

CITY OF ALBUQUERQUE



February 17, 2016

Mr. Robert Adams
910 South Kimball Avenue
Southlake, Texas 76092

**Re: McDonald's at San Mateo and Academy (E18D019C)
Grading Plan (C7.0) Dated 2-9-16
Post Developed Drainage Plan (C8.1) Dated 2-9-16**

Dear Mr. Adams,

Based upon the information provided in your submittal received February 10, 2016 the revised plans are approved for Building Permit and SO-19.

The SO-19 Permit is required for construction within the City Right of Way. A copy of this approval letter must be on hand when applying for the Excavation and SO-19 Permit at DMD.

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3999.

Sincerely,

www.cabq.gov

Shahab Biazar, P.E.
City Engineer, Planning Department
Development Review Services

C: e-mail



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: McDonald's San Mateo Building Permit #: T2014-92777 City Drainage #: _____
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: Tract M of the Summary Plat of the Far North Shopping Center, Albuquerque, NM - Book B12, Page 192
City Address: 6300 San Mateo SE

Engineering Firm: Adams Engineering Contact: G. Robert Adams, P.E.
Address: 910 S. Kimball Ave., Southlake, TX 76092
Phone#: 817-328-3200 Fax#: 817-328-3299 E-mail: rob.adams@adams-engineering.com

Owner: McDonald's Contact: Lee Morris
Address: 511 E. Carpenter Freeway Irving, TX 75062
Phone#: 972-869-5346 Fax#: _____ E-mail: Lee.Morris@us.mcd.com

Architect: Rogue Architects Contact: Jeremy A. Williams, R.A.
Address: 513 Main St., Suite 200, Fort Worth, TX 76102
Phone#: 817-820-0433 Fax#: _____ E-mail: Jeremy@roguearchitects.com

Surveyor: Precision Surveys, Inc. Contact: Larry Medrano
Address: 5571 Midway Park Place NE Albuquerque, NM 87199
Phone#: 505-856-5700 Fax#: 505-856-7900 E-mail: _____

Contractor: Cordova Contracting Contact: Mark Cordova
Address: 316 Osuna Rd NE, Albuquerque, NM 87107
Phone#: (505) 243-9675 Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ ENGINEER'S CERT (ESC)
☐ SO-19
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL ☒ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL ☐ ESC PERMIT APPROVAL
☐ WORK ORDER APPROVAL ☐ ESC CERT. ACCEPTANCE
☐ GRADING CERTIFICATION ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes ☒ No _____ Copy Provided

DATE SUBMITTED: 11/19/14 By: Leslie Ford

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

FILENAME: C7.0 GRADING PLAN.dwg PLOTTED BY: Heather Macomber PLOT DATE: Tuesday, February 20, 2016 PLOT TIME: 9:31:56 AM

PLOTTER: DMC TO PDF v3.3

FULL PATH: I:\Projects\2013\24 McDonalds - Albuquerque, Nm\6300 San Mateo Blvd\Drawings\Project\2013\24 McDonalds - Albuquerque, Nm\6300 San Mateo Blvd\Drawings\C7.0 GRADING PLAN

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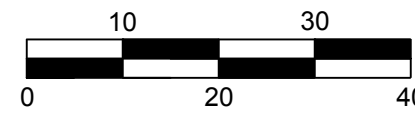
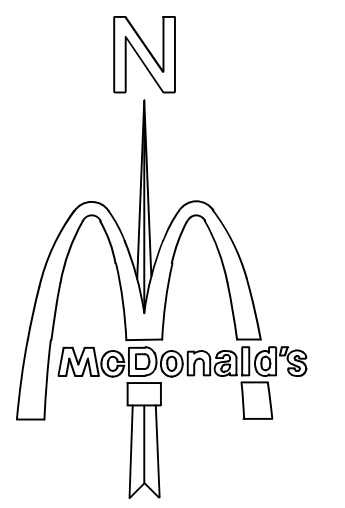
San Mateo Boulevard, N.E.
(125' R.O.W.)

45-114 BUILDING
±5,321 S.F.
FFE=5211.90

Tract M
AREA=0.9163 ACRES ±
39,916 S.Q. FT. ±

Tract M
AREA=0.9163 ACRES ±
39,916 S.Q. FT. ±

Academy Road, N.E.
(106' R.O.W.)



SCALE: 1" = 20'

THESE PLANS ARE SUBJECT TO REVIEW & APPROVAL BY
JURISDICTIONAL ENTITIES.

OWNER INFORMATION

MCDONALD'S USA, LLC
GREATER SOUTHWEST REGION
511 E. CARPENTER FRWY, STE. 375
IRVING, TEXAS 75062
(972) 869-5346
CONTACT: LEE MORRIS

LEGEND

- TC = PROPOSED TOP OF CURB ELEVATION
TP = PROPOSED TOP OF PAVEMENT ELEVATION
FG = PROPOSED FINISHED GRADE ELEVATION
FF = PROPOSED FINISHED FLOOR ELEVATION
- SWALE
RIDGE LINE
- EXISTING CONTOUR (SURVEY)
PROPOSED CONTOUR
- PROPOSED FLOW

