone#: 817-328-3200 Fax#: 817-328-3299 E-mail: rob.adams@adams-engineering.com

Owner: McDonald's Contact: Antwan Smith  
Address: 511 E. Carpenter Freeway, Irving, TX 75062  
Phone#: 817.240.0744 Fax#: \_\_\_\_\_ E-mail: antwan.smith@us.mcd.com

Architect: Rogue Architects Contact: Jeremy A. Williams, R.A.  
Address: 513 Main St., Suite 200, Fort Worth, TX 76102  
Phone#: 817-820-0433 Fax#: \_\_\_\_\_ E-mail: Jeremy@roguearchitects.com

Surveyor: Precision Surveys, Inc. Contact: Larry W. Medrano, P.S.  
Address: 5571 Midway Park Place NE, Albuquerque, NM 87109  
Phone#: 505-856-5700 Fax#: 505-856-7900 E-mail: larry@presurv.com

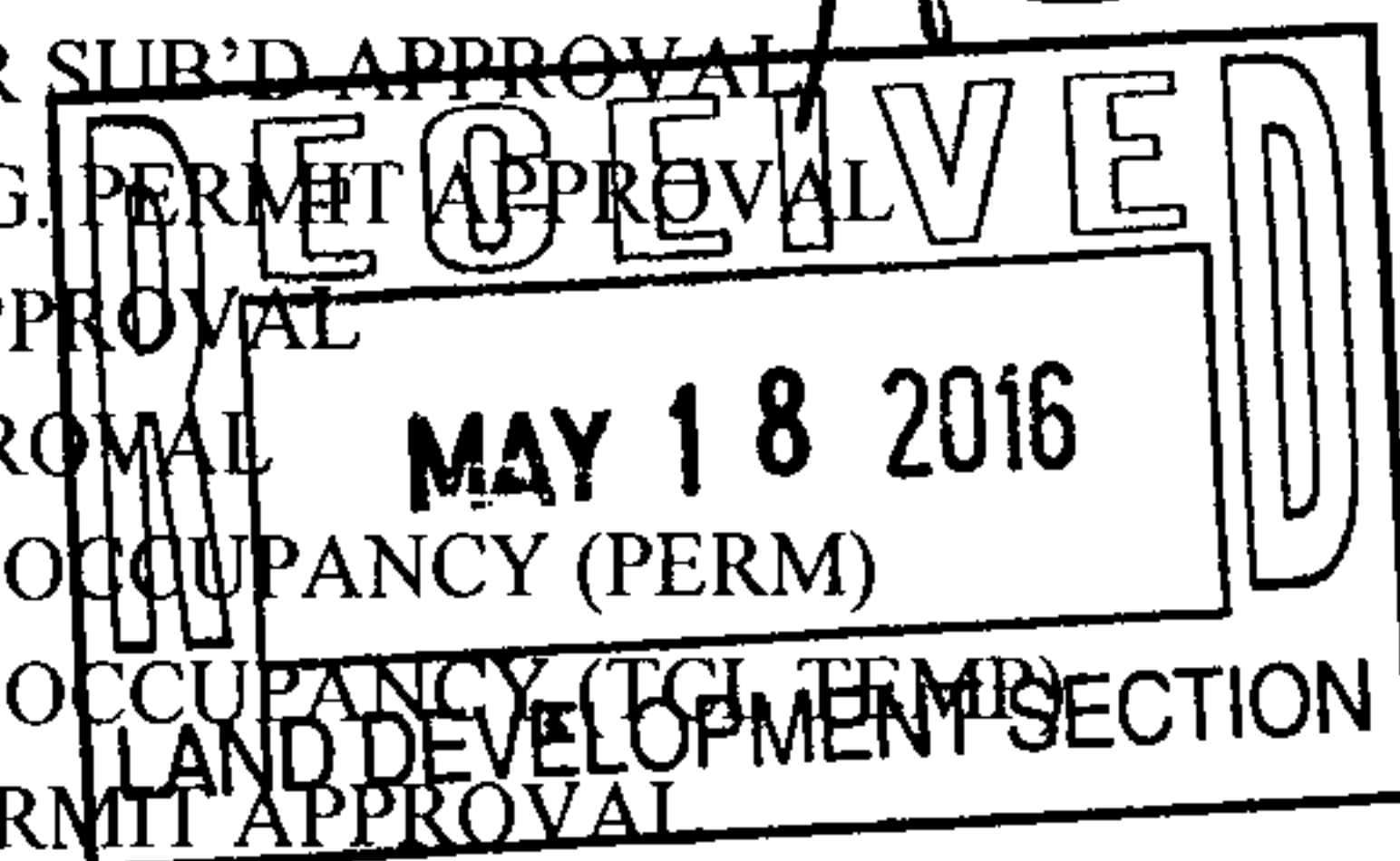
Contractor: Cordova Contracting, LLC Contact: Mark Cordova  
Address: 316 Osuna Rd. NE, Ste 202, Albuquerque, NM 87107  
Phone#: 505-243-9675 Fax#: \_\_\_\_\_ E-mail: mark@cordovallc.com

#### TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☒ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☒ ENGINEER'S CERT (TCL)
- ☒ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) \_\_\_\_\_

#### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL, TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) \_\_\_\_\_



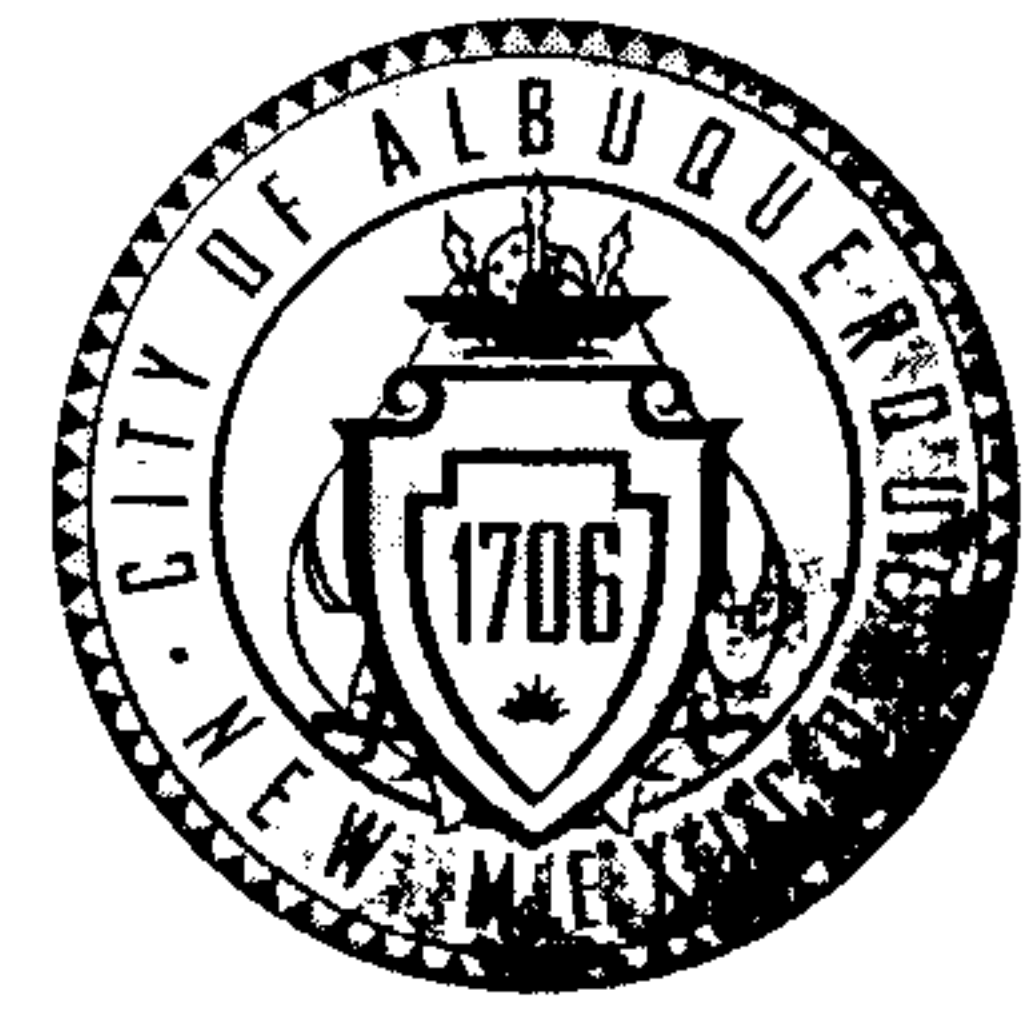
WAS A PRE-DESIGN CONFERENCE ATTENDED: Yes ☒ No ☐ Copy Provided

DATE SUBMITTED: May 18, 2016 By: Dennis Lang PE

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

# CITY OF ALBUQUERQUE



February 17, 2016

Mr. Robert Adams  
910 South Kimball Avenue  
Southlake, Texas 76092

**Re: McDonald's at San Mateo and Academy (E18D019C)  
Grading Plan (C7.0) Dated 2-9-16  
Post Developed Drainage Plan (C8.1) Dated 2-9-16**

Dear Mr. Adams,

Based upon the information provided in your submittal received February 10, 2016 the revised plans are approved for Building Permit and SO-19.

PO Box 1293

The SO-19 Permit is required for construction within the City Right of Way. A copy of this approval letter must be on hand when applying for the Excavation and SO-19 Permit at DMD.

Albuquerque

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3999.

New Mexico 87103

Sincerely,

[www.cabq.gov](http://www.cabq.gov)

Shahab Biazar, P.E.  
City Engineer, Planning Department  
Development Review Services

C: e-mail



## LETTER OF TRANSMITTAL

Engineers · Planners · LS Architects · Scientists  
910 S. Kimball Ave▪Southlake, Texas 76092  
(817) 328-3200 FAX (817) 328-3299

TO: **City of Albuquerque**  
**Planning Department**  
**600 2nd NW, Suite 201**  
**Albuquerque, NM 87102**

PHONE: **(505) 924-3999**

DATE:	2/9/2016	JOB NO:	2013.244
ATTN:	<b>Shahab Biazar</b>		
RE:	McDonald's		
	6300 San Mateo Blvd.		
	City Drainage # E18D019C		
	Building Permit # T2014-92777		
CC:	File		

WE ARE SENDING YOU ☒ ATTACHED ☐ UNDER SEPARATE COVER VIA ☐

<input type="checkbox"/> Blueline Prints	<input checked="" type="checkbox"/> Blackline Prints	<input type="checkbox"/> Reproducible Plans	<input type="checkbox"/> Specifications
<input type="checkbox"/> Copy of Letter	<input type="checkbox"/> Change Order	<input type="checkbox"/> Diskette(s)	<input type="checkbox"/> Shop Drawings
<input type="checkbox"/> Bid Documents	<input type="checkbox"/> Invoice	<input type="checkbox"/> Samples	<input type="checkbox"/> Other

COPIES	DATE	ACEI NO.	DESCRIPTION
1	11/19/2014	2013.244	DTIS For Grading Plan
1	10/27/2014	2013.244	DTIS For Drainage Plan
2	2/9/2016	2013.244	Civil Sheets C7.0 and C8.1

THESE ARE TRANSMITTED as checked below:

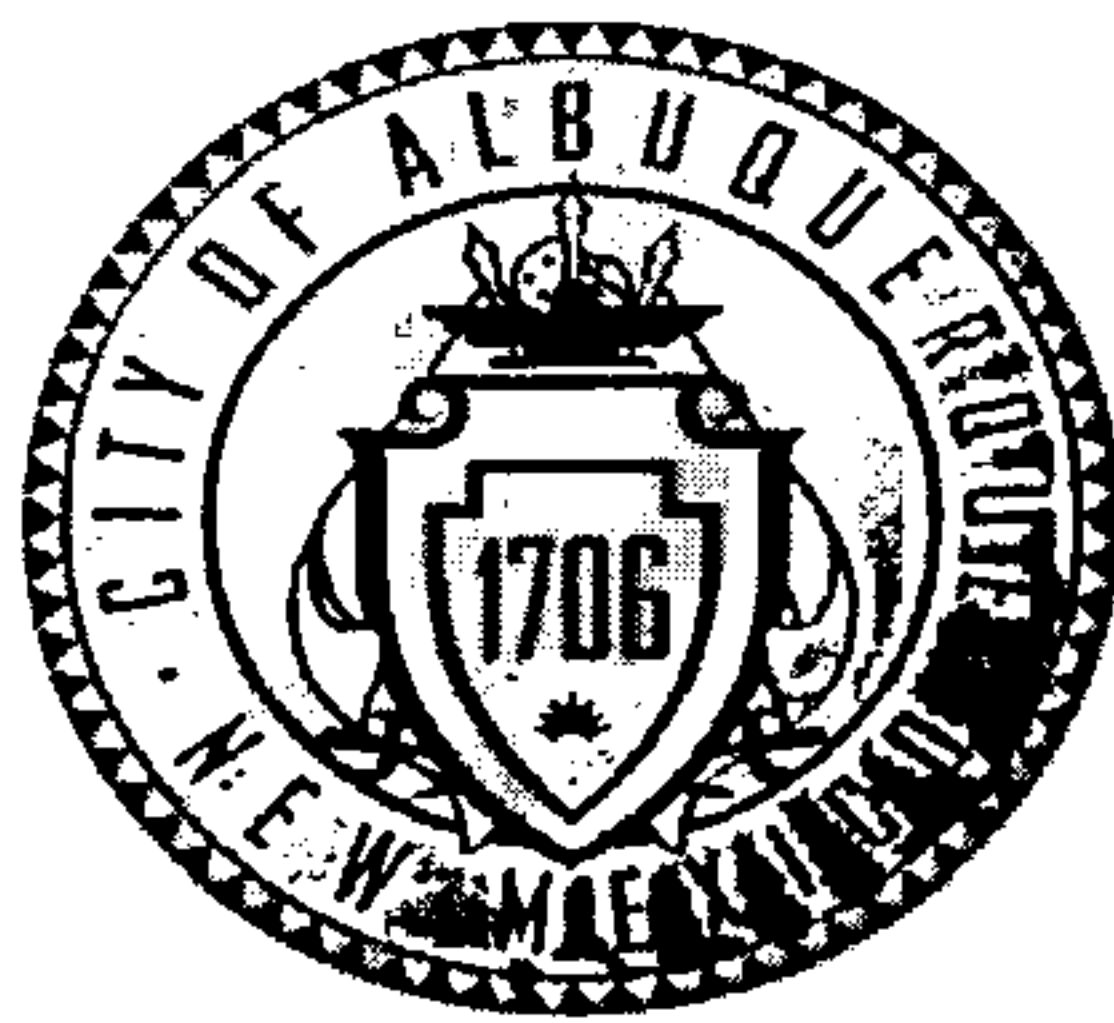
<input checked="" type="checkbox"/> For approval	<input type="checkbox"/> For Your Use	<input type="checkbox"/> As requested by: _____
<input type="checkbox"/> For review and comment	<input type="checkbox"/> For Bidding	<input type="checkbox"/> Return ASAP to: _____
<input type="checkbox"/> Revise and resubmit	<input type="checkbox"/> Rejected	<input type="checkbox"/> Approved as noted

REMARKS: Thanks.

DELIVERED VIA: ☐ U.S. Mail ☒ Std Overnight ☐ Priority Overnight ☐ Hand Delivery ☐ Pick-up ☐ Other

SIGNED: Heather Macomber





# City of Albuquerque

## Planning Department

### Development & Building Services Division

#### DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: McDonald's San Mateo Building Permit #: T2014-92777 City Drainage #: \_\_\_\_\_  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_  
Legal Description: Tract M of the Summary Plat of the Far North Shopping Center, Albuquerque, NM - Book B12, Page 192  
City Address: 6300 San Mateo SE

Engineering Firm: Adams Engineering Contact: G. Robert Adams, P.E.  
Address: 910 S. Kimball Ave., Southlake, TX 76092  
Phone#: 817-328-3200 Fax#: 817-328-3299 E-mail: rob.adams@adams-engineering.com

Owner: McDonald's Contact: Lee Morris  
Address: 511 E. Carpenter Freeway Irving, TX 75062  
Phone#: 972-869-5346 Fax#: \_\_\_\_\_ E-mail: Lee.Morris@us.mcd.com

Architect: Rogue Architects Contact: Jeremy A. Williams, R.A.  
Address: 513 Main St., Suite 200, Fort Worth, TX 76102  
Phone#: 817-820-0433 Fax#: \_\_\_\_\_ E-mail: Jeremy@roguearchitects.com

Surveyor: Precision Surveys, Inc. Contact: Larry Medrano  
Address: 5571 Midway Park Place NE Albuquerque, NM 87199  
Phone#: 505-856-5700 Fax#: 505-856-7900 E-mail: \_\_\_\_\_

Contractor: Cordova Contracting Contact: Mark Cordova  
Address: 316 Osuna Rd NE, Albuquerque, NM 87107  
Phone#: (505) 243-9675 Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

#### TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1st SUBMITTAL  
☐ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL G & D PLAN  
☒ GRADING PLAN  
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)  
☐ ENGINEER'S CERT (HYDROLOGY)  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ ENGINEER'S CERT (TCL)  
☐ ENGINEER'S CERT (DRB SITE PLAN)  
☐ ENGINEER'S CERT (ESC)  
☐ SO-19  
☐ OTHER (SPECIFY) \_\_\_\_\_

#### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY (PERM)  
☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)  
☐ FOUNDATION PERMIT APPROVAL  
☒ BUILDING PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL ☒ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL ☐ ESC PERMIT APPROVAL  
☐ WORK ORDER APPROVAL ☐ ESC CERT. ACCEPTANCE  
☐ GRADING CERTIFICATION ☐ OTHER (SPECIFY) \_\_\_\_\_

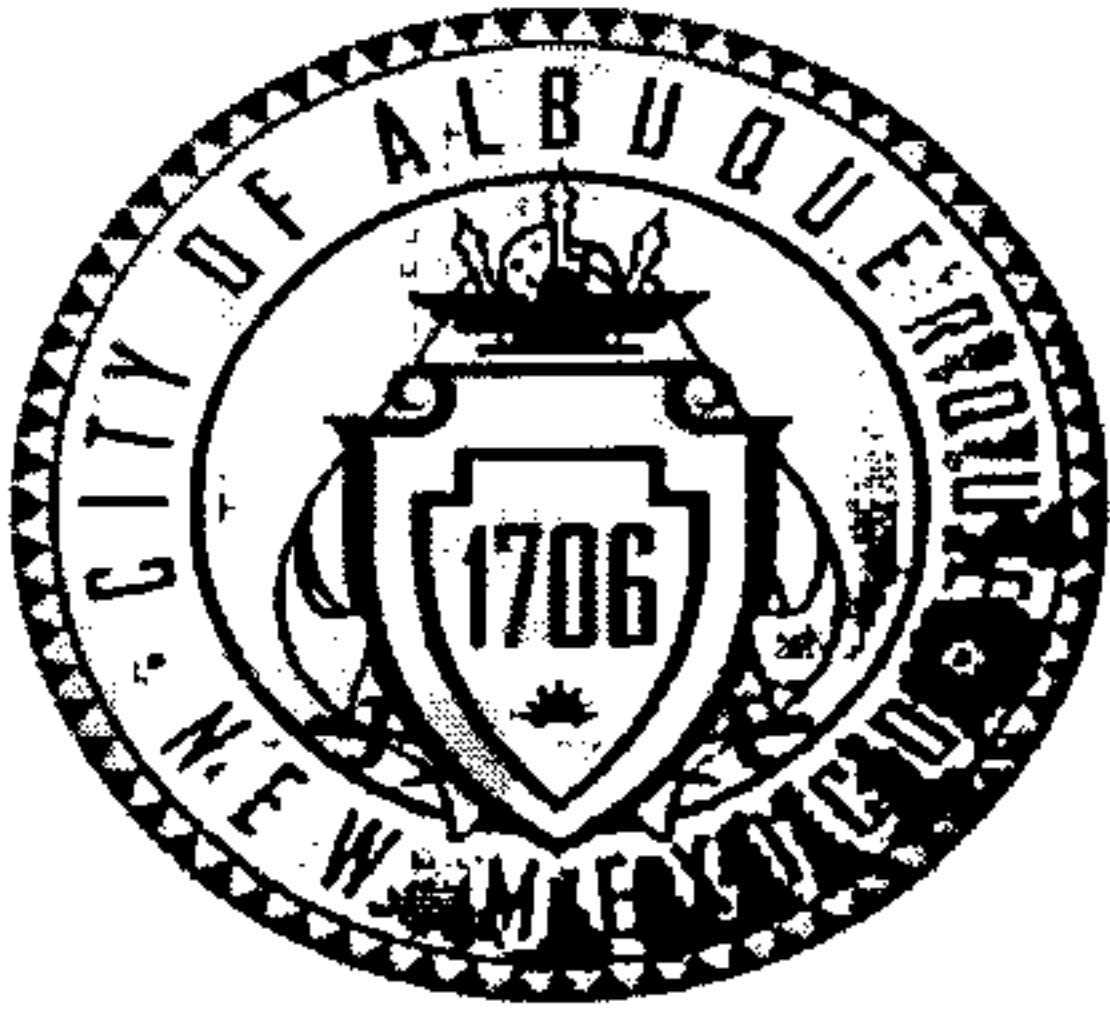
WAS A PRE-DESIGN CONFERENCE ATTENDED: \_\_\_\_\_ Yes ☒ No \_\_\_\_\_ Copy Provided \_\_\_\_\_

DATE SUBMITTED: 11/19/14 By: Leslie Ford

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development





# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: McDonald's San Mateo Building Permit #: T2014-92777 City Drainage #: E18D019C  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_  
Legal Description: Tract M of the Summary Plat of the Far North Shopping Center, Albuquerque, NM - Book B12, Page 192  
City Address: 6300 San Mateo SE