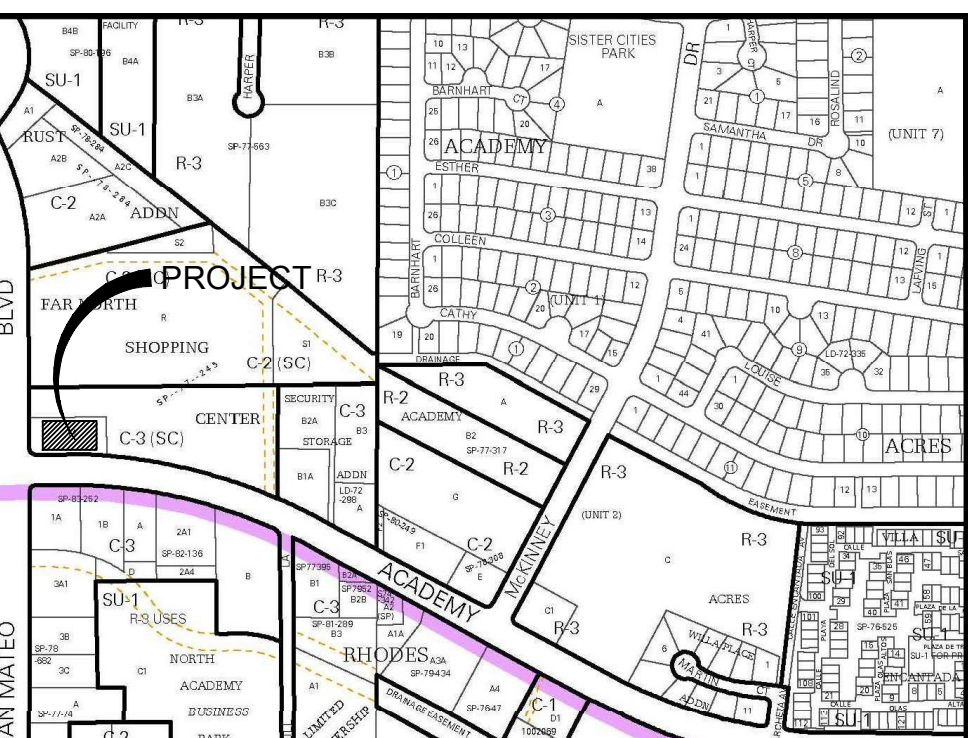


*** CONSTRUCTION NOTES ***

- THE EARTHWORK FOR ALL BUILDING FOUNDATIONS AND SLABS SHALL BE IN ACCORDANCE WITH ARCHITECTURAL BUILDING PLANS AND SPECIFICATIONS.
- ALL SIDEWALK AROUND BUILDING SHALL RECEIVE THE SAME SUBGRADE PREPARATION AS BUILDING FOUNDATION AS DESCRIBED IN GEOTECH REPORT PROVIDED BY TERRACON CONSULTANTS, INC. (PROJECT NO. 66145053)
- ADJUST PAVEMENT AND/OR CURB ELEVATIONS AS NECESSARY TO ASSURE AS SMOOTH FIT AND CONTINUOUS GRADE WITH EXISTING WHILE MAINTAINING PROPOSED DRAINAGE PATTERN.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL UTILITIES AND NOTIFYING THE APPROPRIATE UTILITY COMPANY PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING STORM SEWER STRUCTURES, PIPES, AND ALL UTILITIES PRIOR TO CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION, SUCH AS BUT NOT LIMITED TO DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURBS, ETC. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
- PROPOSED SPOT GRADES SHOWN ARE TO TOP OF PAVEMENT UNLESS OTHERWISE NOTED.
- EXISTING AND PROPOSED GRADE CONTOUR INTERVALS SHOWN AT ONE FOOT (1')
- ALL UN-SURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE FOUR (4) INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3:1 V OR STEEPER. CONTRACTOR SHALL GRASS DISTURBED AREAS IN ACCORDANCE WITH STANDARD SPECIFICATIONS UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
- FOR LOCATION OF ALL UTILITY ENTRANCES, SEE ARCHITECTURAL PLANS AND SPECIFICATIONS.
- CONTRACTOR SHALL COORDINATE WITH ARCHITECTURAL PLANS, POWER COMPANY, TELEPHONE COMPANY & GAS COMPANY FOR ACTUAL ROUTING OF POWER AND SERVICES TO BUILDING.
- CONSTRUCTION SHALL COMPLY WITH ALL GOVERNING CODES AND BE CONSTRUCTED TO SAME.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL BUILDING PLANS FOR EXACT LOCATION AND ORIENTATION OF EXTERIOR DOORS.
- TRASH ENCLOSURE WITH FINISH TO MATCH BUILDING AS PER MCDONALD'S ENGINEER OR APPROVED EQUAL. REF. SHEET TE-1 WITH 7" THICK X 15'X18" CONCRETE PAD. (CONTRACTOR TO COORDINATE DESIGN SPECS. WITH SOILS REPORT AND MCDONALD'S.)
- LOCATION OF I.D. SIGN IS APPROXIMATE. IT IS THE RESPONSIBILITY OF THE SIGN CONTRACTOR TO VERIFY COMPLIANCE WITH SETBACK, SIZE, HEIGHT AND RELATED ZONING REQUIREMENTS PRIOR TO SETTING.
- THE CONTRACTOR SHALL MAINTAIN DUST CONTROL ON SITE AT ALL TIMES BY WATERING SITE AS OFTEN AS NEEDED.
- CONTRACTOR SHALL FIELD VERIFY ELEVATIONS OF ADJACENT PROPERTIES TO MCDONALD'S SITE. IF EXISTING GRADES DO NOT MATCH THOSE SHOWN ON THIS PLAN, CONTRACTOR SHALL NOTIFY MCDONALD'S PROJECT MANAGER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY TRAFFIC CONTROL NECESSARY FOR DRIVE DEMOLITION/CONSTRUCTION.