**Engineering Firm:** Adams Engineering Contact: G. Robert Adams, P.E.  
Address: 910 S. Kimball Ave., Southlake, TX 76092  
Phone#: 817-328-3200 Fax#: 817-328-3299 E-mail: rob.adams@adams-engineering.com

**Owner:** McDonald's Contact: Lee Morris  
Address: 511 E. Carpenter Freeway Irving, TX 75062  
Phone#: 972-869-5346 Fax#: \_\_\_\_\_ E-mail: Lee.Morris@us.mcd.com

**Architect:** Rogue Architects Contact: Jeramy A. Williams, R.A.  
Address: 513 Main St., Suite 200, Fort Worth, TX 76102  
Phone#: 817-820-0433 Fax#: \_\_\_\_\_ E-mail: Jeramy@roguearchitects.com

**Surveyor:** Precision Surveys, Inc. Contact: Larry Medrano  
Address: 5571 Midway Park Place NE Albuquerque, NM 87199  
Phone#: 505-856-5700 Fax#: 505-856-7900 E-mail: \_\_\_\_\_

**Contractor:** Cordova Contracting Contact: Mark Cordova  
Address: 316 Osuna Rd NE, Albuquerque, NM 87107  
Phone#: (505) 243-9675 Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

### TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1st SUBMITTAL  
☒ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)  
☐ ENGINEER'S CERT (HYDROLOGY)  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ ENGINEER'S CERT (TCL)  
☐ ENGINEER'S CERT (DRB SITE PLAN)  
☐ ENGINEER'S CERT (ESC)  
☒ SO-19  
☐ OTHER (SPECIFY) \_\_\_\_\_

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☐ SIA/FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY (PERM)  
☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)  
☐ FOUNDATION PERMIT APPROVAL  
☒ BUILDING PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL ☒ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL ☐ ESC PERMIT APPROVAL  
☐ WORK ORDER APPROVAL ☐ ESC CERT. ACCEPTANCE  
☐ GRADING CERTIFICATION ☐ OTHER (SPECIFY) \_\_\_\_\_

WAS A PRE-DESIGN CONFERENCE ATTENDED: ☐ Yes ☒ No ☐ Copy Provided

DATE SUBMITTED: 10/27/2014 By: Leslie Ford

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



## Elliott, Stanice

---

**From:** Biazar, Shahab  
**Sent:** Wednesday, October 14, 2015 11:49 AM  
**To:** Dicome, Kym; 'elaine.pickering@adams-engineering.com'; 'margaret.grissom@adams-engineering.com'; leslie (leslie@roguearchitects.com)  
**Cc:** Harmon Rita T.; Elliott, Stanice; Ortiz, Monica; Michel, Racquel M.  
**Subject:** Administrative Amendment (15AA-10127) For McDonald's Restaurant Located At 6300 San Mateo Boulevard

Hi,

Please provide a full submittal to City Hydrology addressing the following comments prior to Administrative Amendment (15AA-10127) approval for the for McDonald's Restaurant located at 6300 San Mateo Boulevard:

- Provide floor drain for the Trash Enclosure. The floor drain must drain to a grease trap and then to sanitary sewer system.
- Are there existing drainage easements on this site?
- Provide First Flush required and proposed ponding volume calculations.
- Are the proposed storm drain system existing or proposed? Provide more details on the storm drain system (sizes, inverts, and capacity).
- Are there offsite runoff entering the site? Are there offsite drainage and access easements?
- Show all existing easements. Are there any conflicts between exiting utilities and storm drain system?
- Sidewalk culvert plate must include a plat for entire stretch within the right-of-way.
- SO-19 permit and notes are required for the sidewalk culvert and connection to the existing inlet within the right-of-way. What is the pipe size connection to the back of the inlet (12" line is the maximum line size allowed)? Provide inverts for connecting to the inlet.
- Is there an existing public sidewalk easement along Academy Road?
- Labels on the existing contours are not visible.
- Please darken the line work for the proposed improvements.
- Show roof flow directions for the new building. Which way will the roof drain for the proposed storage next to the trash enclosure. We recommend that the roof flow would drain to the north.
- Provide City Benchmark information on the plan.

Thanks

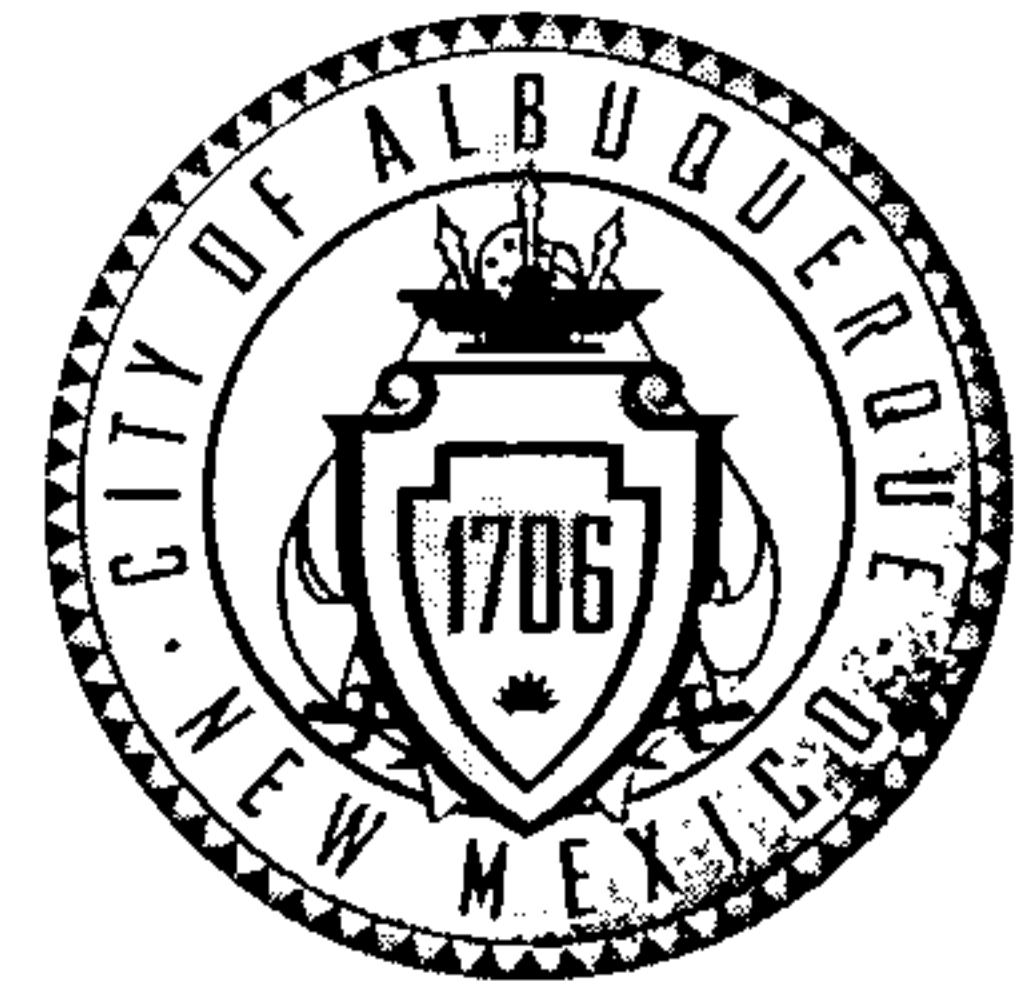
*Shahab Biazar, P.E.*

**City Engineer**

Planning Department  
Development Review Services Division  
600 2nd St. NW, Suite 201  
Albuquerque, NM 87102  
t 505-924-3999  
f 505-924-3864



# CITY OF ALBUQUERQUE



December 17, 2014

Mr. Robert Adams  
910 South Kimball Avenue  
Southlake, Texas 76092

**Re: McDonald's at San Mateo and Academy  
Grading Plan (C7.0) dated 12-2-14  
Pre-Developed Drainage Plan (C8.0) dated 11-5-14  
Post Developed Drainage Plan (C8.1) dated 11-17-14  
Standard Details (C10.5) dated 11-17-14  
(E18D019C)**

Dear Mr. Adams,

Based upon the information provided in your submittal received December 15, 2014, 2014, the above referenced plan is approved for Building Permit and SO-19.

The SO-19 Permit is required for construction within the City Right of Way. A copy of this approval letter must be on hand when applying for the Excavation Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

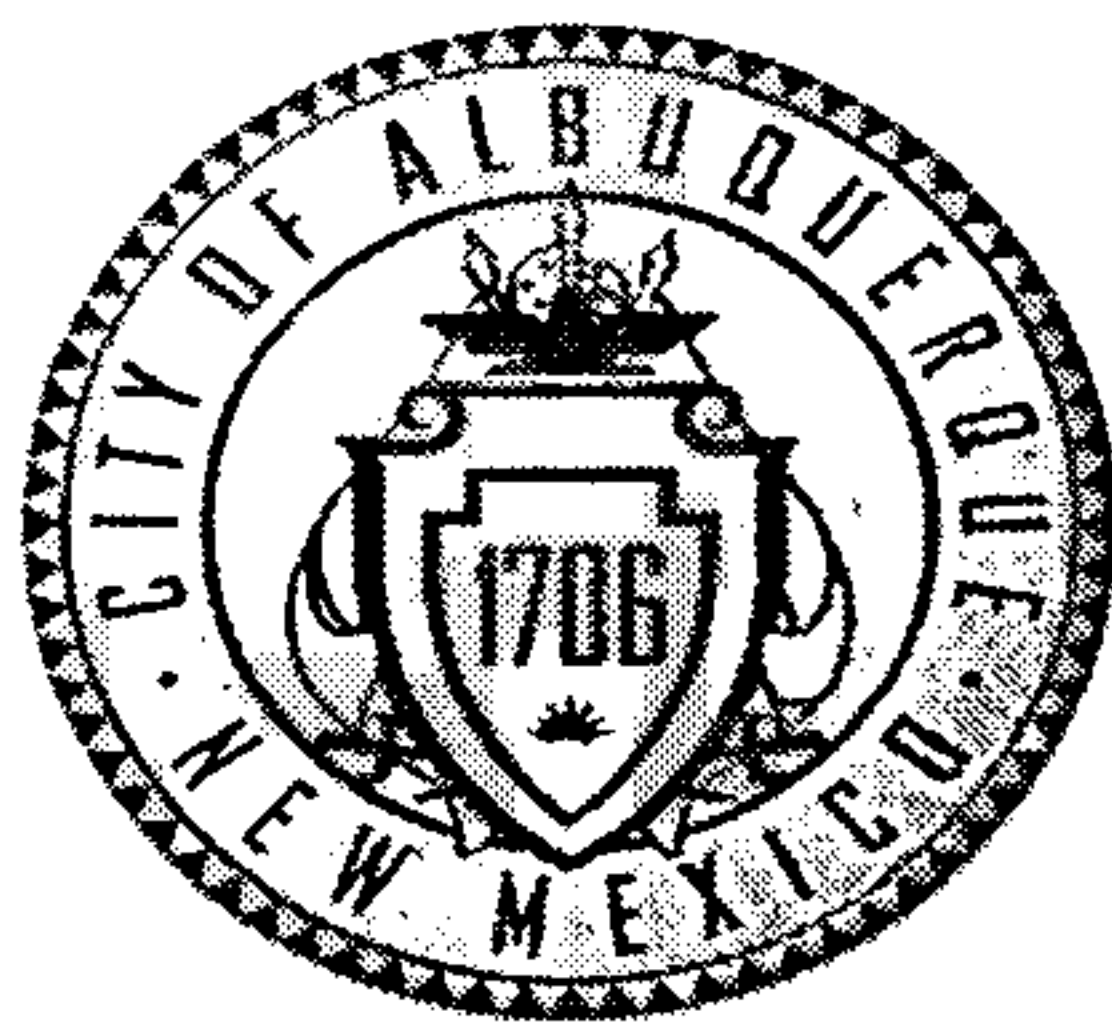
If you have any questions, you can contact me at 924-3994.

Sincerely,

Amy L. D. Niese, P.E.  
Senior Engineer, Hydrology  
Planning Department

C: e-mail





# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: McDonald's San Mateo Building Permit #: T2014-92777 City Drainage #: E18D019C  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_  
Legal Description: Tract M of the Summary Plat of the Far North Shopping Center, Albuquerque, NM - Book B12, Page 192  
City Address: 6300 San Mateo SE

Engineering Firm: Adams Engineering Contact: G. Robert Adams, P.E.  
Address: 910 S. Kimball Ave., Southlake, TX 76092  
Phone#: 817-328-3200 Fax#: 817-328-3299 E-mail: rob.adams@adams-engineering.com

Owner: McDonald's Contact: Lee Morris  
Address: 511 E. Carpenter Freeway Irving, TX 75062  
Phone#: 972-869-5346 Fax#: \_\_\_\_\_ E-mail: Lee.Morris@us.mcd.com

Architect: Rogue Architects Contact: Jeramy A. Williams, R.A.  
Address: 513 Main St., Suite 200, Fort Worth, TX 76102  
Phone#: 817-820-0433 Fax#: \_\_\_\_\_ E-mail: Jeramy@roguearchitects.com

Surveyor: Precision Surveys, Inc. Contact: Larry Medrano  
Address: 5571 Midway Park Place NE Albuquerque, NM 87199  
Phone#: 505-856-5700 Fax#: 505-856-7900 E-mail: \_\_\_\_\_

Contractor: Cordova Contracting Contact: Mark Cordova  
Address: 316 Osuna Rd NE, Albuquerque, NM 87107  
Phone#: (505) 243-9675 Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

### TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☒ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☒ SO-19
- ☐ OTHER (SPECIFY) \_\_\_\_\_

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☒ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ GRADING CERTIFICATION
- ☐ OTHER (SPECIFY) \_\_\_\_\_

RECEIVED  
12/15/14

WAS A PRE-DESIGN CONFERENCE ATTENDED: \_\_\_\_\_ Yes ☒ No \_\_\_\_\_ Copy Provided \_\_\_\_\_

DATE SUBMITTED: 10/27/2014 By: Leslie Ford

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

$$A_D = 0.741 \quad Q_{out} = 4.34 \text{ cfs}$$



513 Main Street  
Suite 200  
Fort Worth, Texas 76102  
Office: 817.820.0433  
Fax: 682.224.8917  
roguearchitects.com



## LETTER OF TRANSMITTAL

November 7, 2014

Amy Niese  
City of Albuquerque  
Planning Department – Transportation & Hydrology  
600 2nd St. NW, Suite 201  
Albuquerque, NM 87102  
505-924-3981

**RE: McDonald's – 6300 San Mateo NE - T201492777**

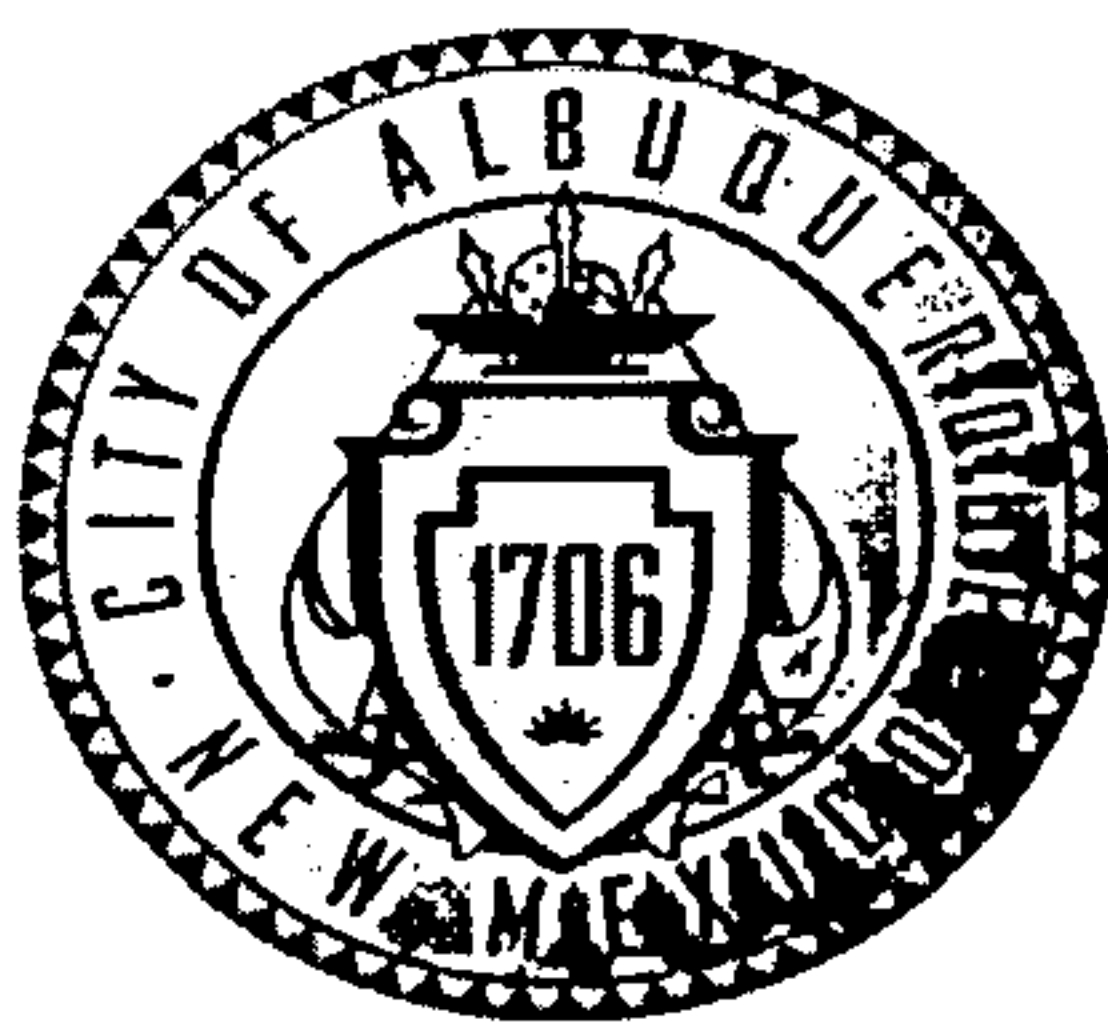
Attached are all documents for the Hydrology review of this project.

**Enclosed Items**

~~(2) 2013 Transportation Plan Sets~~  
Grading BP/SO19 Information Sheet  
Drainage BP/SO19 Information Sheet

Please feel free to contact me with any questions or concerns.

Sincerely,  
Leslie Ford  
Director, Development Services  
[leslie@roguearchitects.com](mailto:leslie@roguearchitects.com)  
817-820-0433 / 325-370-9965



# City of Albuquerque

## Planning Department

### Development & Building Services Division

#### DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: McDonald's San Mateo Building Permit #: T2014-92777 City Drainage #: E18D019C

DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: Tract M of the Summary Plat of the Far North Shopping Center, Albuquerque, NM - Book B12, Page 192

City Address: 6300 San Mateo SE

Engineering Firm: Adams Engineering Contact: G. Robert Adams, P.E.

Address: 910 S. Kimball Ave., Southlake, TX 76092

Phone#: 817-328-3200 Fax#: 817-328-3299 E-mail: rob.adams@adams-engineering.com

Owner: McDonald's Contact: Lee Morris

Address: 511 E. Carpenter Freeway Irving, TX 75062

Phone#: 972-869-5346 Fax#: \_\_\_\_\_ E-mail: Lee.Morris@us.mcd.com

Architect: Rogue Architects Contact: Jeremy A. Williams, R.A.

Address: 513 Main St., Suite 200, Fort Worth, TX 76102

Phone#: 817-820-0433 Fax#: \_\_\_\_\_ E-mail: Jeremy@roguearchitects.com

Surveyor: Precision Surveys, Inc. Contact: Larry Medrano

Address: 5571 Midway Park Place NE Albuquerque, NM 87199

Phone#: 505-856-5700 Fax#: 505-856-7900 E-mail: \_\_\_\_\_

Contractor: Cordova Contracting Contact: Mark Cordova

Address: 316 Osuna Rd NE, Albuquerque, NM 87107

Phone#: (505) 243-9675 Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

#### TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1st SUBMITTAL  
☐ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL G & D PLAN  
☒ GRADING PLAN  
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)  
☐ ENGINEER'S CERT (HYDROLOGY)  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ ENGINEER'S CERT (TCL)  
☐ ENGINEER'S CERT (DRB SITE PLAN)  
☐ ENGINEER'S CERT (ESC)  
☐ SO-19  
☐ OTHER (SPECIFY)

#### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY (PERM)  
☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)  
☐ FOUNDATION PERMIT APPROVAL  
☒ BUILDING PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL ☒ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL ☐ ESC PERMIT APPROVAL  
☐ WORK ORDER APPROVAL ☐ ESC CERT. ACCEPTANCE  
☐ GRADING CERTIFICATION ☐ OTHER (SPECIFY)

RECEIVED  
12/5/14  
INFO ONLY

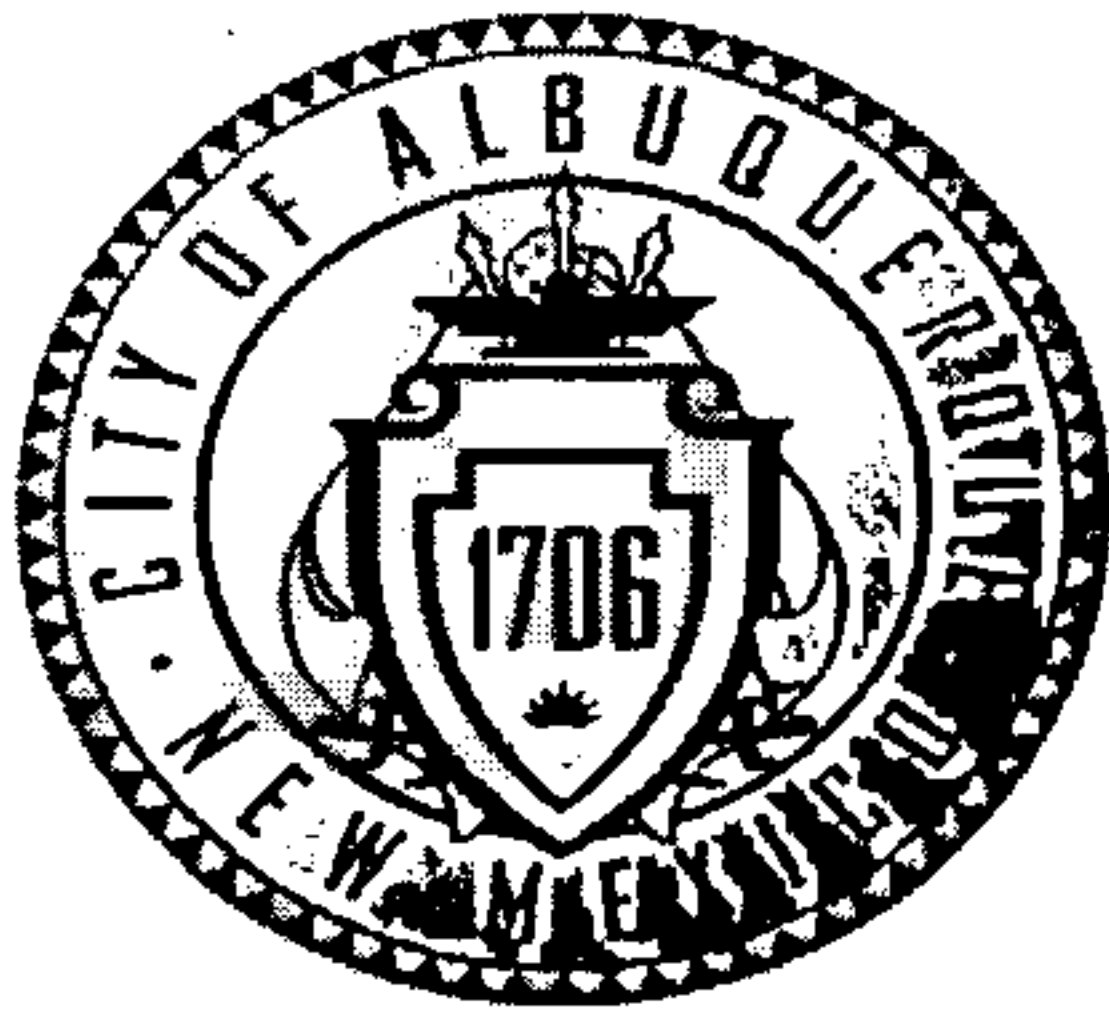
WAS A PRE-DESIGN CONFERENCE ATTENDED: \_\_\_\_\_ Yes ☒ No \_\_\_\_\_ Copy Provided

DATE SUBMITTED: 11/19/14 By: Leslie Ford

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development





# City of Albuquerque

## Planning Department

### Development & Building Services Division

#### DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: McDonald's San Mateo Building Permit #: T2014-92777 City Drainage #: E18D019C  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_  
Legal Description: Tract M of the Summary Plat of the Far North Shopping Center, Albuquerque, NM - Book B12, Page 192  
City Address: 6300 San Mateo SE

Engineering Firm: Adams Engineering Contact: G. Robert Adams, P.E.  
Address: 910 S. Kimball Ave., Southlake, TX 76092  
Phone#: 817-328-3200 Fax#: 817-328-3299 E-mail: rob.adams@adams-engineering.com

Owner: McDonald's Contact: Lee Morris  
Address: 511 E. Carpenter Freeway Irving, TX 75062  
Phone#: 972-869-5346 Fax#: \_\_\_\_\_ E-mail: Lee.Morris@us.mcd.com

Architect: Rogue Architects Contact: Jeremy A. Williams, R.A.  
Address: 513 Main St., Suite 200, Fort Worth, TX 76102  
Phone#: 817-820-0433 Fax#: \_\_\_\_\_ E-mail: Jeremy@roguearchitects.com

Surveyor: Precision Surveys, Inc. Contact: Larry Medrano  
Address: 5571 Midway Park Place NE Albuquerque, NM 87199  
Phone#: 505-856-5700 Fax#: 505-856-7900 E-mail: \_\_\_\_\_

Contractor: Cordova Contracting Contact: Mark Cordova  
Address: 316 Osuna Rd NE, Albuquerque, NM 87107  
Phone#: (505) 243-9675 Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

#### TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1st SUBMITTAL  
☒ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)  
☐ ENGINEER'S CERT (HYDROLOGY)  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ ENGINEER'S CERT (TCL)  
☐ ENGINEER'S CERT (DRB SITE PLAN)  
☐ ENGINEER'S CERT (ESC)  
☒ SO-19  
☐ OTHER (SPECIFY) \_\_\_\_\_

#### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY (PERM)  
☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)  
☐ FOUNDATION PERMIT APPROVAL  
☒ BUILDING PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL ☒ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL ☐ ESC PERMIT APPROVAL  
☐ WORK ORDER APPROVAL ☐ ESC CERT. ACCEPTANCE  
☐ GRADING CERTIFICATION ☐ OTHER (SPECIFY) \_\_\_\_\_

WAS A PRE-DESIGN CONFERENCE ATTENDED: \_\_\_\_\_ Yes ☒ No \_\_\_\_\_ Copy Provided \_\_\_\_\_

DATE SUBMITTED: 10/27/2014 By: Leslie Ford

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



## LETTER OF TRANSMITTAL

Engineers • Planners • LS Architects • Scientists

910 S. Kimball Ave • Southlake, Texas 76092

(817) 328-3200 FAX (817) 328-3299

TO: **City of Albuquerque**  
**Planning Department**  
**600 2nd NW**  
**Albuquerque, NM 87102**

PHONE: **(505) 924-3994**

DATE:	12/3/2014	JOB NO:	2013.244
ATTN:	<b>Monica Ortiz</b>		
RE:	McDonald's		
	6300 San Mateo Blvd.		
	City Drainage # E18D019C		
	Building Permit # T2014-92777		
CC:	File		

WE ARE SENDING YOU ☒ ATTACHED ☐ UNDER SEPARATE COVER VIA ☐

<input type="checkbox"/> Blueline Prints	<input checked="" type="checkbox"/> Blackline Prints	<input type="checkbox"/> Reproducible Plans	<input type="checkbox"/> Specifications
<input type="checkbox"/> Copy of Letter	<input type="checkbox"/> Change Order	<input type="checkbox"/> Diskette(s)	<input type="checkbox"/> Shop Drawings
<input type="checkbox"/> Bid Documents	<input type="checkbox"/> Invoice	<input type="checkbox"/> Samples	<input type="checkbox"/> Other

COPIES	DATE	ACEI NO.	DESCRIPTION
1	12/3/2014	2013.244	DTIS For Grading Plan
1	12/3/2014	2013.244	DTIS For Drainage Plan
2	12/2/2014	2013.244	Civil Sheets C7.0, C8.0, C8.1, and C10.5

THESE ARE TRANSMITTED as checked below:

<input checked="" type="checkbox"/> For approval	<input type="checkbox"/> For Your Use	<input type="checkbox"/> As requested by: _____
<input type="checkbox"/> For review and comment	<input type="checkbox"/> For Bidding	<input type="checkbox"/> Return ASAP to: _____
<input type="checkbox"/> Revise and resubmit	<input type="checkbox"/> Rejected	<input type="checkbox"/> Approved as noted

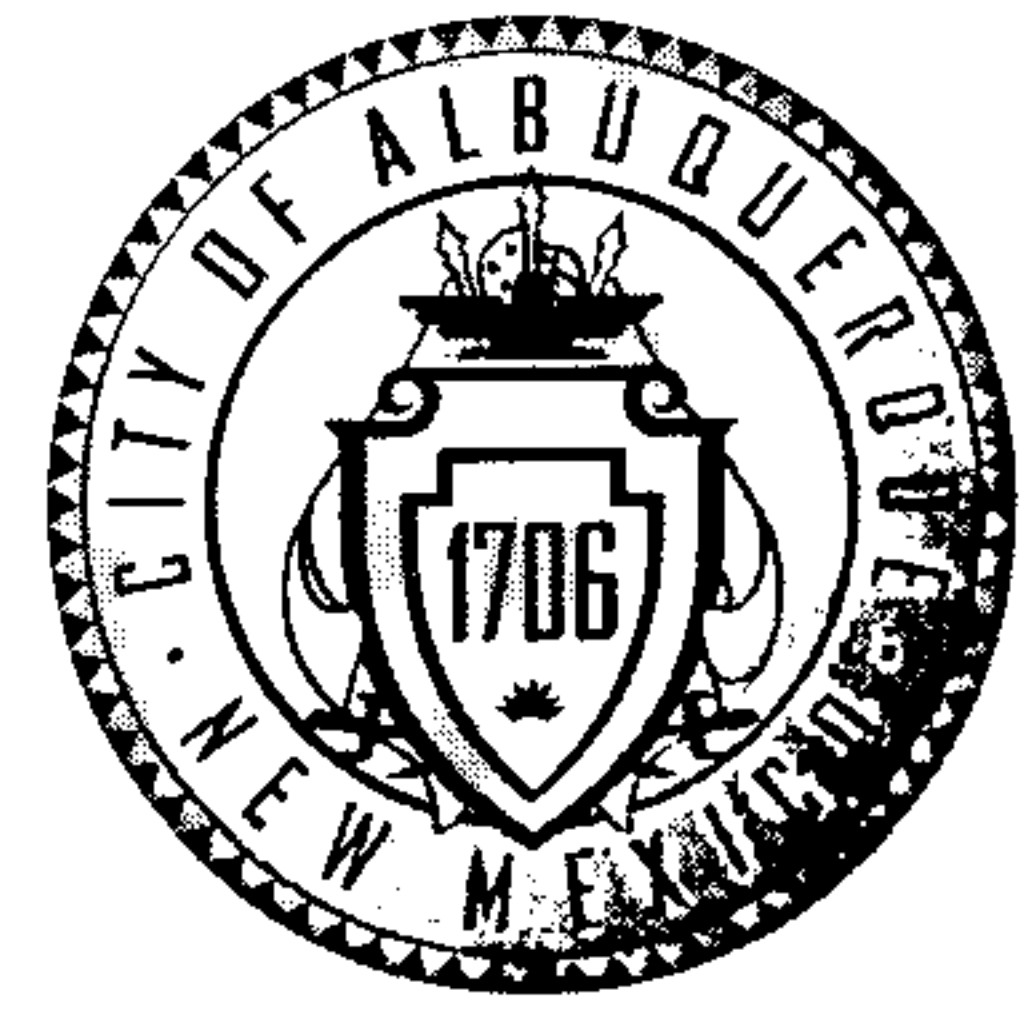
REMARKS: Thanks.

DELIVERED VIA: ☐ U.S. Mail ☒ Std Overnight ☐ Priority Overnight ☐ Hand Delivery ☐ Pick-up ☐ Other

SIGNED: Heather Macomber



# CITY OF ALBUQUERQUE



November 25, 2014

Mr. Robert Adams  
910 South Kimball Avenue  
Southlake, Texas 76092

**Re: McDonald's at San Mateo and Academy  
Grading and Drainage Plan  
Engineer's Stamp Date 11-17-14 (E18D019C)**

Dear Mr. Adams,

Based upon the information provided in your submittal received November 25, 2014, the above referenced plan is not approved for Building Permit nor S0-19. Please address the following:

1. The existing contour elevations were turned off. Please show them.

If you have any questions, you can contact me at 924-3994.

Sincerely,

Amy L. D. Niese, P.E.  
Senior Engineer, Hydrology  
Planning Department

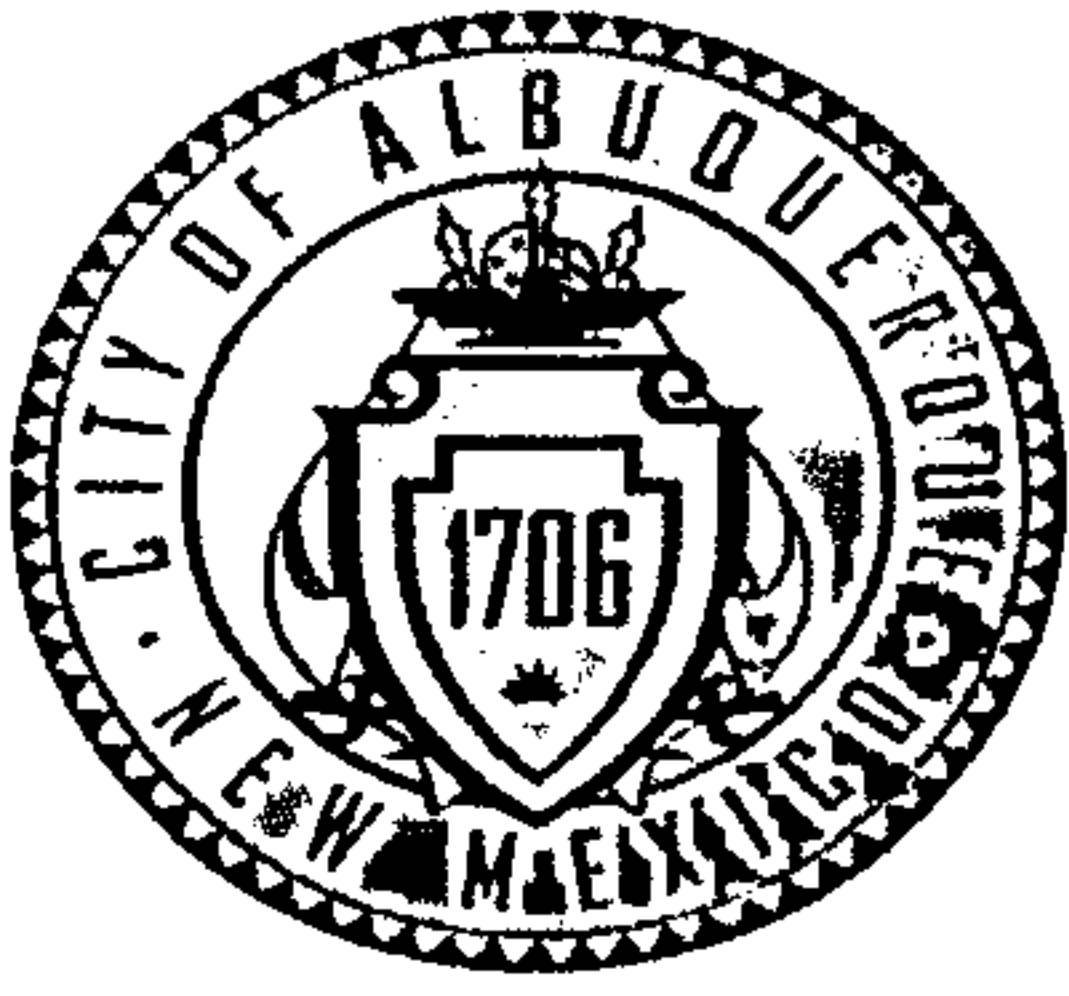
PO Box 1293

Albuquerque

New Mexico 87103

C: e-mail

[www.cabq.gov](http://www.cabq.gov)



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: McDonald's San Mateo Building Permit #: T2014-92777 City Drainage #: E180019C  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_  
Legal Description: Tract M of the Summary Plat of the Far North Shopping Center, Albuquerque, NM - Book B12, Page 192  
City Address: 6300 San Mateo SE

Engineering Firm: Adams Engineering Contact: G. Robert Adams, P.E.  
Address: 910 S. Kimball Ave., Southlake, TX 76092  
Phone#: 817-328-3200 Fax#: 817-328-3299 E-mail: rob.adams@adams-engineering.com

Owner: McDonald's Contact: Lee Morris  
Address: 511 E. Carpenter Freeway Irving, TX 75062  
Phone#: 972-869-5346 Fax#: \_\_\_\_\_ E-mail: Lee.Morris@us.mcd.com

Architect: Rogue Architects Contact: Jeremy A. Williams, R.A.  
Address: 513 Main St., Suite 200, Fort Worth, TX 76102  
Phone#: 817-820-0433 Fax#: \_\_\_\_\_ E-mail: Jeremy@roguearchitects.com

Surveyor: Precision Surveys, Inc. Contact: Larry Medrano  
Address: 5571 Midway Park Place NE Albuquerque, NM 87199  
Phone#: 505-856-5700 Fax#: 505-856-7900 E-mail: \_\_\_\_\_

Contractor: Cordova Contracting Contact: Mark Cordova  
Address: 316 Osuna Rd NE, Albuquerque, NM 87107  
Phone#: (505) 243-9675 Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

### TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1st SUBMITTAL  
☒ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)  
☐ ENGINEER'S CERT (HYDROLOGY)  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ ENGINEER'S CERT (TCL)  
☐ ENGINEER'S CERT (DRB SITE PLAN)  
☐ ENGINEER'S CERT (ESC)  
☒ SO-19  
☐ OTHER (SPECIFY) \_\_\_\_\_

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY (PERM)  
☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)  
☐ FOUNDATION PERMIT APPROVAL  
☒ BUILDING PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ GRADING CERTIFICATION
- ☒ SO-19 APPROVAL  
☐ ESC PERMIT APPROVAL  
☐ ESC CERT. ACCEPTANCE  
☐ OTHER (SPECIFY) \_\_\_\_\_

RECEIVED  
11/25/14

WAS A PRE-DESIGN CONFERENCE ATTENDED: \_\_\_\_\_ Yes ☒ No \_\_\_\_\_ Copy Provided

DATE SUBMITTED: 10/27/2014 By: Leslie Ford

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

$$A_D = .741$$

$$Q_{out} = 4.34 \text{ CFS}$$



513 Main Street  
Suite 200  
Fort Worth, Texas 76102  
Office: 817.820.0433  
Fax: 682.224.8917  
roguearchitects.com



## LETTER OF TRANSMITTAL

November 19, 2014

Monica Ortiz  
City of Albuquerque  
Planning Department – Hydrology  
600 2nd St. NW, Suite 201  
Albuquerque, NM 87102  
505-924-3981

E18D019C

**RE: McDonald's – 6300 San Mateo NE - T201492777**

Attached are all documents for the Hydrology building permit and SO19 review of this project.

**Enclosed Items**

(2) 24x36 Hydrology G&D Plan Sets  
Grading Information Sheet

Please feel free to contact me with any questions or concerns.

Sincerely,  
Leslie Ford  
Director, Development Services  
[leslie@roguearchitects.com](mailto:leslie@roguearchitects.com)  
817-820-0433 / 325-370-9965

McDonalds

BL8DO19C

11/14/14

Really need BP + 8019

FLUME Detail, SW culvert exist? - HARD TO TELL  
SW CULV + RUN DOWN  
CALL OUT AS PART OF 8019

Do 3 ofst go under old culvert to run down to San Mateo?

Retention

Area 1 290 CF

2 3 CF

3 135 CF

4 464 CF

5 81 CF

973 CF > 915 1250 ✓

Is SW going to be new?

8019? 18" CONCRETE DOWN TO SD  
SW?

SW CULV + RUN DOWN



**Cherne, Curtis**

*E19D019C*

**From:** Cherne, Curtis  
**Sent:** Thursday, October 16, 2014 2:59 PM  
**To:** 'Perry Hassell'  
**Subject:** RE: 2013.244 McDonald's San Mateo

Perry,

The City would allow either 1 or 2 listed below, but will lean towards the solution that addresses the first flush better. As discussed on the phone today, the site has to retain the first flush. The volume is 0.34" times the impervious area. Seems to work best if you pick it up in numerous locations.

Curtis

---

**From:** Perry Hassell [<mailto:Perry.Hassell@Adams-Engineering.com>]  
**Sent:** Monday, October 13, 2014 3:52 PM  
**To:** Cherne, Curtis  
**Cc:** Rob Adams; Heather Macomber  
**Subject:** FW: 2013.244 McDonald's San Mateo

Curtis,

I have attached our proposed drainage plan for the McDonald's rebuild on the northeast corner of San Mateo Boulevard, NE and Academy Road, NE. The site currently drains east to west, and through three concrete flumes in the west curb of the parking area, then across the existing sidewalk and onto San Mateo. When we completed the Site Investigation Report (SIR), we were told to split the site grading into essentially a north half and a south half. The north half would drain out the existing driveway to the north and onto San Mateo. The south half would drain to a new inlet and connect to the existing system in Academy. This was to alleviate an icing problem on the existing sidewalk. I have attached the notes from our SIR for your reference.

McDonald's has asked us that in the event runoff from the McDonald's site is not allowed to drain directly to the shopping center driveway, would we be allowed to either:

- 1) construct a flume near the northwest site corner and rework the sidewalk so that it would span over the new flume, and runoff would flow under the sidewalk, or
- 2) capture the north half of the site in an inlet and route this to the system in Academy.

Is either of these a viable option in the event that the shopping center does not allow runoff to the driveway?

Thank you,

Perry Hassell, P.E. (TX), CFM, LEED AP BD+C, CPESC

Adams | Engineering & Development Consultants  
[perry.hassell@adams-engineering.com](mailto:perry.hassell@adams-engineering.com)  
O: 817.328.3200 D: 817.328.3207

---

**From:** Heather Macomber  
**Sent:** Monday, October 13, 2014 3:01 PM  
**To:** Perry Hassell

**Cc:** Rob Adams

**Subject:** 2013.244 McDonald's San Mateo

Perry,

Can you check with the city drainage and see if in the case that the shopping center doesn't allow us to drain onto them if we could either:

1. Drain to a flume in the NW corner of the parking lot, and do some reworking of the sidewalk to create a sidewalk bridge, so the drainage goes under the sidewalk and out through a curb cut into the street gutter. Or
2. Capture it with an inlet, and pipe it to the inlet in Academy, thus increasing the drainage going to that system.