STANDARD ACCESSIBILITY REQUIREMENTS

- PARKING:**
- ACCESSIBLE PARKING SPACES SHALL BE A MIN. 96" WIDE OR A MIN. 132" WIDE FOR VAN DESIGNATED SPACES WITH A MAXIMUM SLOPE OF 2% (IN ALL DIRECTIONS). ALL BUILDINGS SHALL CONTAIN AT LEAST ONE VAN ACCESSIBLE SPACE.
 - EACH ACCESSIBLE PARKING SPACE SHALL HAVE A VERTICALLY MOUNTED (OR SUSPENDED) SIGN SHOWING THE SYMBOL OF ACCESSIBILITY. AT LEAST ONE SPACE MUST HAVE AN ADDITIONAL SIGN "VAN ACCESSIBLE" MOUNTED BELOW THE SYMBOL OF ACCESSIBILITY. SIGNS SHALL BE LOCATED 80" (MIN.) ABOVE THE ADJACENT PAVED SURFACE TO BOTTOM OF TEXT.
 - ALL ACCESS AISLES SERVING H.C. PARKING SPACES SHALL BE 60" WIDE MINIMUM.
- CURB RAMPS:**
- RAMPS EXCEEDING 6" IN RISE (EXCLUDING CURB RAMPS) SHALL HAVE HANDRAILS ON EACH SIDE AT BETWEEN 34" AND 38", AND EXTEND 12" BEYOND THE TOP AND BOTTOM OF RAMP. HANDRAIL SHALL NOT DIMINISH THE CLEAR AREA REQUIRED FOR TOP AND BOTTOM LANDINGS SERVING THE RAMPS.
 - IF REQUIRED BY LOCAL OR STATE JURISDICTION, RAMPS SHALL CONTAIN A TRUNCATED DOME SURFACE ARRANGED SO THAT WATER WILL NOT ACCUMULATE. COLOR OF RAMP FINISH MATERIAL (INCLUDING CONCRETE) SHALL HAVE A LIGHT AND REFLECTIVE VALUE AND MUST CONTRAST SIGNIFICANTLY TO DISTINGUISH IT FROM ADJACENT SURFACES. (OR PAINT STRIPE)
 - BOTTOM LANDINGS FOR RAMPS SERVING REQUIRED EXITS SHALL BE 5'-0" LONG X 5'-0" WIDE MINIMUM.
 - RAMPS SHALL NOT EXCEED A 1:12 SLOPE
- SIDEWALKS AND ACCESSIBLE ROUTES:**
- SIDEWALKS MUST BE AT LEAST 36" WIDE
 - SIDEWALK CROSS SLOPE SHALL NOT EXCEED 1:50 (2%)
 - LONGITUDINAL SLOPE OF ANY SIDEWALK (ACCESSIBLE ROUTE) SHALL NOT EXCEED 1:20 (5%)



VICINITY MAP
N.T.S.

GENERAL NOTES

- Bases, anchor bolts, conduit, and wiring for all signs are by the General Contractor.
- 2" empty conduit to locations shown at the lot perimeter for lot lighting is by the General Contractor. Lighting fixtures, bases, poles, conduit, and wiring are by the General Contractor.
- Lot lighting concrete footings to conform with the soils report recommendations for this site.
- Bases for flagpoles are by the General Contractor. Anchor bolts are by the flagpole supplier. General contractor shall coordinate with flag pole supplier prior to construction.
- The Contractor shall coordinate with all utility companies to determine exact point of service connection at existing utility. Refer to the building electrical and plumbing drawings for utility service entrance locations, sizes, and circuiting.
- General Contractor must provide exact "as built" information upon completion.
- All elevations shown are reference to the benchmark and must be verified by the General Contractor at groundbreak.
- Curb elevations shall be 6" above finish pavement unless noted otherwise.
- All landscape areas shall be rough graded to 6" below top of all walks and curbs. Finished grading, landscaping and sprinkler systems are by the Owner / Operator.
- It is strongly recommended that no contractual agreements of any kind be signed prior to receiving and thoroughly reviewing all approvals from all of the regulatory authorities having jurisdiction over this project.
- Due to the nature of the work, all dimensions shown shall be considered approximate. Contractor shall field verify all dimensions prior to beginning construction. Shop drawings shall be submitted to the Architect and/or Engineer for approval prior to fabrication or installation of any item. Failure to adhere to this procedure shall place full responsibility for any errors directly upon the Contractor.
- Contractor shall contact appropriate jurisdictional agencies prior to construction to confirm if independent testing or inspections will be required prior to their acceptance of work. Contractor shall make necessary arrangements to insure proper testing & inspections are documented such that work will be accepted at project completion.
- Sidewalks around building shall have same subgrade preparation as building foundation.
- All materials and construction within easements and R.O.W. shall conform to all governing authorities' jurisdictional standard construction details and specifications.
- Topographic information taken from a Topographic Survey performed by PRECISION SURVEYS, INC. The Contractor shall notify the Engineer immediately, in writing, of any discrepancies or omissions to the topographic information. The Contractor(s) shall be responsible for confirming the location (horizontal/vertical) of any buried cables, conduits, pipes, and structures (storm sewer, sanitary sewer, gas, gas, television, telephone, etc.) which impact the construction site. The Contractor(s) shall notify the Owner and Engineer if any discrepancies are found between the actual conditions versus the data contained in the construction plans. Any costs incurred as the result of not confirming the actual location (horizontal/vertical) of said cables, conduits, pipes, and structures shall be borne by the Contractor. Additionally, the Contractor(s) shall notify the Owner and Engineer if any errors or discrepancies are found on the construction documents (plans), which negatively impact the project. The Engineer and Owner shall be indemnified of problems and/or cost which may result from Contractor's failure to notify Engineer and Owner.
- McDonald's reserves the right to request a compaction and/or a core sample. If tests prove correct, per the soils report, tests will be at the expense of McDonald's, otherwise G.C. will be charged.
- Contractor shall comply to the fullest extent with the latest standards of OSHA directives or any other agency having jurisdiction for excavation and trenching procedure. Contractor shall use support systems, sloping, benching, or other means of protection, including but is not limited to, access and egress from all excavation and trenching. Contractor is responsible to comply with performance criteria for OSHA.