Thanks,

Heather Macomber

Designer

**Adams** | Engineering & Development Consultants

Tyler | Dallas/Fort Worth | Austin | Tampa

O: 817.328.3200 | D: 817.328.3243

910 S. Kimball Avenue

Southlake, Texas 76092

[heather.macomber@adams-engineering.com](mailto:heather.macomber@adams-engineering.com)

[www.adams-engineering.com](http://www.adams-engineering.com)



# PRE-DESIGN - LETTER.

Michael,

1. Existing is acceptable. New onsite landscape areas should be depressed for water harvesting.
2. retention not required.
3. As discussed on 9-5-13, possibly grade the site with a hinge line in the middle, wherein the southern portion drains to an onsite inlet that drains to the back of the inlet on Academy Ave and the northern portion drains out the drive entrance onto San Mateo.
4. A tap is allowed with an SO-19 Permit. The SO-19 Permit is approved by Hydrology. The actual permit is obtained from our Construction Division on the 8<sup>th</sup> floor.
5. Laterals are most likely 18" or 24".
6. I don't know the inverts of the inlets. Your surveyor should provide that information.
7. McDonald's would hire a contractor to make the tap.
8. There is no finished floor requirement for FEMA, but you should be above the San Mateo top of curb and have a water block on Academy if you change that drive entrance.

Cutis Cherne, P.E., CFM  
Hydrology, COA  
505-924-3986

---

**From:** Michael Martinie [mailto:Michael.Martinie@Adams-Engineering.com]  
**Sent:** Wednesday, September 04, 2013 3:32 PM  
**To:** Cherne, Curtis  
**Subject:** 2013.244 - McDonald's - NWC San Mateo & Academy - Drainage questions

Curtis,

Per my voicemail to you, I am performing another due diligence report for the existing McDonald's @ 6300 San Mateo NE. Currently the site is surface draining onto San Mateo via small flumes across the San Mateo R/W sidewalk (see attached photos). The water then gutter flows around the intersection corner into a combination inlet on Academy. Please see the attached PDF for existing drainage route.

A few questions:

1. Would matching existing flows be adequate -OR- would the 100-yr 6 hour storm max discharge rate need to be less than 2.75 CFS like the site on Central Ave?
2. How would you suggest we install retention in this situation?
3. Should we follow the same drainage pattern and drain onto San Mateo, or could we explore inlets with tapping into the back of the inlet on Academy?
4. Is a tap into the inlet on Academy allowed?
  - a. If so how much do you think it would cost?
  - b. Is there a fee charged by the city to tap?
5. What size are the laterals coming out of those inlets on the north side of Academy?
6. What are the inverts roughly on those inlets?
7. Would the city make the tap, or would McDonald's need to hire a contractor?
8. This site is in Zone X per the FEMA FIRM. There is no finished floor elevation requirements correct?

Michael Martinie  
Civil EIT

Adams | Engineering & Development Consultants  
Tyler • Dallas/Fort Worth • Tampa

O: 817.328.3200 D: 817.328.3241

910 S. Kimball Avenue

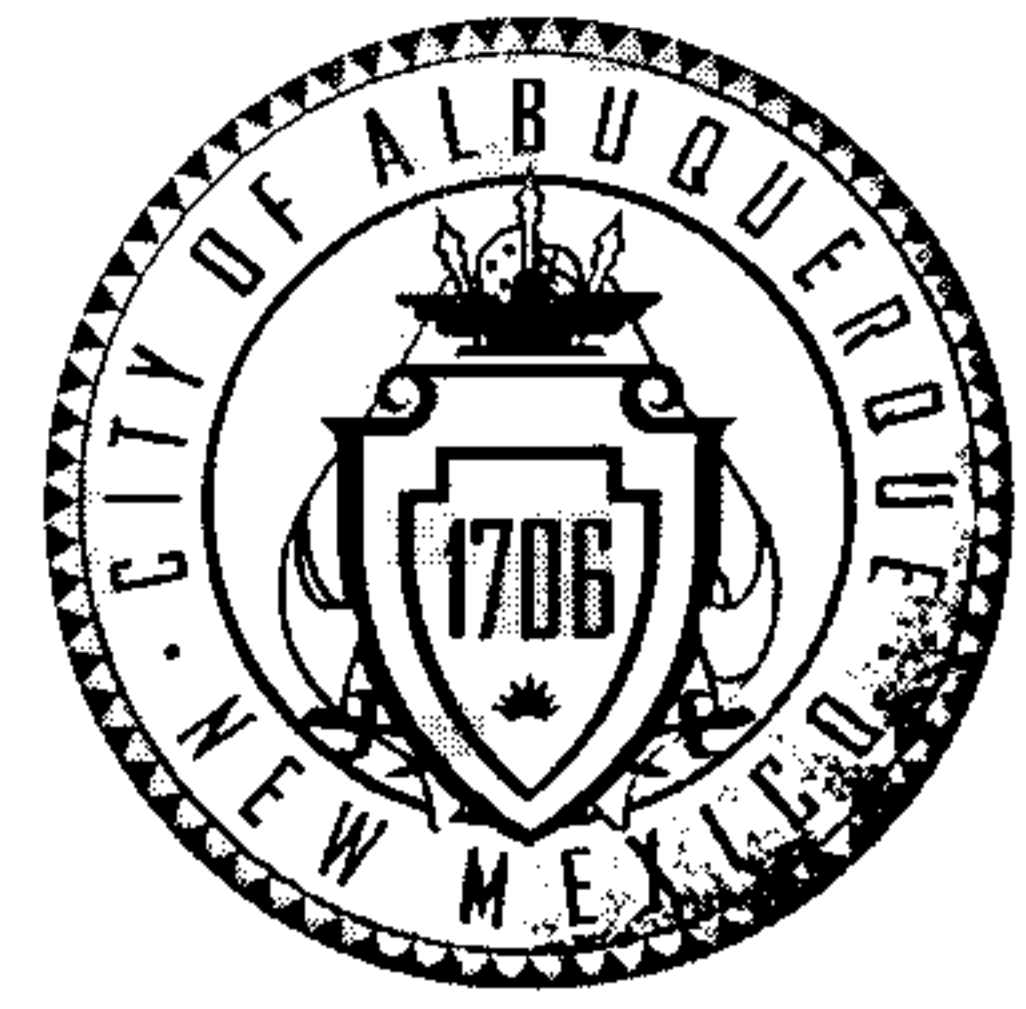
Southlake, Texas 76092

[michael.martinie@adams-engineering.com](mailto:michael.martinie@adams-engineering.com)

[www.adams-engineering.com](http://www.adams-engineering.com)



# CITY OF ALBUQUERQUE



November 14, 2014

Mr. Robert Adams  
910 South Kimball Avenue  
Southlake, Texas 76092

**Re: McDonald's at San Mateo and Academy  
Grading and Drainage Plan  
Engineer's Stamp Date 11-5-14 (E18D019C)**

Dear Mr. Adams,

Based upon the information provided in your submittal received November 11, 2014, the above referenced plan is approved for Grading Permit. When submitting for Building Permit and SO-19, please address the following:

1. Check off Building Permit and SO-19 on the DTIS sheet.
2. Language for the SO-19 work is included on the plans, but the work is not called out for the new sidewalk culvert and rundown in the northwest corner, and for the sidewalk removal and replacement above the storm drain. Reference standard City details for this work in the Right-of-Way. For the Sidewalk Culvert, use the attached detail #2236 that was updated May 2011. Provide a detail for the flume / concrete rundown and include a width.

PO Box 1293

Albuquerque

New Mexico 87103

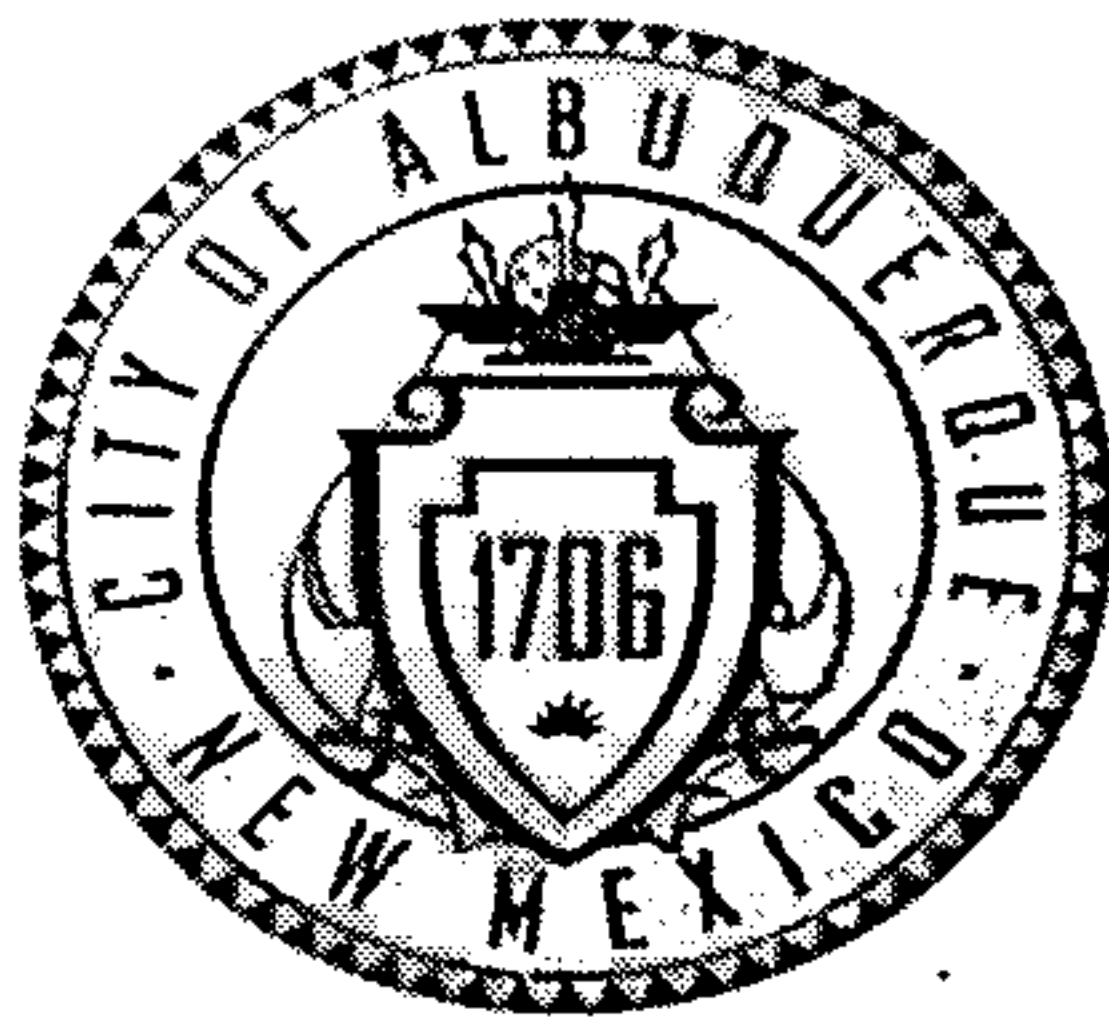
[www.cabq.gov](http://www.cabq.gov)

If you have any questions, you can contact me at 924-3994.

Sincerely,

Amy L. D. Niese, P.E.  
Senior Engineer, Hydrology  
Planning Department

C: e-mail



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

FASTRAK

E18D019C

Project Title: McDonald's San Mateo Building Permit #: T2014-92777 City Drainage #: \_\_\_\_\_

DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: Tract M of the Summary Plat of the Far North Shopping Center, Albuquerque, NM - Book B12, Page 192

City Address: 6300 San Mateo SE

Engineering Firm: Adams Engineering Contact: ROB G. Robert Adams, P.E.

Address: 910 S. Kimball Ave., Southlake, TX 76092

Phone#: 817-328-3200 Fax#: 817-328-3299 E-mail: rob.adams@adams-engineering.com

Owner: McDonald's Contact: Lee Morris

Address: 511 E. Carpenter Freeway Irving, TX 75062

Phone#: 972-869-5346 Fax#: \_\_\_\_\_ E-mail: Lee.Morris@us.mcd.com

Architect: Rogue Architects Contact: Jeremy A. Williams, R.A.

Address: 513 Main St., Suite 200, Fort Worth, TX 76102

Phone#: 817-820-0433 Fax#: \_\_\_\_\_ E-mail: Jeremy@roguearchitects.com

Surveyor: Precision Surveys, Inc. Contact: Larry Medrano

Address: 5571 Midway Park Place NE Albuquerque, NM 87199

Phone#: 505-856-5700 Fax#: 505-856-7900 E-mail: \_\_\_\_\_

Contractor: Cordova Contracting Contact: Mark Cordova

Address: 316 Osuna Rd NE, Albuquerque, NM 87107

Phone#: (505) 243-9675 Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

### TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1st SUBMITTAL  
☐ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL G & D PLAN  
☒ GRADING PLAN  
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)  
☐ ENGINEER'S CERT (HYDROLOGY)  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ ENGINEER'S CERT (TCL)  
☐ ENGINEER'S CERT (DRB SITE PLAN)  
☐ ENGINEER'S CERT (ESC)  
☐ SO-19  
☐ OTHER (SPECIFY)

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY (PERM)  
☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)  
☐ FOUNDATION PERMIT APPROVAL  
☒ BUILDING PERMIT APPROVAL  
☒ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ GRADING CERTIFICATION  
☐ SO-19 APPROVAL  
☐ ESC PERMIT APPROVAL  
☐ ESC CERT. ACCEPTANCE  
☐ OTHER (SPECIFY)

RECEIVED  
11/10/14

WAS A PRE-DESIGN CONFERENCE ATTENDED: ☐ Yes ☒ No ☐ Copy Provided

DATE SUBMITTED: 10/27/2014 By: Leslie Ford

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

$$A_D = 0.741$$

$$Q_{out} = 4.34 \text{ cfs}$$



513 Main Street  
Suite 200  
Fort Worth, Texas 76102  
Office: 817.820.0433  
Fax: 682.224.8917  
roguearchitects.com



## LETTER OF TRANSMITTAL

November 7, 2014

Monica Ortiz  
City of Albuquerque  
Planning Department – Transportation & Hydrology  
600 2nd St. NW, Suite 201  
Albuquerque, NM 87102  
505-924-3981

**RE: McDonald's – 6300 San Mateo NE - T201492777**

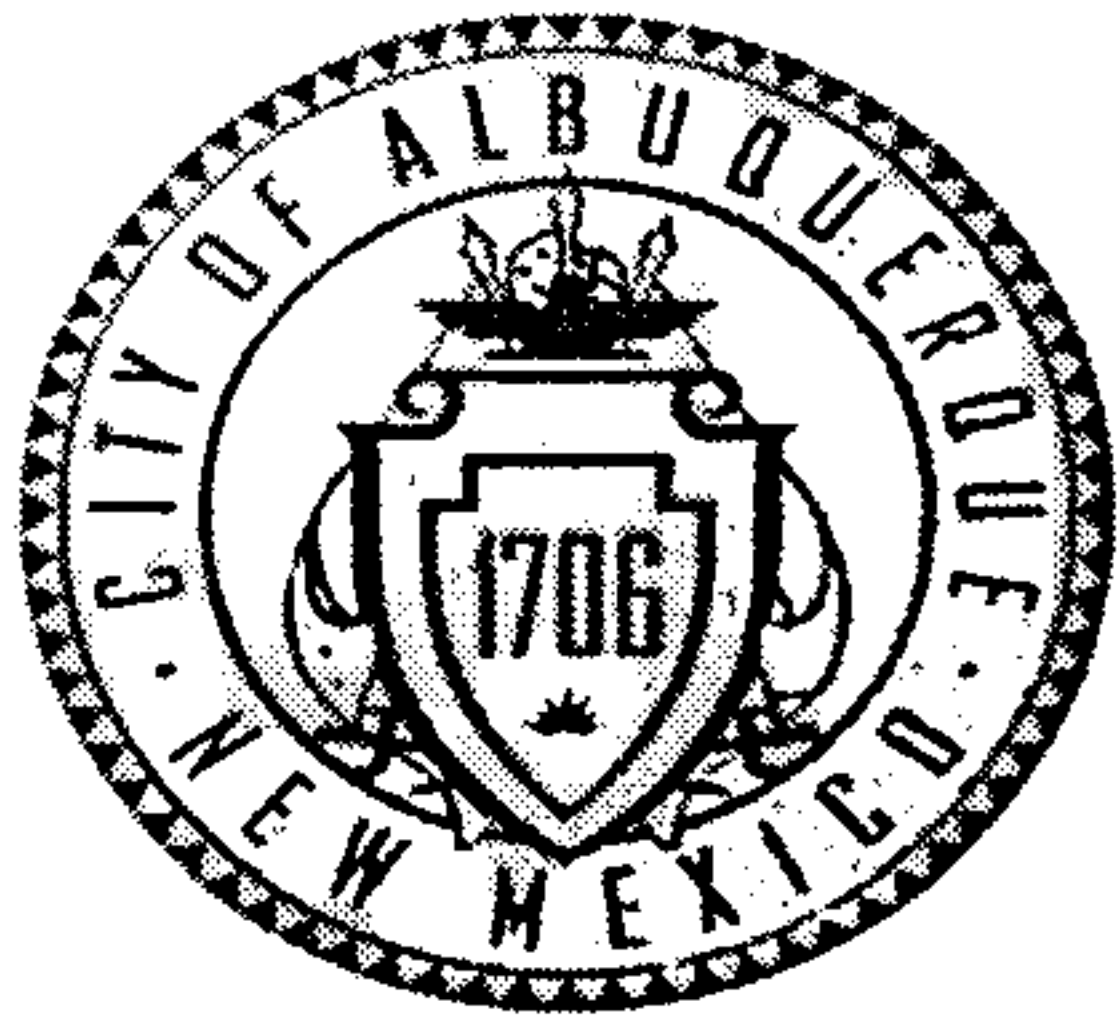
Attached are all documents for the Hydrology review of this project.

### **Enclosed Items**

(2) 24x36 Hydrology G&D Plan Sets  
Grading Information Sheet  
Drainage Information Sheet

Please feel free to contact me with any questions or concerns.

Sincerely,  
Leslie Ford  
Director, Development Services  
[leslie@roguearchitects.com](mailto:leslie@roguearchitects.com)  
817-820-0433 / 325-370-9965



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

E18 D019C

Project Title: McDonald's San Mateo Building Permit #: T2014-92777 City Drainage #: \_\_\_\_\_

DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: Tract M of the Summary Plat of the Far North Shopping Center, Albuquerque, NM - Book B12, Page 192

City Address: 6300 San Mateo SE

Engineering Firm: Adams Engineering Contact: G. Robert Adams, P.E.

Address: 910 S. Kimball Ave., Southlake, TX 76092

Phone#: 817-328-3200 Fax#: 817-328-3299 E-mail: rob.adams@adams-engineering.com

Owner: McDonald's Contact: Lee Morris

Address: 511 E. Carpenter Freeway Irving, TX 75062

Phone#: 972-869-5346 Fax#: \_\_\_\_\_ E-mail: Lee.Morris@us.mcd.com

Architect: Rogue Architects Contact: Jeremy A. Williams, R.A.

Address: 513 Main St., Suite 200, Fort Worth, TX 76102

Phone#: 817-820-0433 Fax#: \_\_\_\_\_ E-mail: Jeremy@roguearchitects.com

Surveyor: Precision Surveys, Inc. Contact: Larry Medrano

Address: 5571 Midway Park Place NE Albuquerque, NM 87199

Phone#: 505-856-5700 Fax#: 505-856-7900 E-mail: \_\_\_\_\_

Contractor: Cordova Contracting Contact: Mark Cordova

Address: 316 Osuna Rd NE, Albuquerque, NM 87107

Phone#: (505) 243-9675 Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

### TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☒ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) \_\_\_\_\_

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☒ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) \_\_\_\_\_

NOT RQD 0.92AC

WAS A PRE-DESIGN CONFERENCE ATTENDED: \_\_\_\_\_ Yes ☒ No \_\_\_\_\_ Copy Provided \_\_\_\_\_

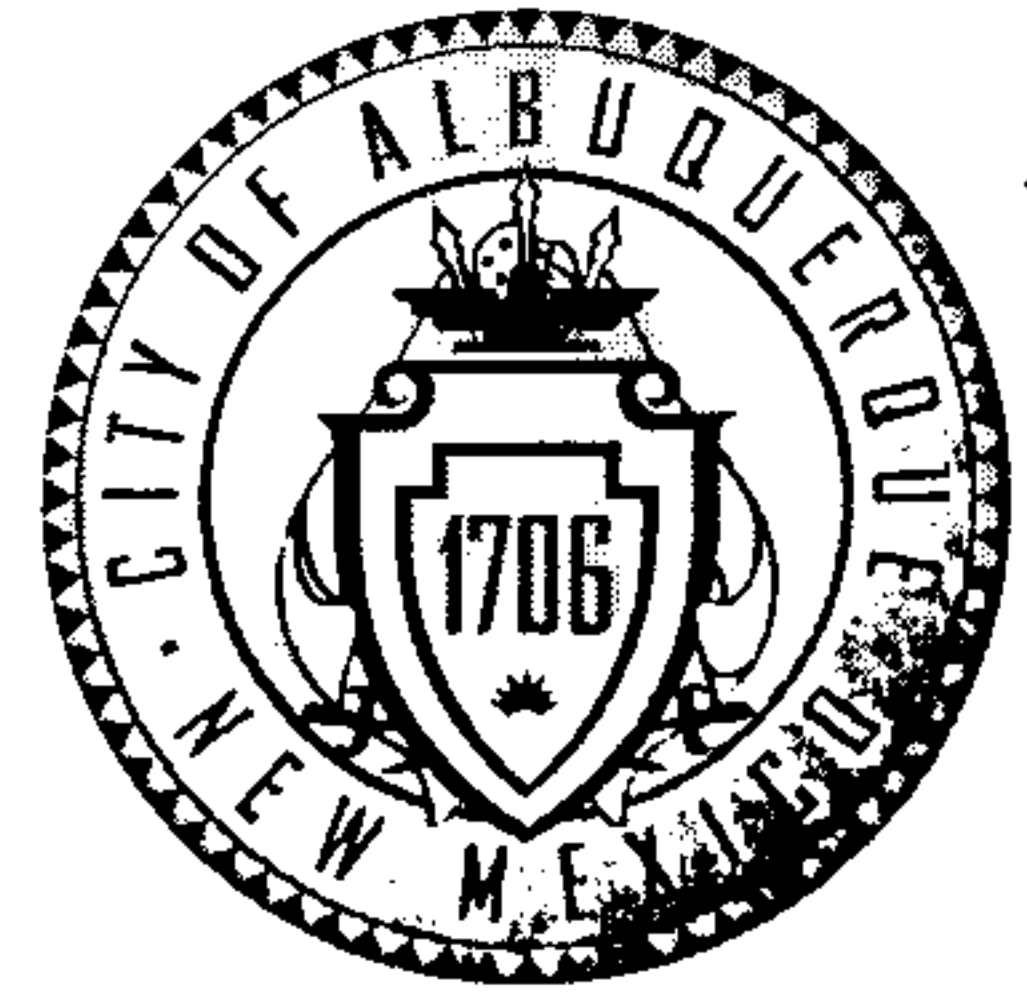
DATE SUBMITTED: 10/27/2014 By: Leslie Ford

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



# CITY OF ALBUQUERQUE



**Planning Department  
Transportation Development Services**

November 12, 2014

Leslie Ford  
Rogue Architects  
513 Main Street, Suite 200  
Fort Worth, Texas 76102

**Re: McDonalds, 6300 San Mateo Blvd.  
Traffic Circulation Layout**  
Architect's Stamp dated 11-05-14 (E18-DO19C)

Dear Ms. Ford,

Based upon the information provided in your submittal received 11-07-14, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Label the McDonald's building as existing. Label width of existing sidewalk along San Mateo Boulevard. If some of the existing curb on the site is to remain, label the existing curb and curb height. (The curb height should be between 6 inches and 8 inches.)
2. List the width for all parking spaces. The minimum width for the parking spaces should be 8.5 feet. Also label the width of the handicap space on the south side of the parking lot.
3. The handicap accessible spaces must include an 8-foot wide van access aisle. Currently, the aisle shown is only 5 feet. Also, label the striping for the handicap accessible aisle and pathway.
4. Include an ADA van accessible sign. This sign must have the required language per 66-7-352.4C NMSA 1978 **"Violators Are Subject to a Fine and/or Towing."** (Provide sign detail on Sheet C10.1 as called out by Keyed Note 7 on the plan sheet.)
5. The 8-foot wide ADA access aisle shall have the words **"NO PARKING"** in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)
6. Per the DPM, a minimum 6-foot wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please widen the existing handicap accessible pathway shown tying into the existing sidewalk at

PO Box 1293

Albuquerque

New Mexico 87103

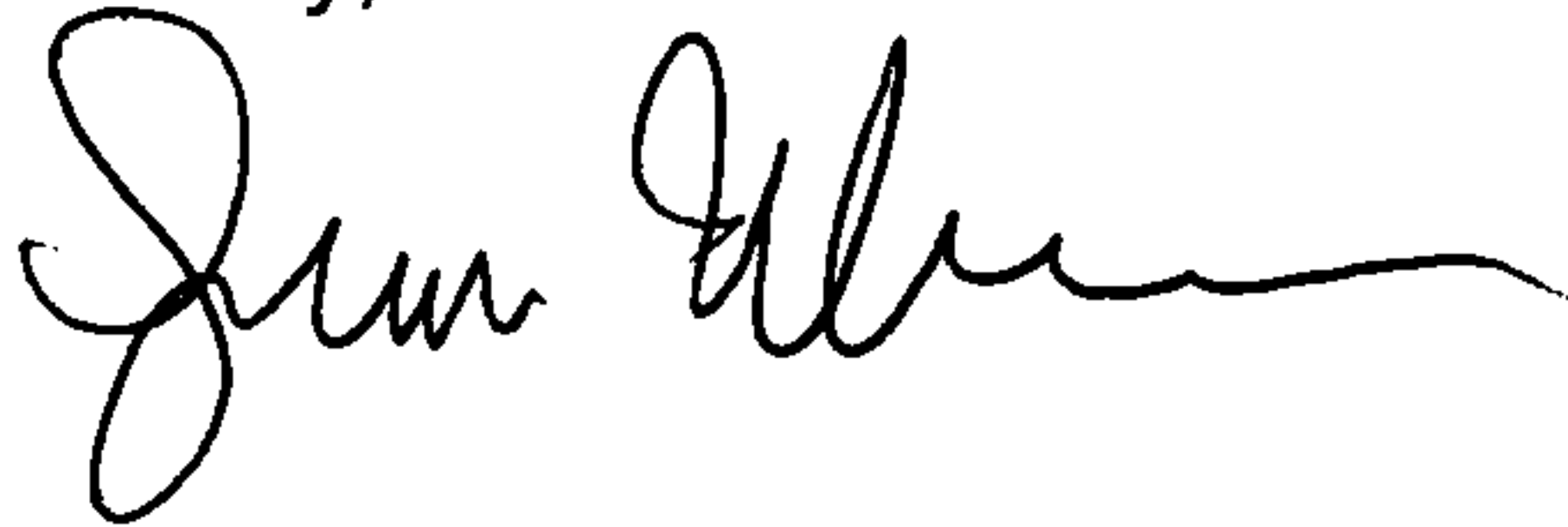
[www.cabq.gov](http://www.cabq.gov)

Academy Boulevard. (Note Comment 3 about the minimum 8-foot wide van accessible aisle.)

7. A 6-inch to 8-inch high curb is required to separate the driving area and parking lot from the sidewalk and landscaped areas. Label the new curb as 6 inches or 8 inches.
8. Label both existing and proposed asphalt for the new parking lot.
9. Show the queue length for the drive-thru.

Resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. If you have any questions, please contact me at (505) 924-3924.

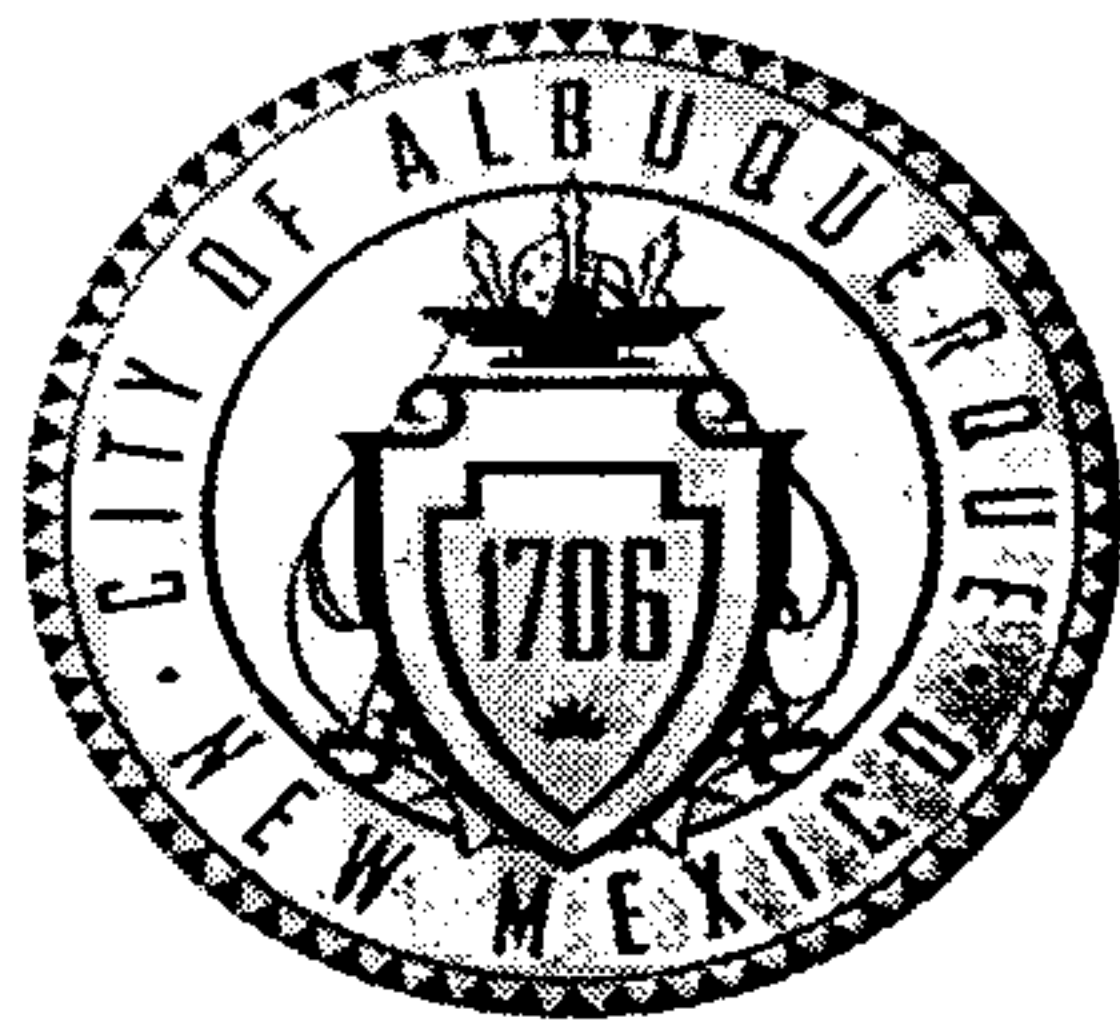
Sincerely,

A handwritten signature in black ink, appearing to read "Jeanne Wolfenbarger", with a long horizontal flourish extending to the right.

Jeanne Wolfenbarger, P.E.  
Senior Engineer, Planning Dept.  
Development Review Services

c: File  
CO Clerk





# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: McDonald's San Mateo Building Permit #: T2014-92777 City Drainage #: E18 D019C  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_  
Legal Description: Tract M of the Summary Plat of the Far North Shopping Center, Albuquerque, NM - Book B12, Page 192  
City Address: 6300 San Mateo SE

Engineering Firm: Adams Engineering Contact: G. Robert Adams, P.E.  
Address: 910 S. Kimball Ave., Southlake, TX 76092  
Phone#: 817-328-3200 Fax#: 817-328-3299 E-mail: rob.adams@adams-engineering.com

Owner: McDonald's Contact: Lee Morris  
Address: 511 E. Carpenter Freeway Irving, TX 75062  
Phone#: 972-869-5346 Fax#: \_\_\_\_\_ E-mail: Lee.Morris@us.mcd.com

Architect: Rogue Architects Contact: Jeremy A. Williams, R.A.  
Address: 513 Main St., Suite 200, Fort Worth, TX 76102  
Phone#: 817-820-0433 Fax#: \_\_\_\_\_ E-mail: Jeremy@roguearchitects.com

Surveyor: Precision Surveys, Inc. Contact: Larry Medrano  
Address: 5571 Midway Park Place NE Albuquerque, NM 87199  
Phone#: 505-856-5700 Fax#: 505-856-7900 E-mail: \_\_\_\_\_

Contractor: Cordova Contracting Contact: Mark Cordova  
Address: 316 Osuna Rd NE, Albuquerque, NM 87107  
Phone#: (505) 243-9675 Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

### TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1st SUBMITTAL  
☐ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)  
☐ ENGINEER'S CERT (HYDROLOGY)  
☐ CLOMR/LOMR  
☒ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ ENGINEER'S CERT (TCL)  
☐ ENGINEER'S CERT (DRB SITE PLAN)  
☐ ENGINEER'S CERT (ESC)  
☐ SO-19  
☐ OTHER (SPECIFY) \_\_\_\_\_

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY (PERM)  
☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)  
☐ FOUNDATION PERMIT APPROVAL  
☒ BUILDING PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ GRADING CERTIFICATION  
☐ SO-19 APPROVAL  
☐ ESC PERMIT APPROVAL  
☐ ESC CERT. ACCEPTANCE  
☐ OTHER (SPECIFY) \_\_\_\_\_

WAS A PRE-DESIGN CONFERENCE ATTENDED: Yes ☒ No ☐ Copy Provided

DATE SUBMITTED: 10/27/2014 By: Leslie Ford

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

513 Main Street  
Suite 200  
Fort Worth, Texas 76102  
Office: 817.820.0433  
Fax: 682.224.8917  
roguearchitects.com



## LETTER OF TRANSMITTAL

November 7, 2014

Monica Ortiz  
City of Albuquerque  
Planning Department – Transportation & Hydrology  
600 2nd St. NW, Suite 201  
Albuquerque, NM 87102  
505-924-3981

**RE: McDonald's – 6300 San Mateo NE - T201492777**

Attached are all documents for the Transportation review of this project.

**Enclosed Items**

(2) 24x36 Transportation Plan Sets  
Transportation Information Sheet

Please feel free to contact me with any questions or concerns.

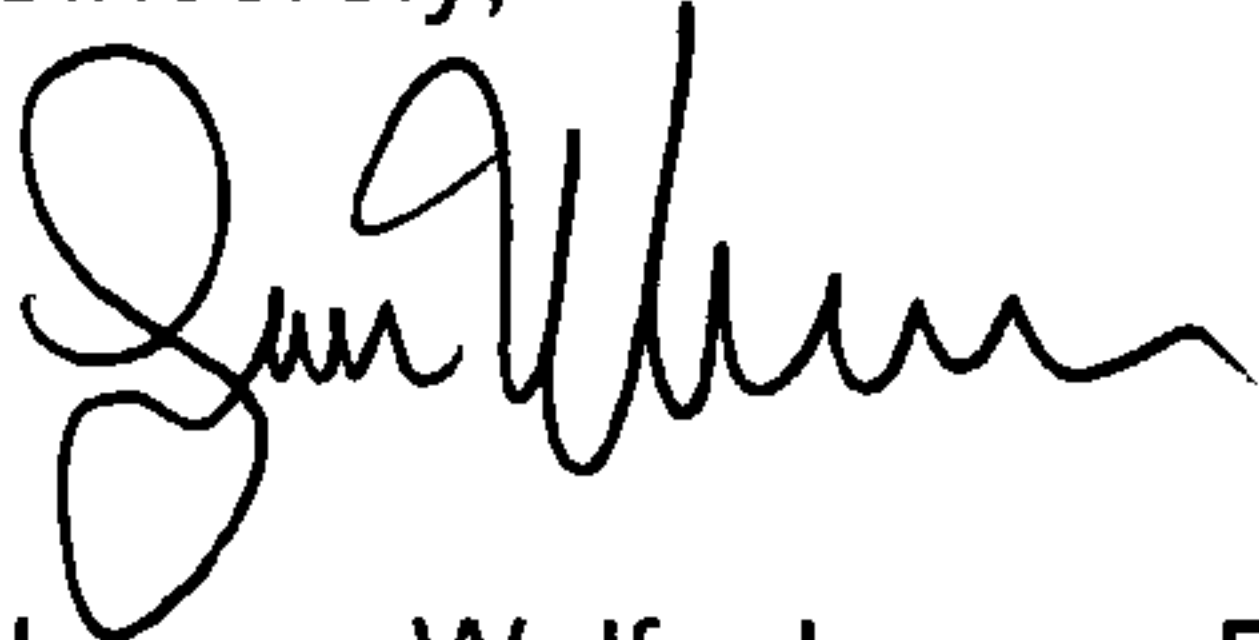
Sincerely,  
Leslie Ford  
Director, Development Services  
[leslie@roguearchitects.com](mailto:leslie@roguearchitects.com)  
817-820-0433 / 325-370-9965

Academy Boulevard. (Note Comment 3 about the minimum 8-foot wide van accessible aisle.)

7. A 6-inch to 8-inch high curb is required to separate the driving area and parking lot from the sidewalk and landscaped areas. Label the new curb as 6 inches or 8 inches.
8. Label both existing and proposed asphalt for the new parking lot.
9. Show the queue length for the drive-thru.

Resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. If you have any questions, please contact me at (505) 924-3924.

Sincerely,

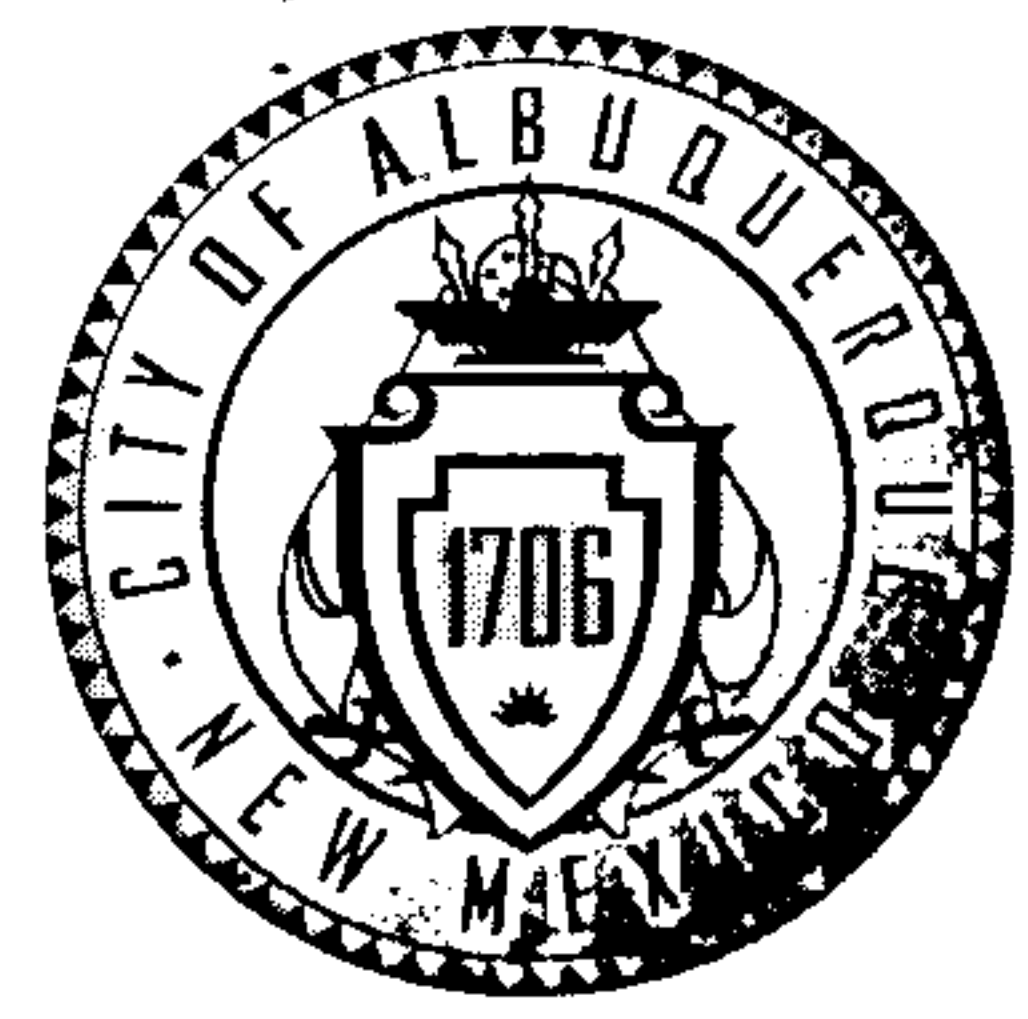
A handwritten signature in black ink, appearing to read 'Jeanne Wolfenbarger', with a stylized, cursive script.

Jeanne Wolfenbarger, P.E.  
Senior Engineer, Planning Dept.  
Development Review Services

c: File  
CO Clerk



# CITY OF ALBUQUERQUE



**Planning Department  
Transportation Development Services**

November 12, 2014

Leslie Ford  
Rogue Architects  
513 Main Street, Suite 200  
Fort Worth, Texas 76102

**Re: McDonalds, 6300 San Mateo Blvd.  
Traffic Circulation Layout**  
Architect's Stamp dated 11-05-14 (E18-DO19C)

Dear Ms. Ford,

Based upon the information provided in your submittal received 11-07-14, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Label the McDonald's building as existing. Label width of existing sidewalk along San Mateo Boulevard. If some of the existing curb on the site is to remain, label the existing curb and curb height. (The curb height should be between 6 inches and 8 inches.)
2. List the width for all parking spaces. The minimum width for the parking spaces should be 8.5 feet. Also label the width of the handicap space on the south side of the parking lot.
3. The handicap accessible spaces must include an 8-foot wide van access aisle. Currently, the aisle shown is only 5 feet. Also, label the striping for the handicap accessible aisle and pathway.
4. Include an ADA van accessible sign. This sign must have the required language per 66-7-352.4C NMSA 1978 **"Violators Are Subject to a Fine and/or Towing."** (Provide sign detail on Sheet C10.1 as called out by Keyed Note 7 on the plan sheet.)
5. The 8-foot wide ADA access aisle shall have the words **"NO PARKING"** in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)
6. Per the DPM, a minimum 6-foot wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please widen the existing handicap accessible pathway shown tying into the existing sidewalk at

PO Box 1293

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

513 Main Street  
Suite 200  
Fort Worth, Texas 76102  
Office: 817.820.0433  
Fax: 682.224.8917  
roguearchitects.com



## LETTER OF TRANSMITTAL

December 3, 2014

Monica Ortiz  
City of Albuquerque  
Planning Department – Transportation & Hydrology  
600 2nd St. NW, Suite 201  
Albuquerque, NM 87102  
505-924-3981

**RE: McDonald's – 6300 San Mateo NE - T201492777**

Attached are all documents for the Transportation review of this project.