PAVING SPECIFICATION	VERIFY W/MCDONALD'S:	ASPHALT:	<input type="checkbox"/>	CONCRETE:	<input checked="" type="checkbox"/>
	CONTRACTOR TO BID:	ASPHALT:	<input type="checkbox"/>	CONCRETE:	<input checked="" type="checkbox"/>
TERRACON CONSULTANTS, INC.					
NOTE: ALL PAVING & SUBGRADE SPECIFICATIONS TO COMPLY WITH GEOTECHNICAL REPORT AS PREPARED BY:					
AUGUST 29, 2014					
PROJECT NO. 66145053					

ASPHALT PAVEMENT RECOMMENDATIONS - ALTERNATE BID		
PAVEMENT MATERIALS	LIGHT DUTY	HEAVY DUTY
Asphalt Surface Course	3" OR 4.5"	4" OR 5.5"
Aggregate Base Course	6"	6"
CONCRETE PAVEMENT RECOMMENDATIONS - BASE BID		
PAVEMENT MATERIALS	LIGHT DUTY	HEAVY DUTY
Portland Cement Concrete P.V.M.T.	5"	5.5"

- PAVEMENT NOTES:**
- PAVEMENT AND SUBGRADE SHALL BE PREPARED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT PREPARED BY TERRACON CONSULTANTS, INC. DATED AUGUST 29, 2014. (PROJECT NUMBER 66145053)
 - SUBGRADE SHOULD BE SCARIFIED AND COMPACTED TO AT LEAST 98 PERCENT OF THE STANDARD PROCTOR (ASTM D 698) MAXIMUM DRY DENSITY FOR A DEPTH OF AT LEAST 10 INCHES BELOW THE SURFACE. SEE SECTION 4.2 OF GEOTECH REPORT.
 - PAVEMENT MAY BE PLACED AFTER THE SUBGRADE HAS BEEN PROPERLY COMPACTED, FINE-GRADED AND PROOF-ROLLED AS SPECIFIED IN THE SOILS REPORT.
 - ALL WORK SHALL BE IN ACCORDANCE WITH THE NEW MEXICO STATE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS AND CITY OF ALBUQUERQUE SPECIFICATIONS.
 - WATER SHOULD NOT BE ALLOWED TO POND BEHIND CURBS AND SATURATE THE BASE MATERIALS. GRANULAR BASE MATERIAL SHOULD EXTEND THROUGH THE SLOPE PROVIDING UNDERGROUND DRAINAGE AN EXIT PATH.
 - REFER TO C10.2 FOR CONCRETE JOINT SPECIFICATIONS UNLESS NOTED OTHERWISE IN THE SOILS REPORT.
 - ALL CONCRETE PAVEMENT SHALL BE 4,000 PSI @ 28 DAYS AND REINFORCED WITH #3 BARS @ 18" O.C.E.W.
 - IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REFER TO GEOTECHNICAL REPORT FOR ADDITIONAL INFORMATION.
- THE INFORMATION ABOVE IS BEING PROVIDED FOR REFERENCE ONLY AND SHALL NOT BE RELIED ON AS ACCURATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE GEOTECHNICAL REPORT REFERENCED ABOVE FOR ALL PAVEMENT/EARTHWORK REQUIREMENTS.

SURVEY INFORMATION

PREPARED BY: PRECISION SURVEYS, INC.
3571 MIDWAY PARK PLACE NE
ALBUQUERQUE, NEW MEXICO 805-856-5700
DATE: 05-14-2014

LEGAL DESCRIPTION: TRACT M OF THE FAR NORTH SHOPPING CENTER, PLAT BOOK 812, PAGE 192 OF WHICH WAS FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO

PLAN SCALE: 1" = 20'

ADDITION
FAR NORTH SHOPPING CENTER
STREET ADDRESS
6300 SAN MATEO BLVD NE
CITY STATE
ALBUQUERQUE NEW MEXICO
COUNTY: BERNALILLO SURVEY: --- ABSTRACT NO. ---

L/C NUMBER: 030-0021 CORPORATE DWG. NAME
GRADING PLAN

BY	DATE	REV	DESCRIPTION	ISSUE REF
HJM	11/05/2014	1	PER CITY COMMENTS	----
HJM	11/17/2014	2	PER DRAINAGE COMMENTS	----
HJM	12/02/2014	3	PER TRANSPORTATION COMMENTS	----
HJM	02/09/2016	5	PER OWNER COMMENTS	----

McDONALD'S
THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF MCDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION

6300 SAN MATEO BLVD NE
ALBUQUERQUE, NEW MEXICO

McDONALD'S I.C. 030-0021
ADAMS ENGINEERING No. 2013.244

PLAN APPROVALS	DATE	STATUS	DATE DRAWN	DATE	BY
SIGNATURE (2 REQUIRED)					
REGIONAL MGR					
CONST MGR					
OPERATIONS MGMT.					
REAL ESTATE DEPT.					
CONTRACTOR					
OWNER					