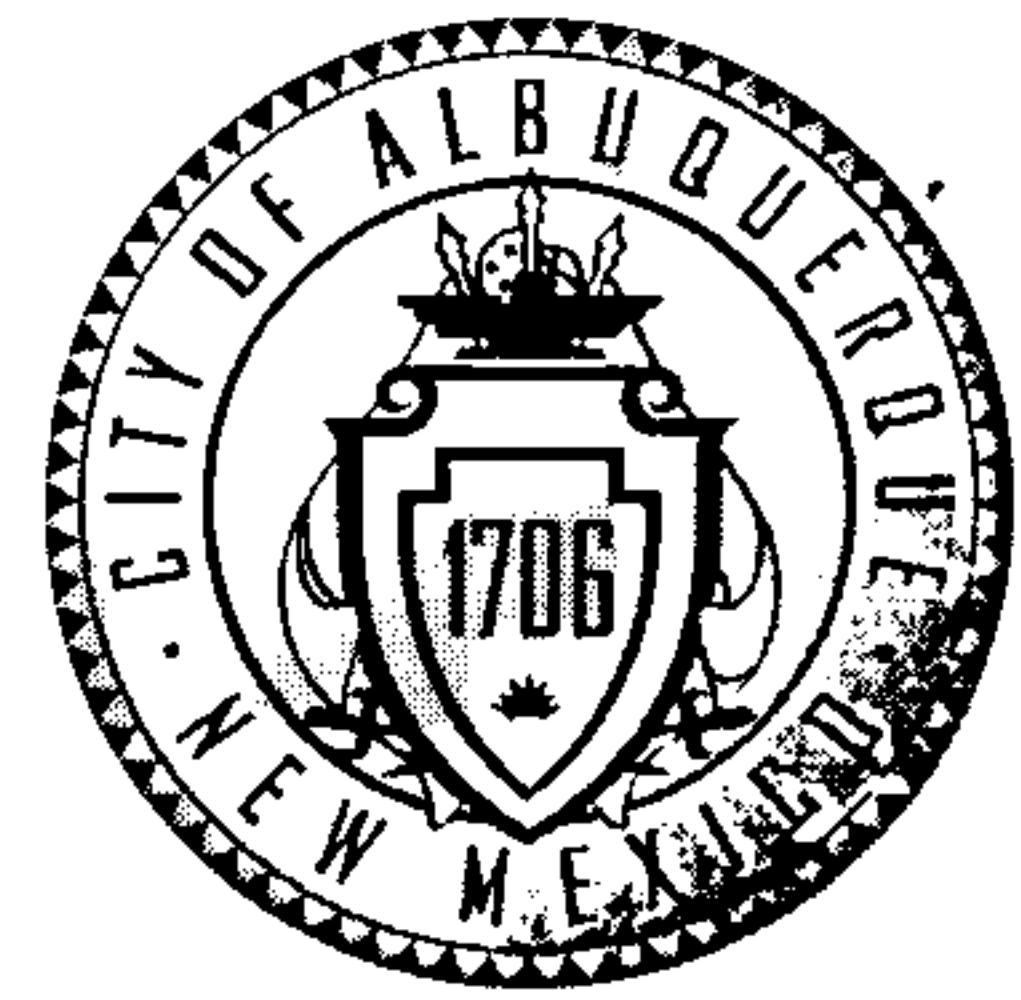
**Enclosed Items**

(2) 24x36 Transportation Plan Sets

Please feel free to contact me with any questions or concerns.

Sincerely,  
Leslie Ford  
Director, Development Services  
[leslie@roguearchitects.com](mailto:leslie@roguearchitects.com)  
817-820-0433 / 325-370-9965

# CITY OF ALBUQUERQUE



**Planning Department  
Transportation Development Services**

December 16, 2014

Leslie Ford  
Rogue Architects  
513 Main Street, Suite 200  
Fort Worth, Texas 76102

**Re: McDonalds, 6300 San Mateo Blvd.  
Traffic Circulation Layout**  
Engineer's Stamp dated 12-02-14 (E18-DO19C)

Dear Ms. Ford:

The TCL submittal received 12-12-14 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

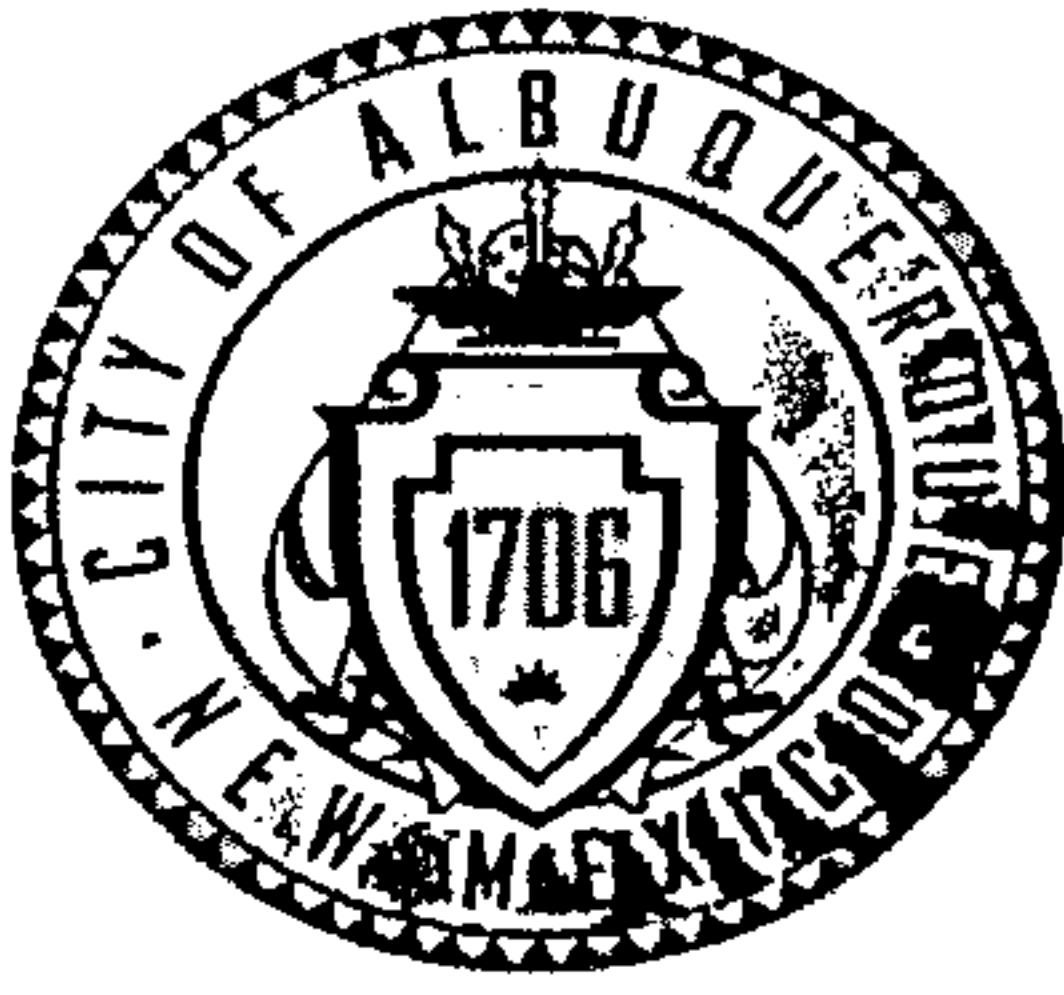
Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Jeanne Wolfenbarger, P.E.  
Senior Engineer, Planning Dept.  
Development Review Services

c: File  
CO Clerk





# City of Albuquerque

## Planning Department

### Development & Building Services Division

#### DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: McDonald's San Mateo Building Permit #: T2014-92777 City Drainage #: E18D019C  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_  
Legal Description: Tract M of the Summary Plat of the Far North Shopping Center, Albuquerque, NM - Book B12, Page 192  
City Address: 6300 San Mateo SE

Engineering Firm: Adams Engineering Contact: G. Robert Adams, P.E.  
Address: 910 S. Kimball Ave., Southlake, TX 76092  
Phone#: 817-328-3200 Fax#: 817-328-3299 E-mail: rob.adams@adams-engineering.com

Owner: McDonald's Contact: Lee Morris  
Address: 511 E. Carpenter Freeway Irving, TX 75062  
Phone#: 972-869-5346 Fax#: \_\_\_\_\_ E-mail: Lee.Morris@us.mcd.com

Architect: Rogue Architects Contact: Jeremy A. Williams, R.A.  
Address: 513 Main St., Suite 200, Fort Worth, TX 76102  
Phone#: 817-820-0433 Fax#: \_\_\_\_\_ E-mail: Jeremy@roguearchitects.com

Surveyor: Precision Surveys, Inc. Contact: Larry Medrano  
Address: 5571 Midway Park Place NE Albuquerque, NM 87199  
Phone#: 505-856-5700 Fax#: 505-856-7900 E-mail: \_\_\_\_\_

Contractor: Cordova Contracting Contact: Mark Cordova  
Address: 316 Osuna Rd NE, Albuquerque, NM 87107  
Phone#: (505) 243-9675 Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

#### TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1st SUBMITTAL  
☐ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)  
☐ ENGINEER'S CERT (HYDROLOGY)  
☐ CLOMR/LOMR  
☒ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ ENGINEER'S CERT (TCL)  
☐ ENGINEER'S CERT (DRB SITE PLAN)  
☐ ENGINEER'S CERT (ESC)  
☐ SO-19  
☐ OTHER (SPECIFY) \_\_\_\_\_

#### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY (PERM)  
☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)  
☐ FOUNDATION PERMIT APPROVAL  
☒ BUILDING PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ GRADING CERTIFICATION  
☐ SO-19 APPROVAL  
☐ ESC PERMIT APPROVAL  
☐ ESC CERT. ACCEPTANCE  
☐ OTHER (SPECIFY) \_\_\_\_\_

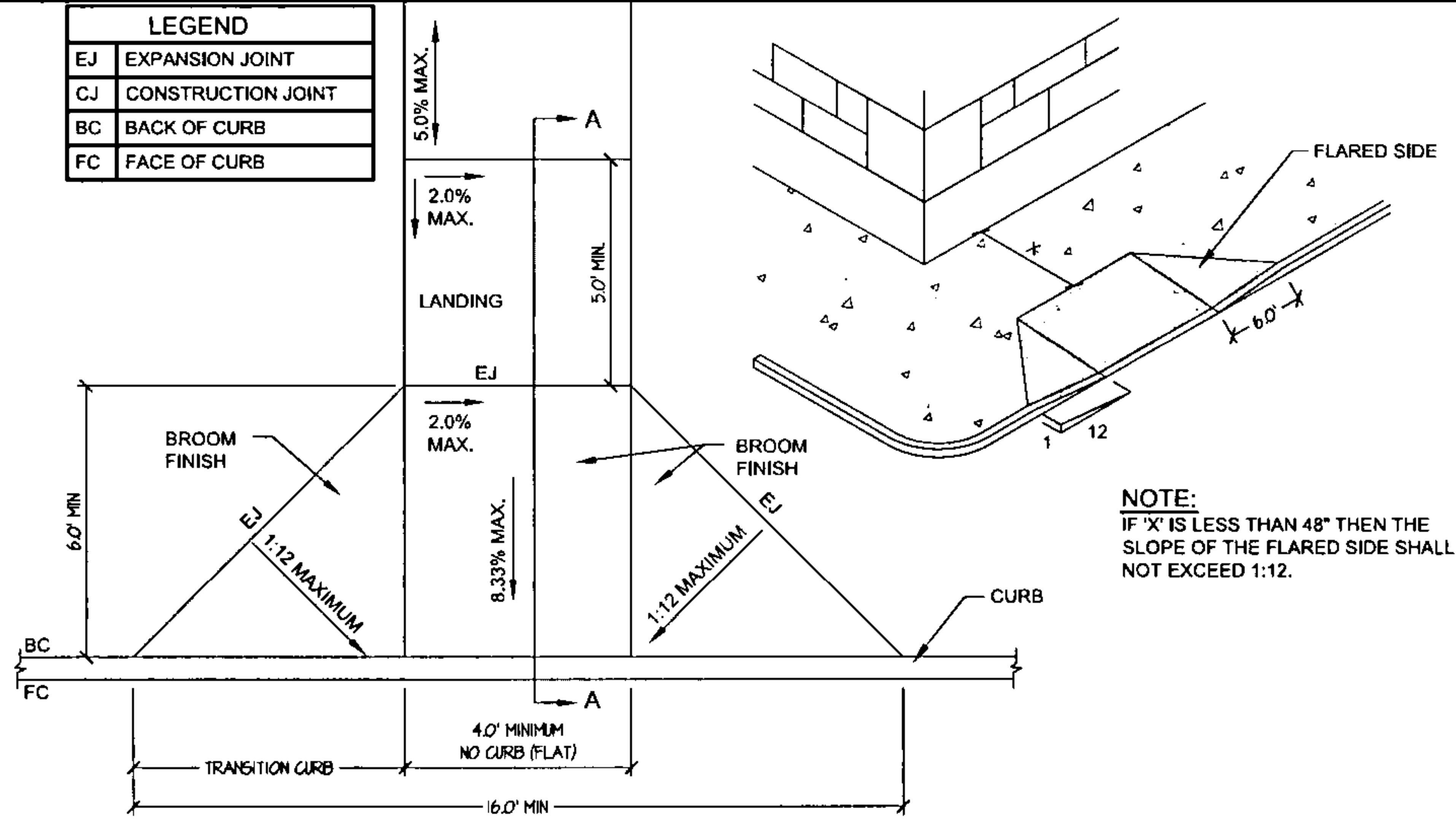
WAS A PRE-DESIGN CONFERENCE ATTENDED: \_\_\_\_\_ Yes ☒ No \_\_\_\_\_ Copy Provided

DATE SUBMITTED: 10/27/2014 By: Leslie Ford

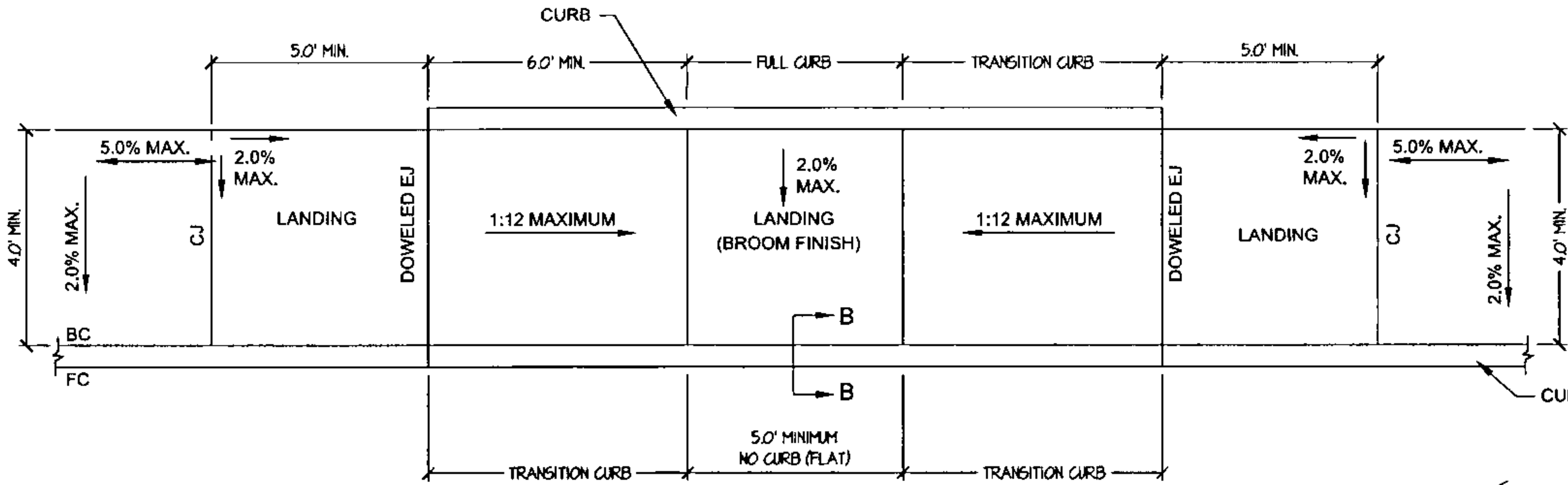
Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

LEGEND	
EJ	EXPANSION JOINT
CJ	CONSTRUCTION JOINT
BC	BACK OF CURB
FC	FACE OF CURB

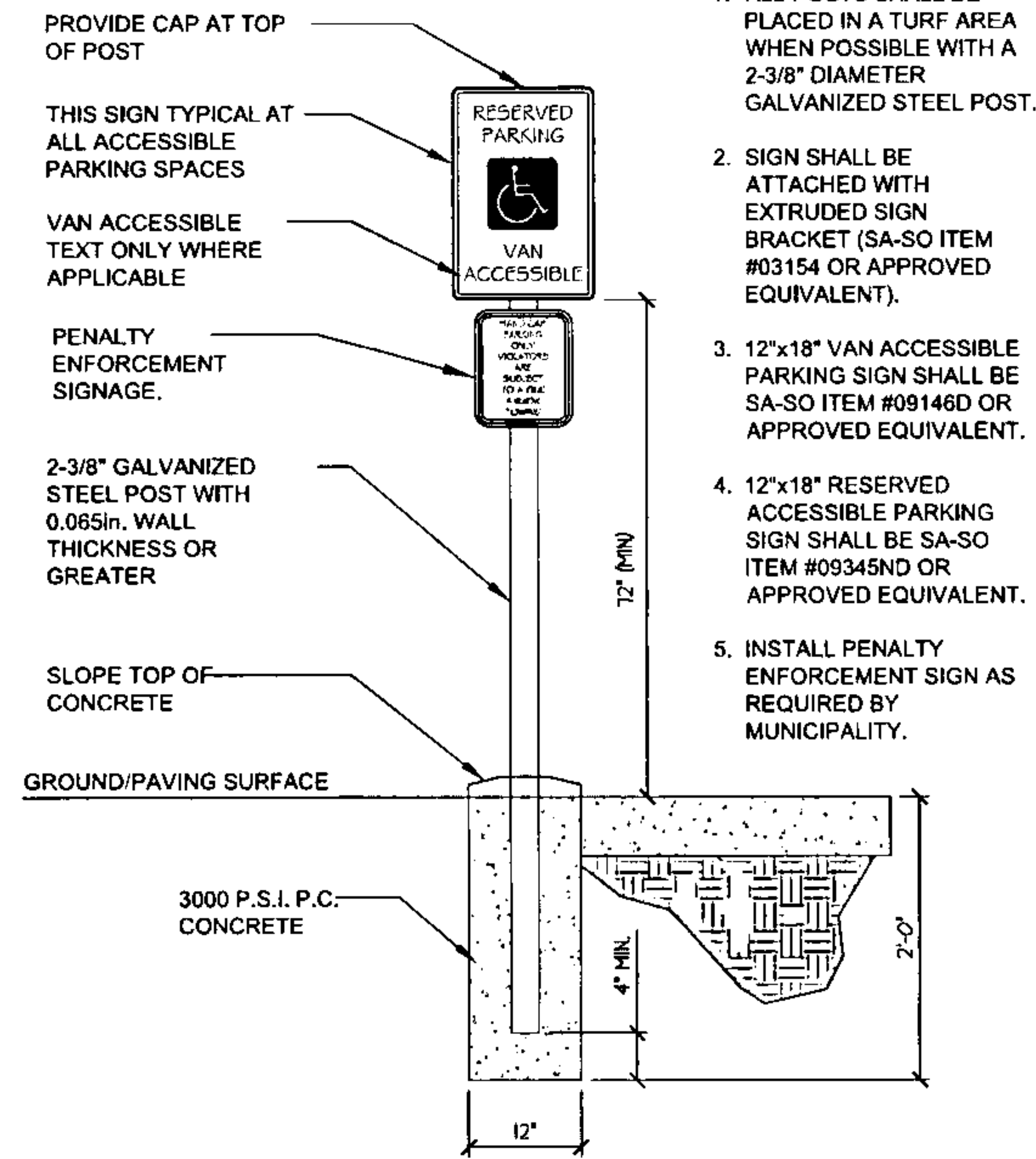


**FLARED RAMP DETAIL - TYPE "A"**  
 NOT TO SCALE



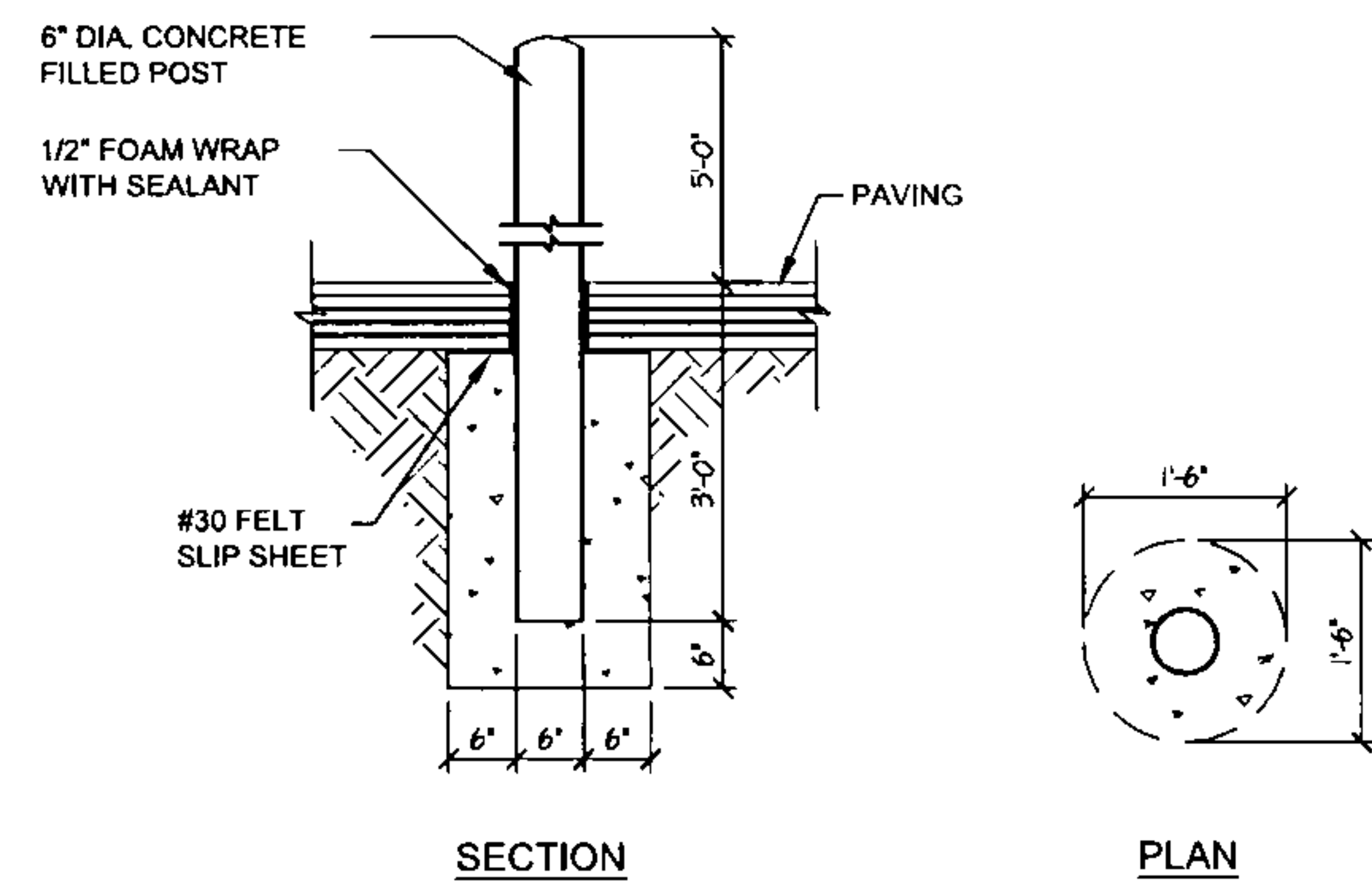
LEGEND	
EJ	EXPANSION JOINT
CJ	CONSTRUCTION JOINT
BC	BACK OF CURB
FC	FACE OF CURB

**PARALLEL CURB RAMP - TYPE "B"**  
 NOT TO SCALE

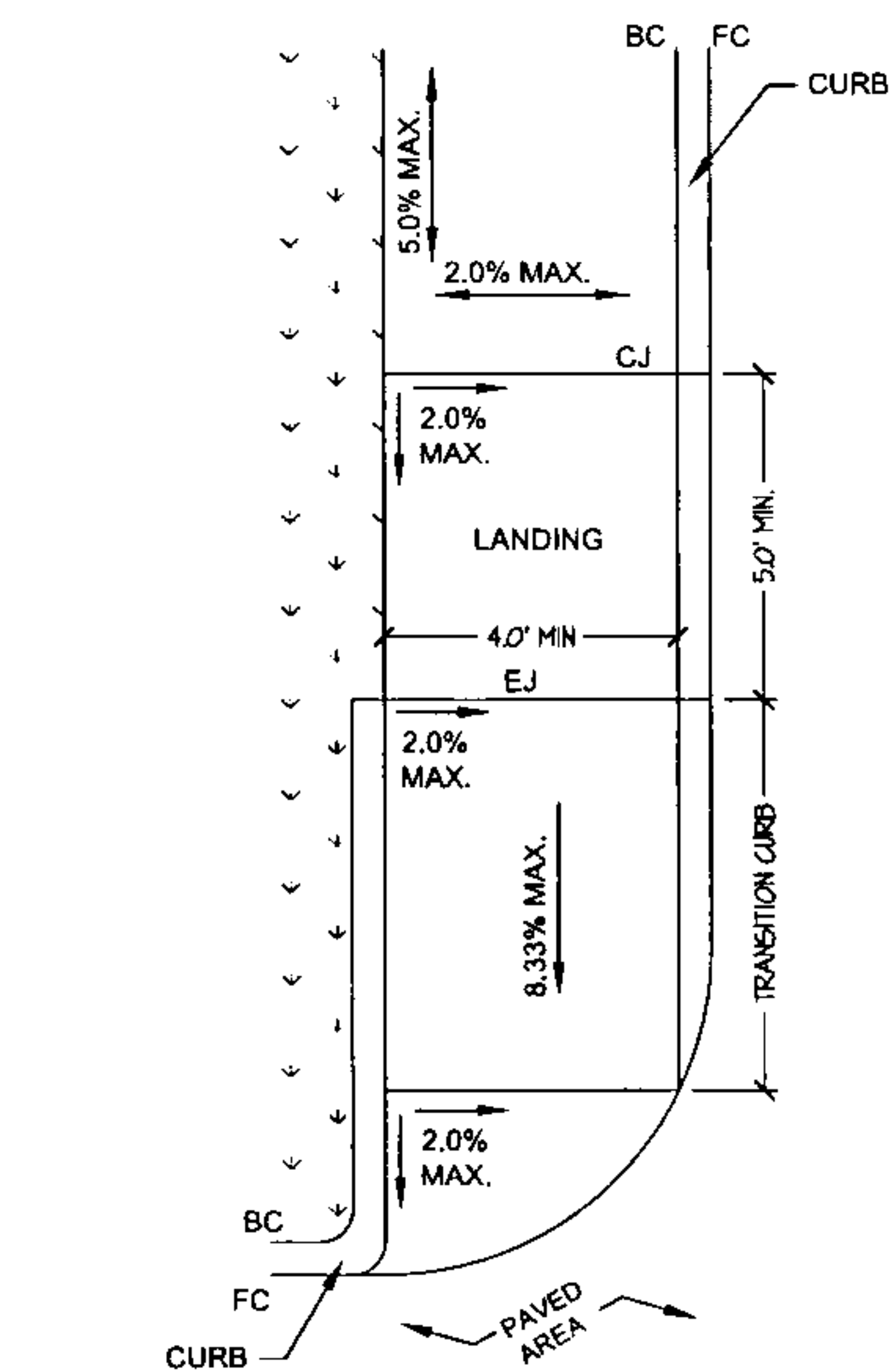


**ACCESSIBLE PARKING SIGN DETAIL**  
 NOT TO SCALE

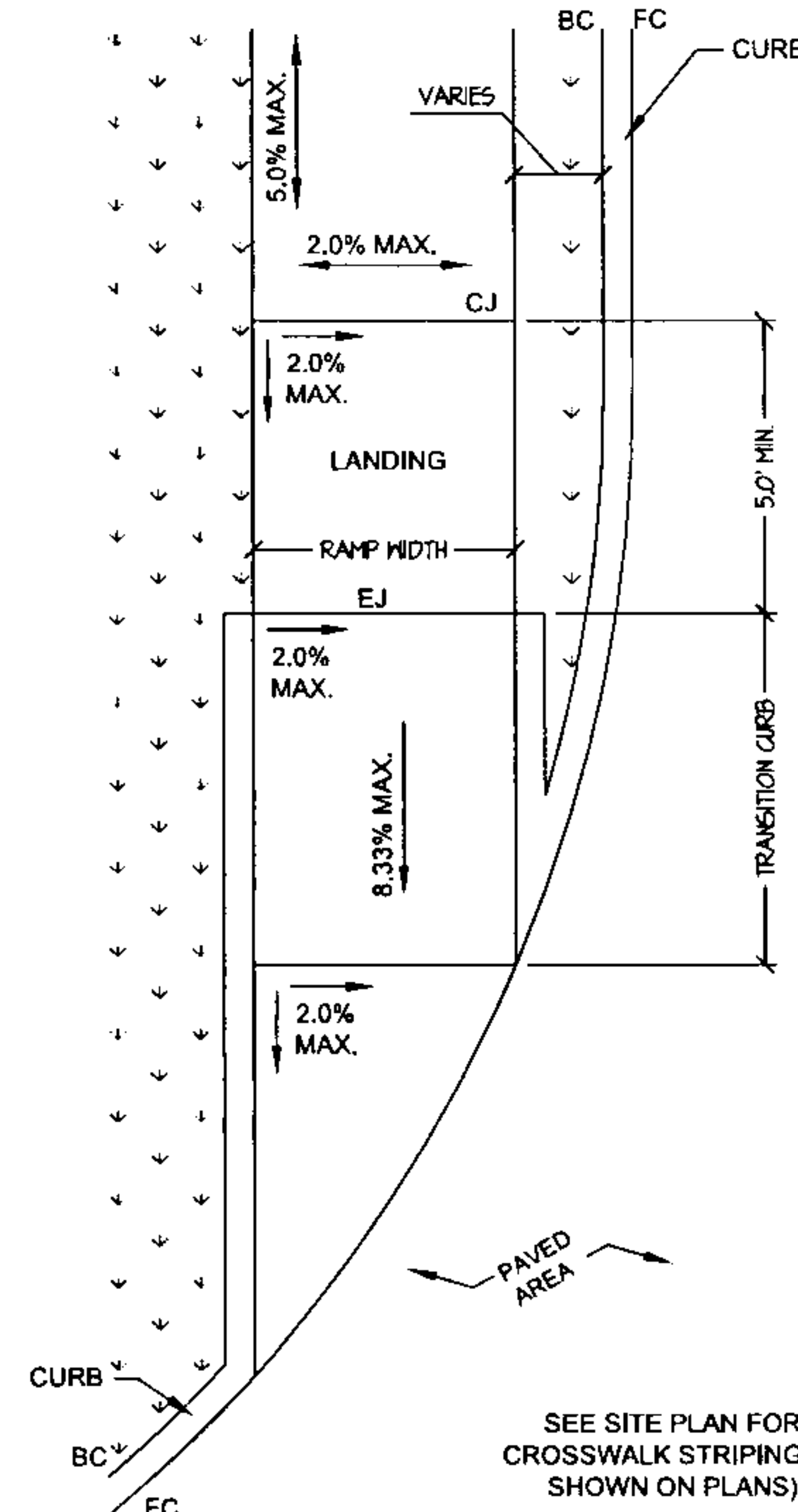
- NOTE:**
1. ALL POSTS SHALL BE PLACED IN A TURF AREA WHEN POSSIBLE WITH A 2-3/8" DIAMETER GALVANIZED STEEL POST.
  2. SIGN SHALL BE ATTACHED WITH EXTRUDED SIGN BRACKET (SA-SO ITEM #03154 OR APPROVED EQUIVALENT).
  3. 12"x18" VAN ACCESSIBLE PARKING SIGN SHALL BE SA-SO ITEM #09146D OR APPROVED EQUIVALENT.
  4. 12"x18" RESERVED ACCESSIBLE PARKING SIGN SHALL BE SA-SO ITEM #09345ND OR APPROVED EQUIVALENT.
  5. INSTALL PENALTY ENFORCEMENT SIGN AS REQUIRED BY MUNICIPALITY.



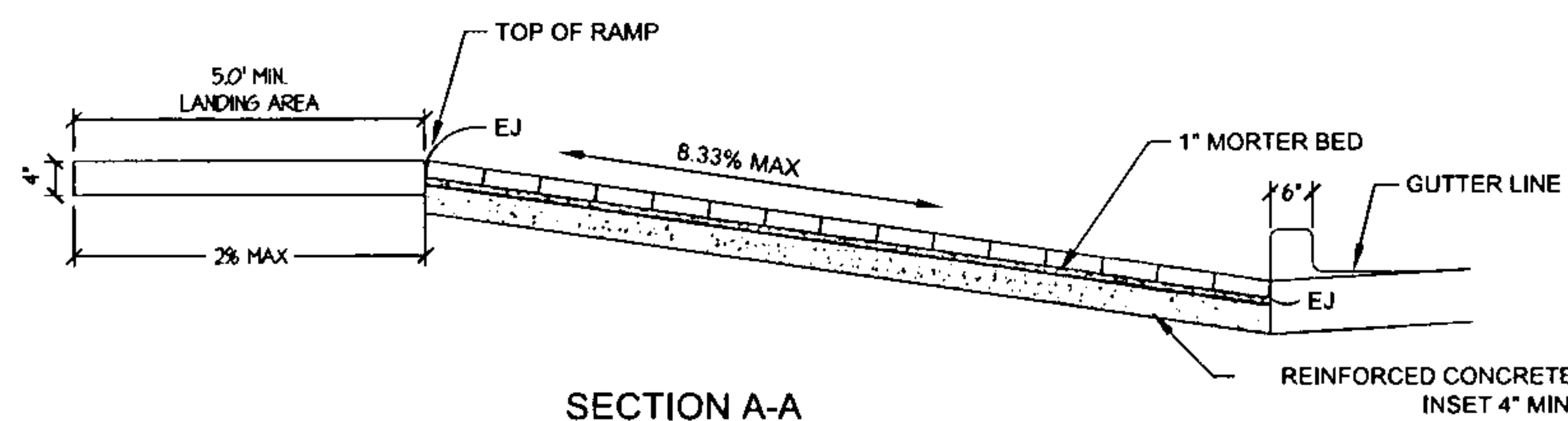
**D/T POST FOOTING (BOLLARD) DETAIL**  
 NOT TO SCALE



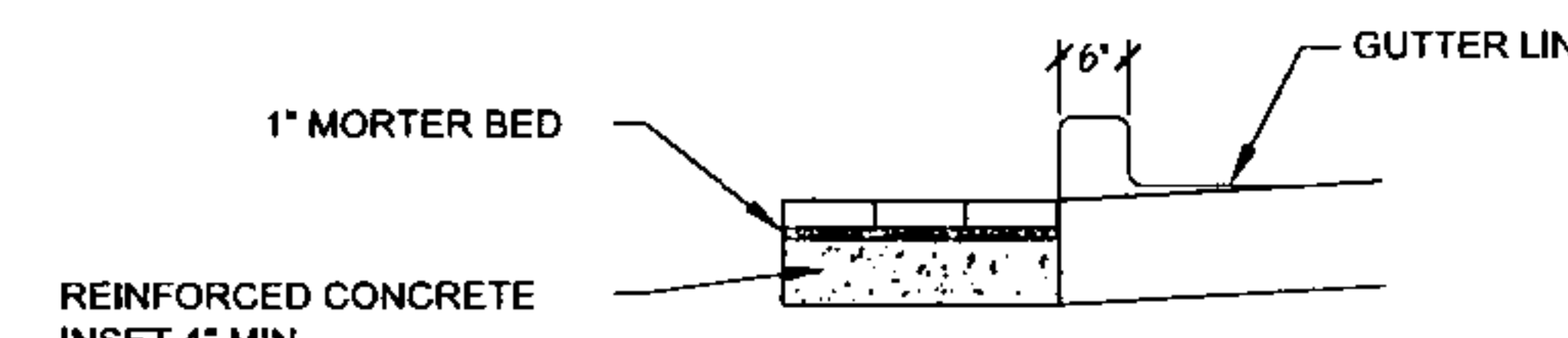
**DIRECTIONAL RAMP WITH RADIUS DETAIL**  
 NOT TO SCALE - SIDEWALK ADJACENT TO CURB