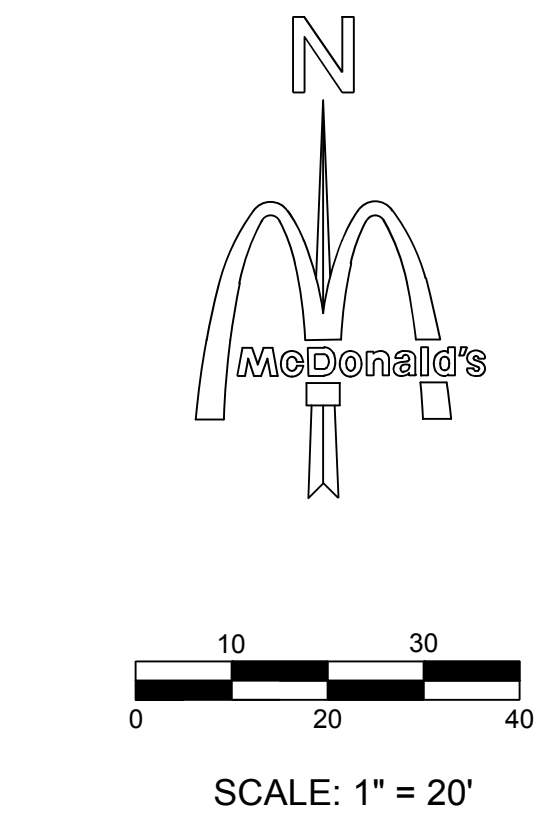
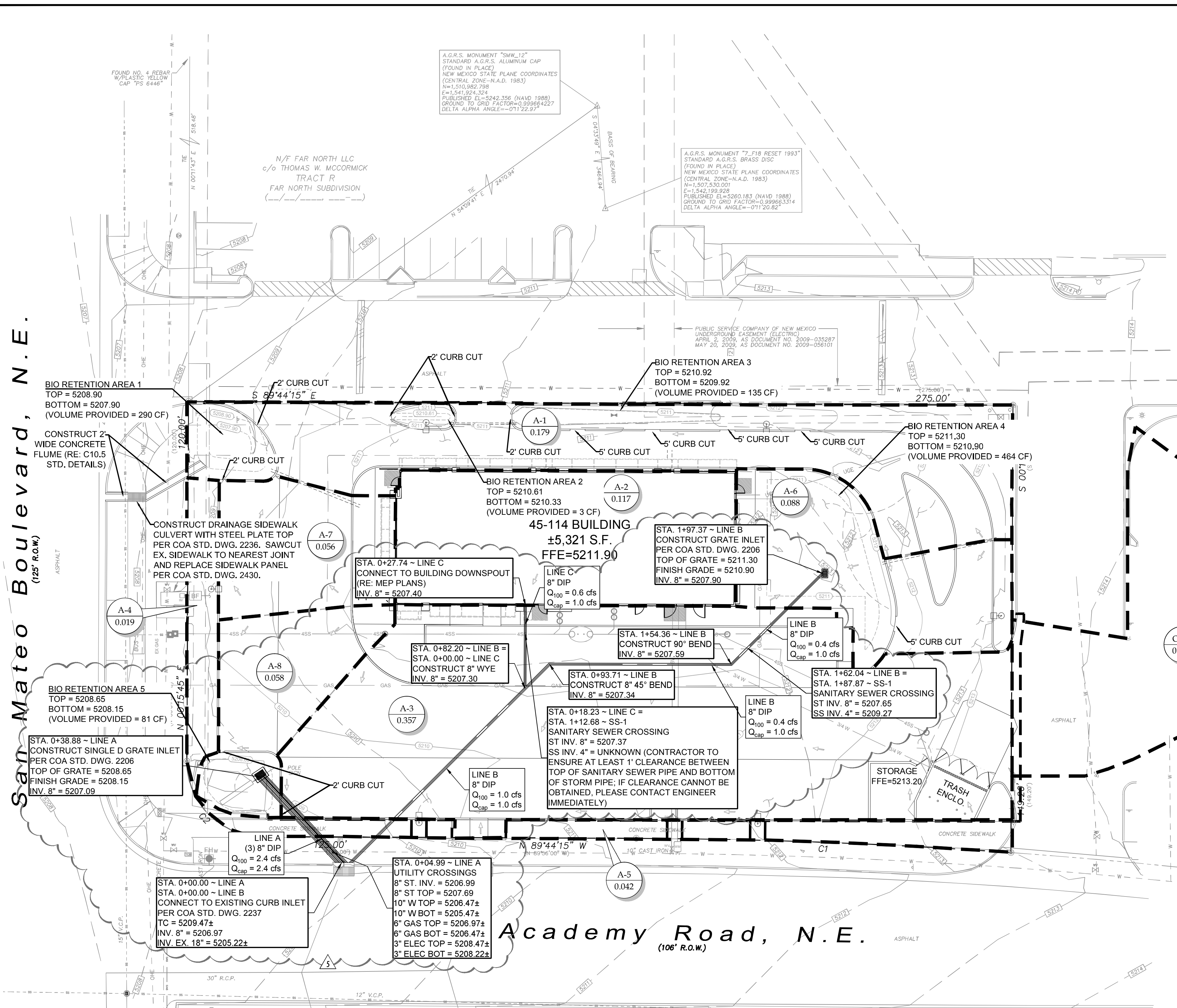
PLAN CHECKED	11/5/14	DWL
AS-BUILT		

C7.0



2.9.16

San Mateo Boulevard, N.E.
(125' R.O.W.)



THESE PLANS ARE SUBJECT TO REVIEW & APPROVAL BY JURISDICTIONAL ENTITIES.

OWNER INFORMATION

MCDONALD'S USA, LLC
GREATER SOUTHWEST REGION
511 E. CARPENTER FRWY, STE. 375
IRVING, TEXAS 75062
(972) 969-5346
CONTACT: LEE MORRIS

BENCHMARK DESCRIPTION

BENCHMARK

1. A.G.R.S. MONUMENT "SMW_12"
STANDARD A.G.R.S. ALUMINUM CAP
(FOUND IN PLACE) NEW MEXICO STATE
PLANE COORDINATES (CENTRAL ZONE-N.A.D. 1983)
N=1,510,982.798 E=1,541,924.324
PUBLISHED EL.=5242.356 (NAVD 1988)
GROUND TO GRID FACTOR=0.999664227
DELTA ALPHA ANGLE=-0°11'22.97"

2. A.G.R.S. MONUMENT "7_F18 RESET 1993"
STANDARD A.G.R.S. BRASS DISC
(FOUND IN PLACE) NEW MEXICO STATE
PLANE COORDINATES (CENTRAL ZONE-N.A.D. 1983)
N=1,507,530.001 E=1,542,199.928
PUBLISHED EL.=5260.183 (NAVD 1988)
GROUND TO GRID FACTOR=0.999663314
DELTA ALPHA ANGLE=-0°11'20.82"

DRAINAGE REPORT

Site Location - The site is located on an approximately 0.92 acre site at the northeast corner of San Mateo Boulevard, N.E. and Academy Road, N.E. The site is bordered to the north and east by restaurants and retail development. Proposed construction will include a McDonald's restaurant and associated paving, grading, landscaping, utility, and storm water management infrastructure.

Methodology - The proposed storm water management system was evaluated in accordance with Chapter 22 of the City of Albuquerque Development Process Manual. The site is bordered in Bernalillo County Precipitation Zone 3. The 100-year, 6-hour frequency rainfall event was used to calculate peak discharge rates and runoff volumes from the site under existing and proposed conditions.

Existing Conditions - Refer to Sheet C8.0 for the Pre-Developed Drainage Plan for this site. Storm water runoff generally drains from the east to the west across the site under existing conditions. Sheet C8.0 identifies four drainage divides for this site. Area OF-1 consists of 0.138 acres flowing onto the site from the west. Area X-1 contains 0.32 acres along the northern portion of the site, including the building area, and drains off the site through Bioretention Areas 3 and 2 to Area 1 and then west to San Mateo Boulevard. Area A-2 consists of 0.117 acres of building roof area. Roof drainage will be collected in a subsurface piping system and routed to a proposed grate inlet in the southwest corner of the site in Bioretention Area 5. Area A-3 contains 0.357 acres in the southern portion of the parking area, which is also collected by the proposed grate inlet. The grate inlet will be connected to an existing curb inlet in the north curb line of Academy Road NE. This inlet connection to the Academy Road system is at the request of the City of Albuquerque, and serves to alleviate runoff from flowing across the sidewalk along the east side of San Mateo Boulevard NE, which was identified by the City in a pre-design Site Investigation as an icing hazard to pedestrians. Areas A-4 and A-5, consist of 0.019 and 0.042 acres, and sheet flow onto San Mateo and Academy, respectively. Area A-6 contains 0.088 acres just east of the building, and will be collected in a proposed grate inlet in Bioretention Area 4 and routed to the system in Academy to the south. The entire site contains 0.741 acres of impervious area. Based on the City of Albuquerque requirement that 0.34 inches of retention area is required for each acre of impervious area, this required retention volume for this site is 915 cubic feet. The proposed bioretention volume at the site is 973 cubic feet.

Proposed Conditions - Refer to Sheet C8.1 for the Post-Developed Drainage Plan. Nine drainage basins are identified for the site under proposed conditions. Area OF-1 is the off-site area to the west flowing across the property as identified above. Area A-1 contains 0.179 acres along the northern portion of the site and drains off the site through Bioretention Areas 3 and 2 to Area 1 and then west to San Mateo Boulevard. Area A-2 consists of 0.117 acres of building roof area. Roof drainage will be collected in a subsurface piping system and routed to a proposed grate inlet in the southwest corner of the site in Bioretention Area 5. Area A-3 contains 0.357 acres in the southern portion of the parking area, which is also collected by the proposed grate inlet. The grate inlet will be connected to an existing curb inlet in the north curb line of Academy Road NE. This inlet connection to the Academy Road system is at the request of the City of Albuquerque, and serves to alleviate runoff from flowing across the sidewalk along the east side of San Mateo Boulevard NE, which was identified by the City in a pre-design Site Investigation as an icing hazard to pedestrians. Areas A-4 and A-5, consist of 0.019 and 0.042 acres, and sheet flow onto San Mateo and Academy, respectively. Area A-6 contains 0.088 acres just east of the building, and will be collected in a proposed grate inlet in Bioretention Area 4 and routed to the system in Academy to the south. The entire site contains 0.741 acres of impervious area. Based on the City of Albuquerque requirement that 0.34 inches of retention area is required for each acre of impervious area, this required retention volume for this site is 915 cubic feet. The proposed bioretention volume at the site is 973 cubic feet.

Private Drainage Facilities within City Right-of-Way (SO-19)

A separate Excavation/Barricading Permit is required for SO-19 construction within City ROW. A copy of this approval letter must be on hand when applying for the permit. If there is a Work Order associated with this project, this work is to be included in the Work Order. To obtain a C.O., the storm drain work in the City ROW must be inspected and accepted. Please contact Jason Rodriguez, 857-8074, to schedule an inspection.

- An excavation permit will be required before beginning any work within City Right-Of-Way.
- All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
- Two working days prior to any excavation, the contractor must contact New Mexico One Call Call, dial "811" (or (505) 260-1990) for the location of existing utilities.
- Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
- Backfill compaction shall be according to traffic/street use.
- Maintenance of the facility shall be the responsibility of the owner of the property being served.
- Work on arterial streets shall be performed on a 24-hour basis.

LEGEND

— DRAINAGE AREA LINE
--- EXISTING CONTOUR
--- PROPOSED CONTOUR
X XXX DRAINAGE AREA NUMBER
DRAINAGE AREA (ACRES)
→ PROPOSED DRAINAGE DIRECTION

POST-DEVELOPMENT 100-YEAR, 6-HOUR RUNOFF CALCULATIONS									
Drainage Area Number	Area (ac)	Land Treatment Condition				Excess Precipitation (in)	Volume (ac-ft)	Peak Discharge (cfs)	Remarks
		A	B	C	D				
A-1	0.179	0.000	0.000	0.062	0.117	1.99	0.03	0.80	TO BIORETENTION AREAS 1, 2 AND 3
A-2	0.117	0.000	0.000	0.000	0.117	2.36	0.02	0.59	BUILDING ROOF AREA
A-3	0.357	0.000	0.000	0.009	0.348	2.33	0.07	1.78	TO BIORETENTION AREA 5
A-4	0.019	0.000	0.000	0.019	0.000	1.29	0.00	0.07	OFF-SITE TO THE WEST TO SAN MATEO BLVD.
A-5	0.042	0.000	0.000	0.000	0.042	2.36	0.01	0.21	OFF-SITE TO THE SOUTH TO ACADEMY RD.
A-6	0.088	0.000	0.000	0.057	0.031	1.67	0.01	0.35	TO BIORETENTION AREA 4
A-7	0.056	0.000	0.000	0.005	0.051	2.26	0.01	0.27	TO BIORETENTION AREA 1
A-8	0.058	0.000	0.000	0.015	0.043	2.08	0.01	0.27	TO BIORETENTION AREA 5
OF-1	0.138	0.000	0.000	0.000	0.138	2.36	0.03	0.69	OFF-SITE FLOW FROM EAST (APPROX.)