**DIRECTIONAL RAMP WITH RADIUS DETAIL**  
 NOT TO SCALE - SIDEWALK SETBACK FROM CURB



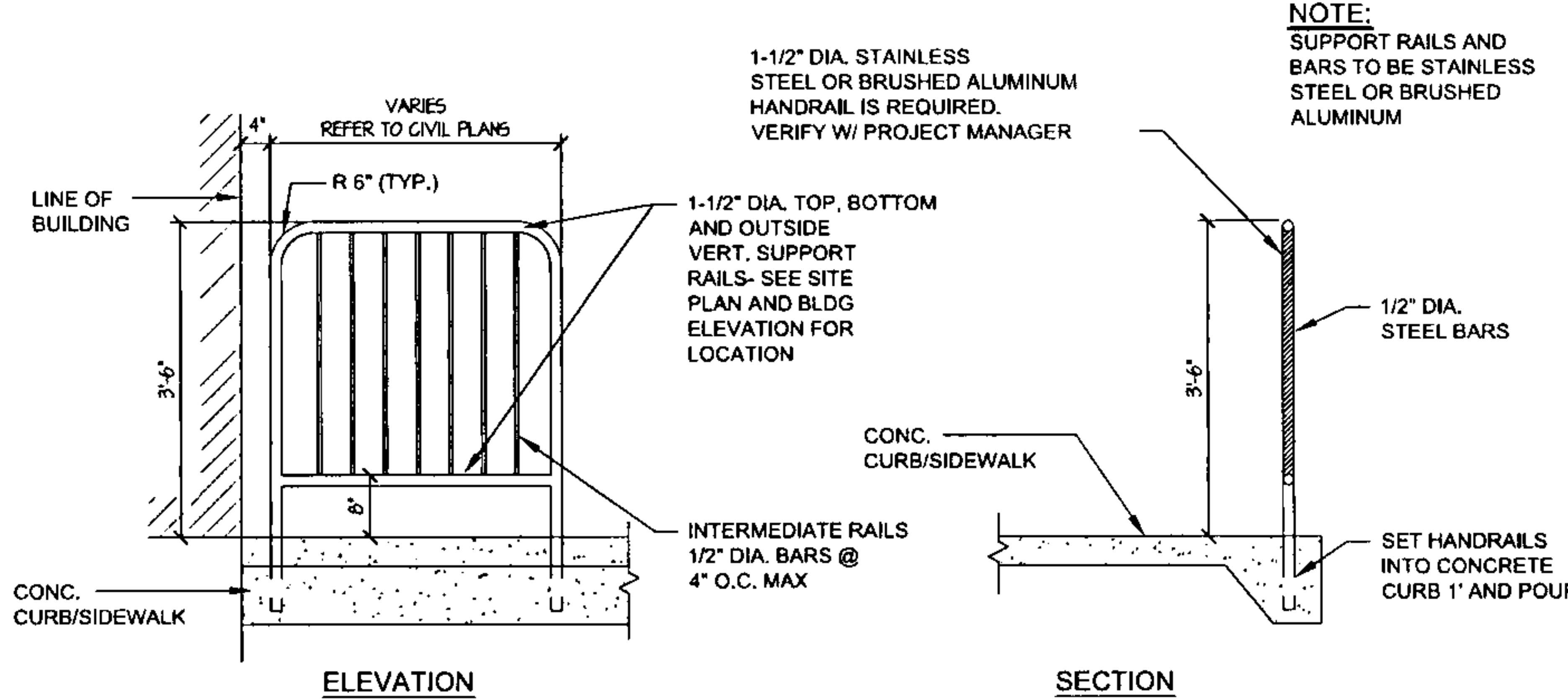
**SECTION A-A**



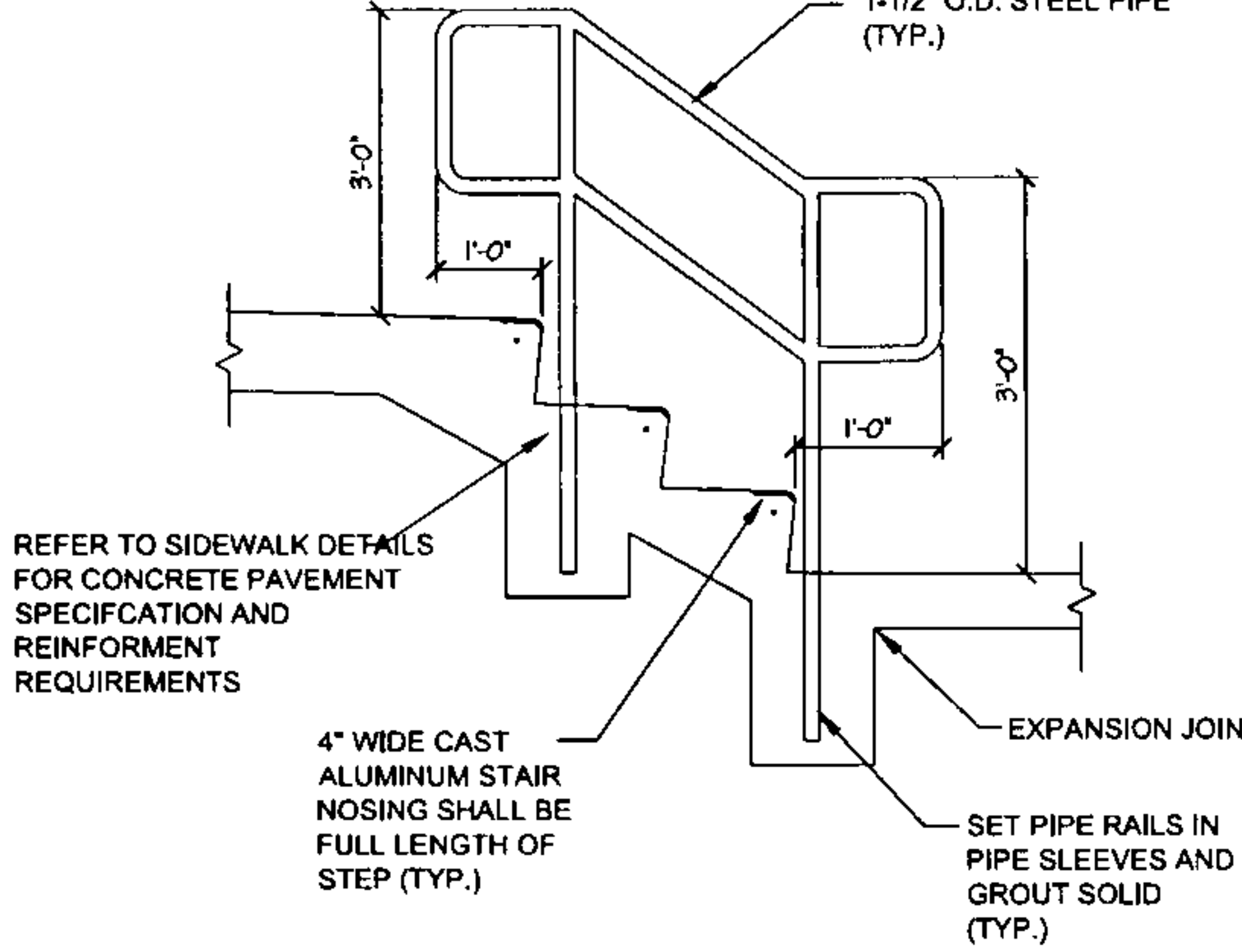
**SECTION B-B**

**GENERAL NOTES**

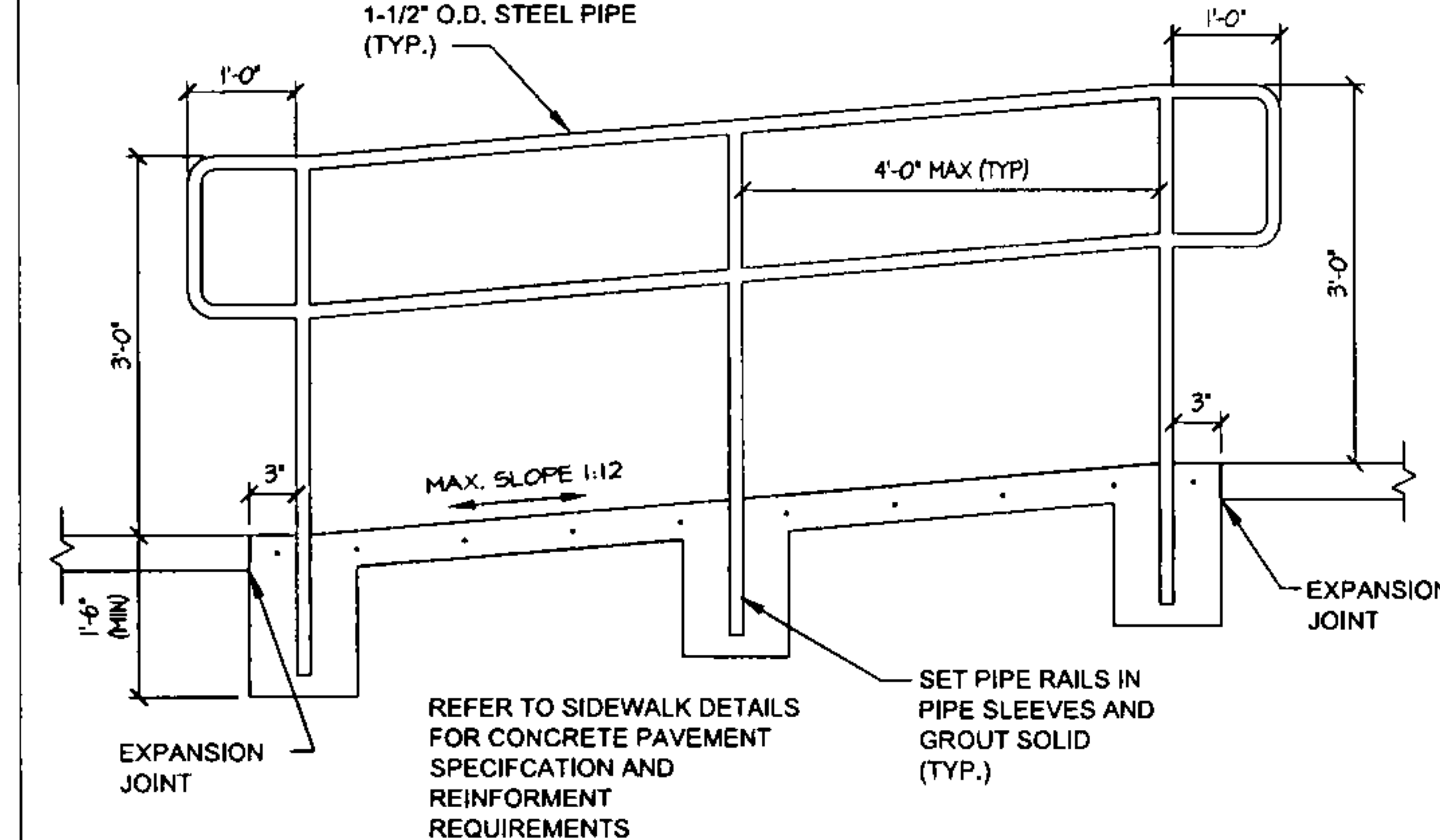
- NOTES:**
1. CROSS SLOPE NOT TO EXCEED 2% ON ANY PORTION OF RAMP OR TRANSITION STREET.
  2. RAMP SHALL BE CONSTRUCTED PER ADA & APPLICABLE STATE ACCESSIBILITY STANDARDS.
  3. CURB RAMP SHALL BE MONOLITHIC CONCRETE PLACEMENT & SEPARATED FROM SITE PAVING WITH A DOWELED EXPANSION JOINT.



**GUARDRAIL @ INGRESS / EGRESS DOOR**  
 NOT TO SCALE



**HANDRAIL DETAIL @ EXTERIOR STAIRS**  
 NOT TO SCALE

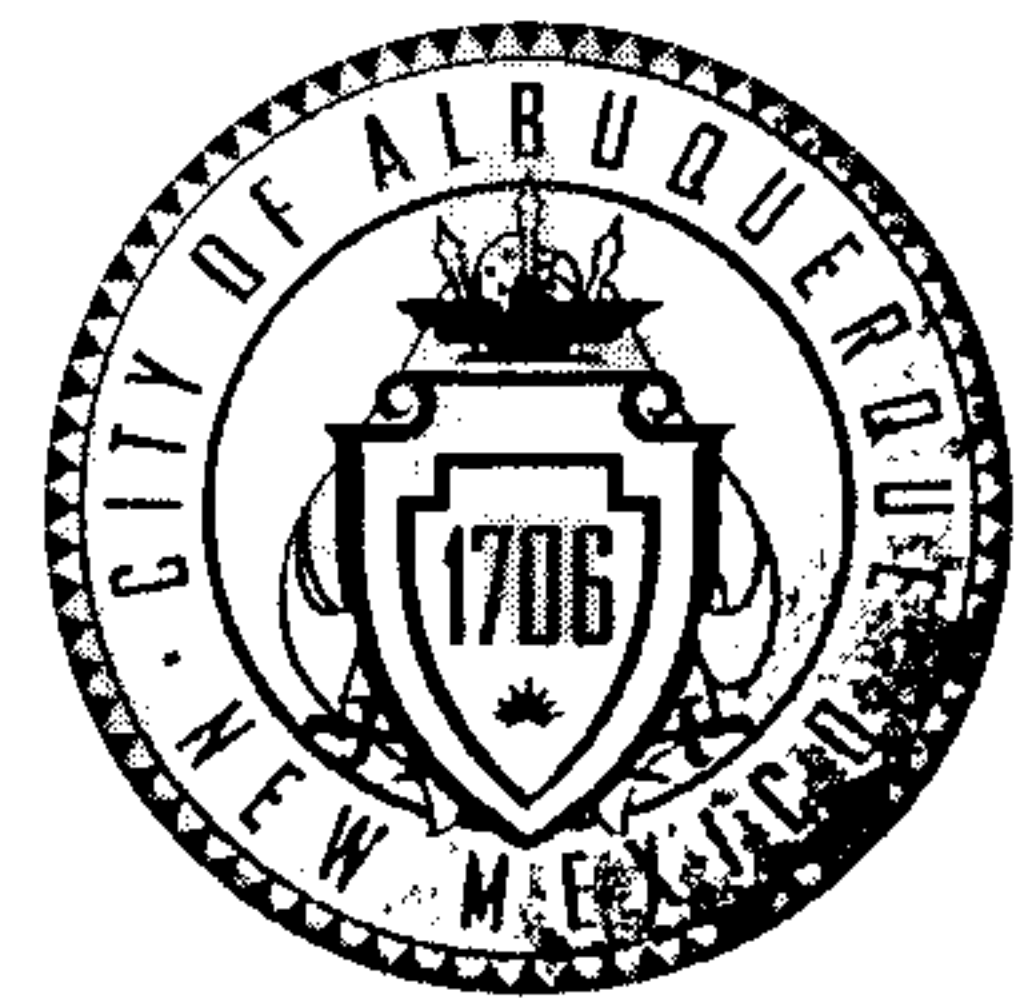


**HANDRAIL DETAIL @ ACCESSIBLE RAMP**  
 NOT TO SCALE

910 S. Kirtland Avenue • Southlake, Texas 76095 • (817) 334-1394	12.2.14
OFFICE: GREATER SOUTHWEST ADDRESS: KROC DRIVE - OAK BROOK, ILLINOIS 60521	ADDRESS: 6300 SAN MATEO BLVD NE ALBUQUERQUE, NEW MEXICO
<b>McDONALD'S</b>	THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF ADAMS ENGINEERING AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.
PLAN APPROVALS SIGNATURE (2 REQUIRED) DATE	CO-SIGN SIGNATURES REGIONAL MGR. CONST. MGR. OPERATIONS DEPT. REAL ESTATE DEPT. CONTRACTOR OWNER
STATUS DATE DRAWN PLAN CHECKED AS-BUILT	DATE JULY 2014 10/6/14 BY LMG DWL
<b>C10.1</b>	



# CITY OF ALBUQUERQUE



May 25, 2016

Dennis Lang  
Adams Engineering  
8951 Cypress Waters Blvd., Suite 150  
Dallas, Texas 75019

**Re: McDonanld's**  
**6300 San Mateo Blvd, NE**  
**Request for Certificate of Occupancy- Transportation Development**  
Engineer's/Architect's Stamp dated 12-2-14 (E18-D019C)  
Certification dated 5-18-16

Dear Lang,

Based upon the information provided in your submittal received 5-18-16, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact Gary Sandoval at (505) 924-3675 or me at (505)924-3991.

Sincerely,

Racquel M. Michel, P.E.  
Traffic Engineer, Planning Dept.  
Development Review Services

\gs via: email  
C: CO Clerk, File





# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Need: HC Signs, striping  
Exit Directional Arrows  
to be emailed  
received 5/25/16

Project Title: McDonald's San Mateo Building Permit #: T2014-92777 City Drainage #: E18D019C  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_  
Legal Description: Tract M, Far North Shopping Center, within the Elena Gallegos Grant, Projected Section 26, T11N, R3E, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, NM  
City Address: 6300 San Mateo Blvd. NE

Engineering Firm: Adams Engineering Contact: G. Robert Adams, P.E.  
Address: 8951 Cypress Waters Blvd., Suite 150  
Phone#: 817-328-3200 Fax#: 817-328-3299 E-mail: rob.adams@adams-engineering.com

Owner: McDonald's Contact: Antwan Smith  
Address: 511 E. Carpenter Freeway, Irving, TX 75062  
Phone#: 817.240.0744 Fax#: \_\_\_\_\_ E-mail: antwan.smith@us.mcd.com

Architect: Rogue Architects Contact: Jeremy A. Williams, R.A.  
Address: 513 Main St., Suite 200, Fort Worth, TX 76102  
Phone#: 817-820-0433 Fax#: \_\_\_\_\_ E-mail: Jeremy@roguearchitects.com

Surveyor: Precision Surveys, Inc. Contact: Larry W. Medrano, P.S.  
Address: 5571 Midway Park Place NE, Albuquerque, NM 87109  
Phone#: 505-856-5700 Fax#: 505-856-7900 E-mail: larry@presurv.com

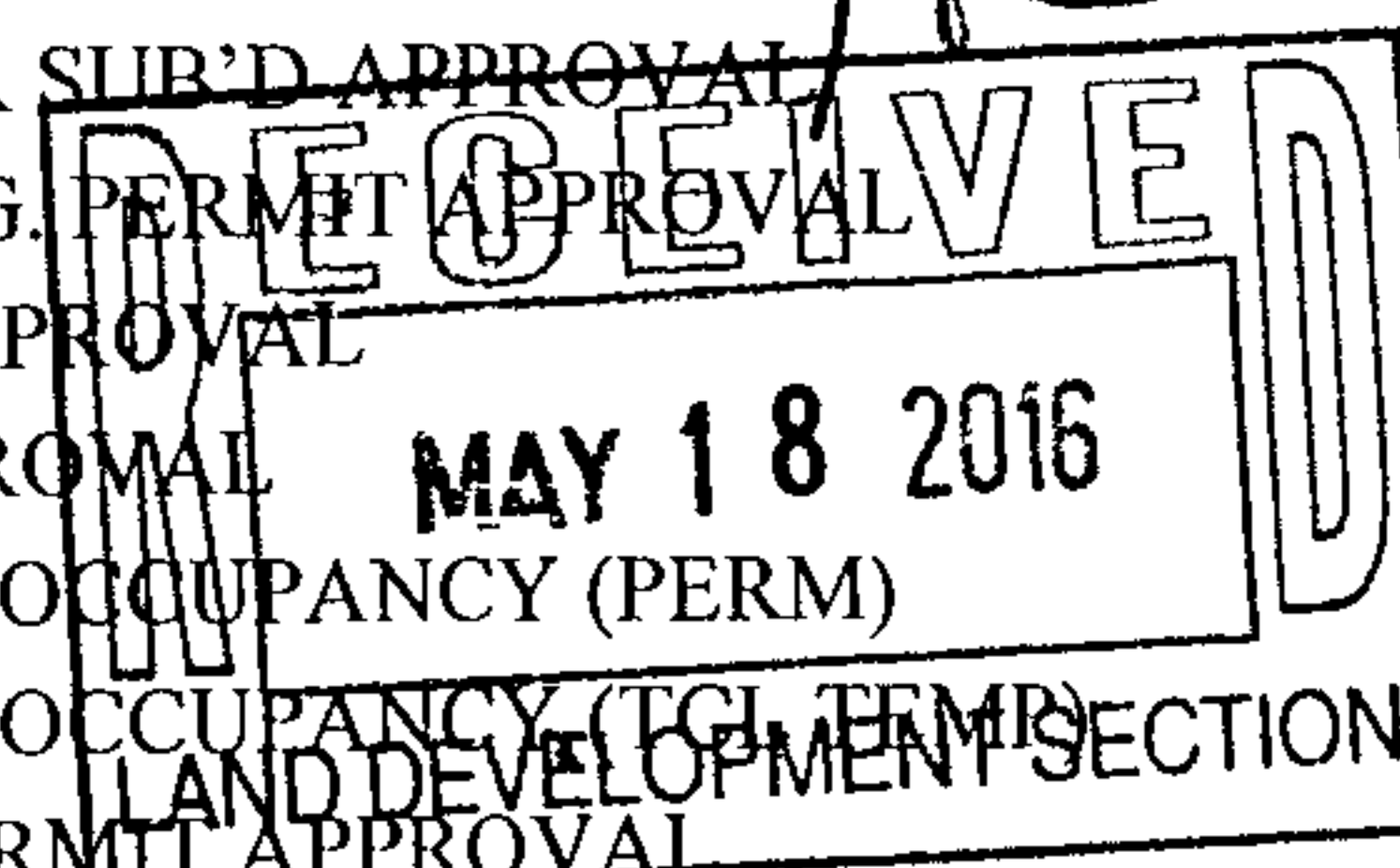
Contractor: Cordova Contracting, LLC Contact: Mark Cordova  
Address: 316 Osuna Rd. NE, Ste 202, Albuquerque, NM 87107  
Phone#: 505-243-9675 Fax#: \_\_\_\_\_ E-mail: mark@cordovallc.com

### TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1st SUBMITTAL  
☐ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)  
☒ ENGINEER'S CERT (HYDROLOGY)  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☒ ENGINEER'S CERT (TCL)  
☒ ENGINEER'S CERT (DRB SITE PLAN)  
☐ ENGINEER'S CERT (ESC)  
☐ SO-19  
☐ OTHER (SPECIFY) \_\_\_\_\_

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☒ CERTIFICATE OF OCCUPANCY (PERM)  
☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)  
☐ FOUNDATION PERMIT APPROVAL  
☐ BUILDING PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ GRADING CERTIFICATION  
☐ SO-19 APPROVAL  
☐ ESC PERMIT APPROVAL  
☐ ESC CERT. ACCEPTANCE  
☐ OTHER (SPECIFY) \_\_\_\_\_



WAS A PRE-DESIGN CONFERENCE ATTENDED: \_\_\_\_\_ Yes ☒ No \_\_\_\_\_ Copy Provided \_\_\_\_\_

DATE SUBMITTED: May 18, 2016 By: Dennis Lang PE

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



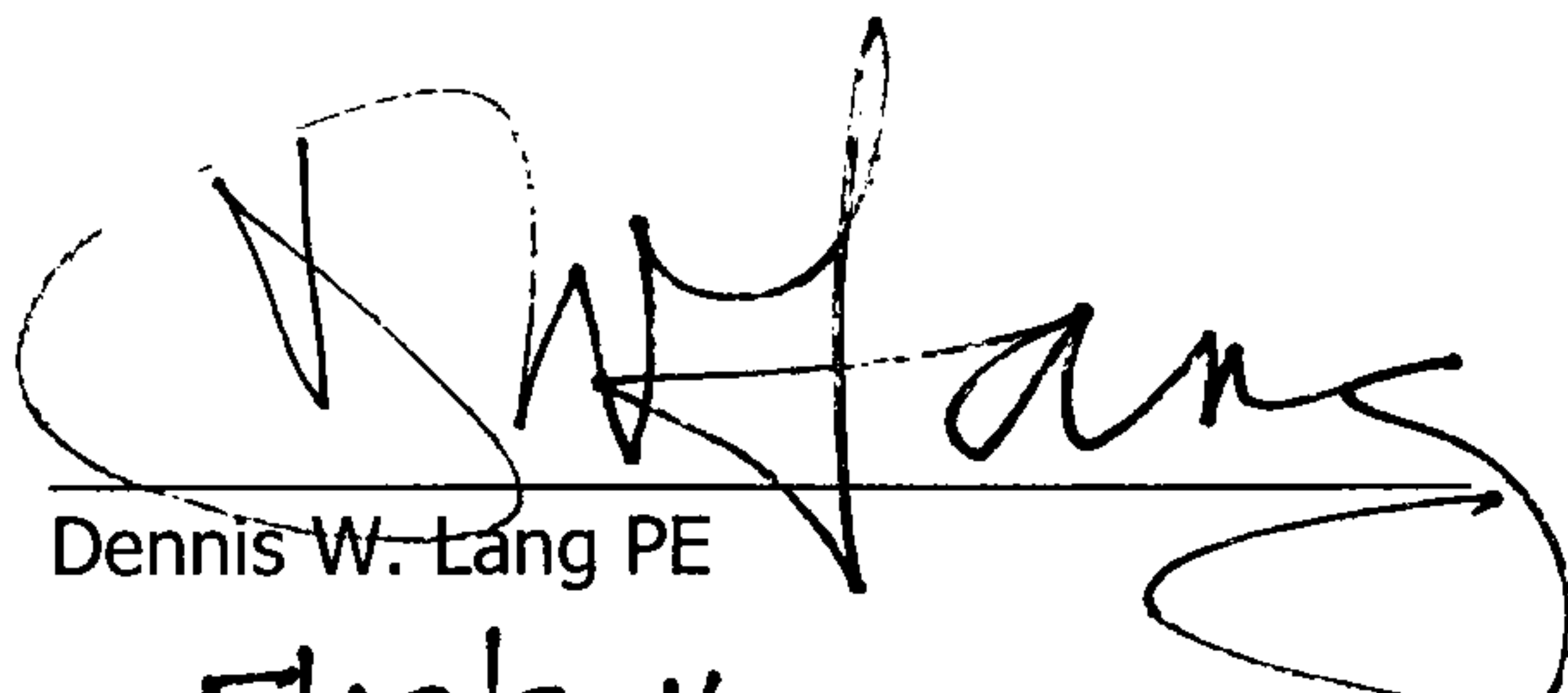
## TRAFFIC CERTIFICATION

I, Dennis Lang, NM PE, of the firm of Adams Engineering (ADAMS), hereby certify that this project is in substantial compliance with and in accordance with the design intent of the DRB Site Development approved plan dated December 16, 2014 (Traffic Engineering signoff date). The record information edited onto the ADAMS Grading Plan (to follow with drainage certification) has been obtained by Lorenzo (Larry) E. Dominguez, NM PS 10461, of the firm East Mountain Surveying Company, New Mexico. I further certify that I personally visited the project site on May 18, 2016, and determined by visual inspection that the survey data provided was representative of actual site conditions and was true and correct to the best of my knowledge and belief. This certification was submitted in support of a request for a certificate of occupancy.

There are no known transportation related visible deficiencies and/or required corrections of the substantially completed work. One of the parking spaces nearly midway along the south side of the project was replaced with a curbed island at the owner's request. This was done to protect a water PIV.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

**Adams** | Engineering & Development Consultants

  
Dennis W. Lang PE  
5/18/2016  
Date