Note: Calculations in accordance with the City of Albuquerque Development Process Manual. The site is in Precipitation Zone 3.

BIORETENTION VOLUME CALCULATIONS

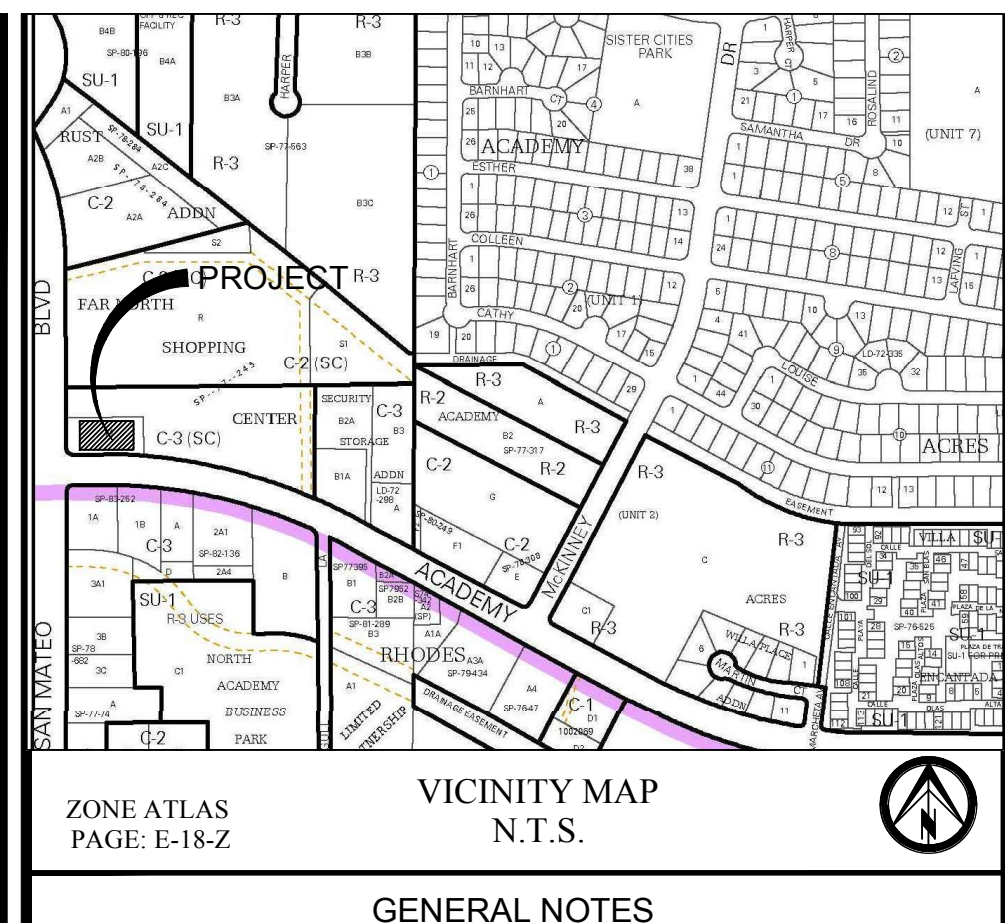
Impervious Area = 32,280 square feet (0.741 acres)

Required Retention Volume (0.34"/acre) = 915 cubic feet

Retention Volume Provided = 973 cubic feet



INSPECTOR _____ DATE _____
THE PRIVATE DRAINAGE FACILITIES WITHIN THE CITY RIGHT-OF-WAY HAVE BEEN INSPECTED AND ARE IN ACCORDANCE WITH SO-19 REQUIREMENTS.



GENERAL NOTES

- Bases, anchor bolts, conduit, and wiring for all signs are by the General Contractor.
- "X" empty conduit to locations shown at the lot perimeter for lot lighting is by the General Contractor. Lighting fixtures, bases, poles, conduit, and wiring are by the General Contractor.
- Lot lighting concrete footings to conform with the soils report recommendations for this site.
- Bases for flagpoles are by the General Contractor. Anchor bolts are by the flagpole supplier. General contractor shall coordinate with flag pole supplier prior to construction.
- The Contractor shall coordinate with all utility companies to determine exact point of service connection at existing utility. Refer to the building electrical and plumbing drawings for utility service entrance locations, sizes, and circuiting.
- General Contractor must provide exact "as built" information upon completion.
- All elevations shown are reference to the benchmark and must be verified by the General Contractor at groundbreak.
- Curb elevations shall be 6" above finish pavement unless noted otherwise.
- All landscape areas shall be rough graded to 6" below top of all walks and curbs. Finished grading, landscaping and sprinkler systems are by the Owner / Operator.
- It is strongly recommended that no contractual agreements of any kind be signed prior to receiving and thoroughly reviewing all approvals from all of the regulatory authorities having jurisdiction over this project.
- Due to the nature of the work, all dimensions shown shall be considered approximate. Contractor shall field verify all dimensions prior to beginning construction. Shop drawings shall be submitted to the Architect and/or Engineer for approval prior to fabrication or installation of any item. Failure to adhere to this procedure shall place full responsibility for any errors directly upon the Contractor.
- Contractor shall contact appropriate jurisdictional agencies prior to construction to confirm if independent testing or inspections will be required prior to their acceptance of work. Contractor shall make necessary arrangements to insure proper testing & inspections are documented such that work will be accepted at project completion.
- Sidewalks around building shall have same subgrade preparation as building foundation.
- All materials and construction within easement and R.O.W. shall conform to all governing authorities' jurisdictional standard construction details and specifications.
- Topographic information taken from a Topographic Survey performed by PRECISION SURVEYS, INC. The Contractor shall notify the Engineer immediately, in writing, of any discrepancies or omissions to the topographic information. The Contractor(s) shall be responsible for confirming the location (horizontal/vertical) of any buried cables, conduits, pipes, and structures (sewer, sanitary sewer, water, gas, television, telephone, etc.) which impact the construction site. The Contractor(s) shall notify the Owner and Engineer if any discrepancies are found between the actual conditions versus the data contained in the construction plans. Any costs incurred as the result of not confirming the actual location (horizontal/vertical) of said cables, conduits, pipes, and structures shall be borne by the Contractor. Additionally, the Contractor(s) shall notify the Owner and Engineer if any errors or discrepancies are found on the construction documents (plans), which negatively impact the project. The Engineer and Owner shall be indemnified of problems and/or cost which may result from Contractor's failure to notify Engineer and Owner.
- McDonald's reserves the right to request a compaction and/or a core sample, if tests prove correct, per the soils report, tests will be at the expense of McDonald's, otherwise G.C. will be charged.
- Contractor shall comply to the fullest extent with the latest standards of OSHA directives or any other agency having jurisdiction for excavation and trenching procedure. Contractor shall use support systems, sloping, benching, or other means of protection, including but is not limited to, access and egress from all excavation and trenching. Contractor is responsible to comply with performance criteria for OSHA.

PAVING SPECIFICATION

VERIFY WACDONALD'S: ASPHALT: ☐ CONCRETE: ☒

CONTRACTOR TO BID: ASPHALT: ☐ CONCRETE: ☒

NOTE: ALL PAVING & SUBGRADE SPECIFICATIONS TO COMPLY WITH GEOTECHNICAL REPORT AS PREPARED BY:

TERRACON CONSULTANTS, INC.
AUGUST 29, 2014
PROJECT NO. 66145053

ASPHALT PAVEMENT RECOMMENDATIONS - ALTERNATE BID			
PAVEMENT MATERIALS	LIGHT DUTY	HEAVY DUTY	
Asphalt Surface Course	3" OR 4.5"	4"	OR 5.5"
Aggregate Base Course	6"	6"	

CONCRETE PAVEMENT RECOMMENDATIONS - BASE BID			
PAVEMENT MATERIALS	LIGHT DUTY	HEAVY DUTY	
Portland Cement Concrete PAVMT	5"	5.5"	

- PAVEMENT NOTES:**
- PAVEMENT AND SUBGRADE SHALL BE PREPARED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT PREPARED BY TERRACON CONSULTANTS, INC. DATED AUGUST 29, 2014. (PROJECT NUMBER 66145053)
 - SUBGRADE SHOULD BE SCARIFIED AND COMPACTED TO AT LEAST 98 PERCENT OF THE STANDARD PROCTOR (ASTM D 699) MAXIMUM DRY DENSITY FOR A DEPTH OF AT LEAST 10 INCHES BELOW THE SURFACE. SEE SECTION 4.2 OF GEOTECH REPORT
 - PAVEMENT MAY BE PLACED AFTER THE SUBGRADE HAS BEEN PROPERLY COMPACTED, FINE-GRADED AND PROOF-ROLLED AS SPECIFIED IN THE SOILS REPORT
 - ALL WORK SHALL BE IN ACCORDANCE WITH THE NEW MEXICO STATE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS AND CITY OF ALBUQUERQUE SPECIFICATIONS.
 - WATER SHOULD NOT BE ALLOWED TO POND BEHIND CURBS AND SATURATE THE BASE MATERIALS. GRANULAR BASE MATERIAL SHOULD EXTEND THROUGH THE SLOPE PERFORMING UNDERGROUND DRAINAGE AN EXIT PATH.
 - REFER TO C10.2 FOR CONCRETE JOINT SPECIFICATIONS UNLESS NOTED OTHERWISE IN THE SOILS REPORT
 - ALL CONCRETE PAVEMENT SHALL BE 4,000 PSI @ 28 DAYS AND REINFORCED WITH #3 BARS @ 18" O.C.E.W.
 - IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REFER TO GEOTECHNICAL REPORT FOR ADDITIONAL INFORMATION
- THE INFORMATION ABOVE IS BEING PROVIDED FOR REFERENCE ONLY AND SHALL NOT BE RELIED ON AS ACCURATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE INFORMATION REFERRED TO IN THE GEOTECHNICAL REPORT REFERENCED ABOVE FOR ALL PAVEMENT/GEOTECHNICAL REQUIREMENTS.

SURVEY INFORMATION

PREPARED BY: PRECISION SURVEYS, INC. TRACT M OF THE FAR NORTH SHOPPING CENTER, 3571 MIDWAY PARK PLACE NE, ALBUQUERQUE, NEW MEXICO 87110. IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO. DATE: 05-14-2014

PLAN SCALE: 1" = 20'

ADDITION

FAR NORTH SHOPPING CENTER

STREET ADDRESS

6300 SAN MATEO BLVD NE

CITY STATE

ALBUQUERQUE NEW MEXICO

COUNTY: BERNALILLO SURVEY: --- ABSTRACT NO. ---

L/C NUMBER: --- CORPORATE DWG. NAME

030-0021 POST DEVELOPED DRAINAGE PLAN

BY	DATE	DESCRIPTION	ISSUE REF
HJM	10/07/2014	ISSUE FOR PERMIT	----
HJM	11/05/2014	PER CITY COMMENTS	----
MEG	11/17/2014	PER DRAINAGE COMMENTS	----
HJM	02/09/2016	PER CONSTRUCTION RFI	----

PROFESSIONAL SEAL

29.16

G. Rohlfse

McDONALD'S

6300 SAN MATEO BLVD NE
ALBUQUERQUE, NEW MEXICO

McDONALD'S I.C. 031-0021
ADAMS ENGINEERING No. 2013.244

PLAN APPROVALS	CO-SIGN SIGNATURES
SIGNATURE (2 REQUIRED)	CONTRACTOR OWNER
REGIONAL MGR. CONST. MGR. OPERATIONS DEPT. REAL ESTATE DEPT.	

STATUS	DATE	BY
DATE DRAWN	0CT 2014	PH
PLAN CHECKED	11/5/14	DWL
AS-BUILT		

C8.1