

# CITY OF ALBUQUERQUE



December 17, 2014

Mr. Robert Adams  
910 South Kimball Avenue  
Southlake, Texas 76092

**Re: McDonald's at San Mateo and Academy  
Grading Plan (C7.0) dated 12-2-14  
Pre-Developed Drainage Plan (C8.0) dated 11-5-14  
Post Developed Drainage Plan (C8.1) dated 11-17-14  
Standard Details (C10.5) dated 11-17-14  
(E18D019C)**

Dear Mr. Adams,

Based upon the information provided in your submittal received December 15, 2014, the above referenced plan is approved for Building Permit and SO-19.

The SO-19 Permit is required for construction within the City Right of Way. A copy of this approval letter must be on hand when applying for the Excavation Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3994.

Sincerely,

Amy L. D. Niese, P.E.  
Senior Engineer, Hydrology  
Planning Department

C: e-mail



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: McDonald's San Mateo Building Permit #: T2014-92777 City Drainage #: E18D019C

DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: Tract M of the Summary Plat of the Far North Shopping Center, Albuquerque, NM - Book B12, Page 192

City Address: 6300 San Mateo SE

**Engineering Firm:** Adams Engineering Contact: G. Robert Adams, P.E.

Address: 910 S. Kimball Ave., Southlake, TX 76092

Phone#: 817-328-3200 Fax#: 817-328-3299 E-mail: rob.adams@adams-engineering.com

**Owner:** McDonald's Contact: Lee Morris

Address: 511 E. Carpenter Freeway Irving, TX 75062

Phone#: 972-869-5346 Fax#: \_\_\_\_\_ E-mail: Lee.Morris@us.mcd.com

**Architect:** Rogue Architects Contact: Jeremy A. Williams, R.A.

Address: 513 Main St., Suite 200, Fort Worth, TX 76102

Phone#: 817-820-0433 Fax#: \_\_\_\_\_ E-mail: Jeremy@roguearchitects.com

**Surveyor:** Precision Surveys, Inc. Contact: Larry Medrano

Address: 5571 Midway Park Place NE Albuquerque, NM 87199

Phone#: 505-856-5700 Fax#: 505-856-7900 E-mail: \_\_\_\_\_

**Contractor:** Cordova Contracting Contact: Mark Cordova

Address: 316 Osuna Rd NE, Albuquerque, NM 87107

Phone#: (505) 243-9675 Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

### TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☒ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) \_\_\_\_\_

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL ☒ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL ☐ ESC PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL ☐ ESC CERT. ACCEPTANCE
- ☐ GRADING CERTIFICATION ☐ OTHER (SPECIFY) \_\_\_\_\_

WAS A PRE-DESIGN CONFERENCE ATTENDED: \_\_\_\_\_ Yes ☒ No \_\_\_\_\_ Copy Provided

DATE SUBMITTED: 11/19/14 By: Leslie Ford

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development





\*\*\* CONSTRUCTION NOTES \*\*\*

1. THE EARTHWORK FOR ALL BUILDING FOUNDATIONS AND SLABS SHALL BE IN ACCORDANCE WITH ARCHITECTURAL BUILDING PLANS AND SPECIFICATIONS.
2. ALL SIDEWALK AROUND BUILDING SHALL RECEIVE THE SAME SUBGRADE PREPARATION AS BUILDING FOUNDATION AS DESCRIBED IN GEOTECH REPORT PROVIDED BY TERRACON CONSULTANTS, INC., (PROJECT NO. 66145053)
3. ADJUST PAVEMENT AND/OR CURB ELEVATIONS AS NECESSARY TO ASSURE AS SMOOTH FIT AND CONTINUOUS GRADE WITH EXISTING WHILE MAINTAINING PROPOSED DRAINAGE PATTERN.
4. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL UTILITIES AND NOTIFYING THE APPROPRIATE UTILITY COMPANY PRIOR TO BEGINNING CONSTRUCTION.
5. CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING STORM SEWER STRUCTURES, PIPES, AND ALL UTILITIES PRIOR TO CONSTRUCTION.
6. CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION, SUCH AS BUT NOT LIMITED TO DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURBS, ETC. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
7. PROPOSED SPOT GRASSES SHOWN ARE TO TOP OF PAVEMENT UNLESS OTHERWISE NOTED.
8. EXISTING AND PROPOSED GRADE CONTOUR INTERVALS SHOWN AT ONE FOOT (1')
9. ALL UN-SURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE FOUR (4) INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3H:1V OR STEEPER. CONTRACTOR SHALL GRASS DISTURBED AREAS IN ACCORDANCE WITH STANDARD SPECIFICATIONS UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
10. FOR LOCATION OF ALL UTILITY ENTRANCES. SEE ARCHITECTURAL PLANS AND SPECIFICATIONS.
11. CONTRACTOR SHALL COORDINATE WITH ARCHITECTURAL PLANS, POWER COMPANY, TELEPHONE COMPANY & GAS COMPANY FOR ACTUAL ROUTING OF POWER AND SERVICES TO BUILDING.
12. CONSTRUCTION SHALL COMPLY WITH ALL GOVERNING CODES AND BE CONSTRUCTED TO SAME.
13. CONTRACTOR SHALL REFER TO ARCHITECTURAL BUILDING PLANS FOR EXACT LOCATION AND ORIENTATION OF EXTERIOR DOORS.
14. TRASH ENCLOSURE WITH FINISH TO MATCH BUILDING AS PER MCDONALD'S ENGINEER OR APPROVED EQUAL. REF. SHEET TE-1 WITH 7" THICK X 15X18" CONCRETE PAD. (CONTRACTOR TO COORDINATE DESIGN SPECS. WITH SOILS REPORT AND MCDONALD'S.)
15. LOCATION OF I.D. SIGN IS APPROXIMATE. IT IS THE RESPONSIBILITY OF THE SIGN CONTRACTOR TO VERIFY COMPLIANCE WITH SETBACK, SIZE, HEIGHT AND RELATED ZONING REQUIREMENTS PRIOR TO SETTING.
16. THE CONTRACTOR SHALL MAINTAIN DUST CONTROL ON SITE AT ALL TIMES BY WATERING SITE AS OFTEN AS NEEDED.
17. CONTRACTOR SHALL FIELD VERIFY ELEVATIONS OF ADJACENT PROPERTIES TO MCDONALD'S SITE. IF EXISTING GRADES DO NOT MATCH THOSE SHOWN ON THIS PLAN, CONTRACTOR SHALL NOTIFY MCDONALD'S PROJECT MANAGER.
18. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY TRAFFIC CONTROL NECESSARY FOR DRIVE DEMOLITION/CONSTRUCTION.

2. Bases, anchor bolts, conduit, and wiring for all signs are by the General Contractor.
3. 7/2" empty conduit to locations shown at the lot perimeter for lot lighting is by the General Contractor.
4. Contractor, Lighting fixtures, bases, poles, conduit, and wiring are by the General Contractor.
5. Lighting conduit to be installed to conform with the pole support recommendations for this site is by the General Contractor.
6. Bases for flagpoles are by the General Contractor. Anchor bolts are by the flagpole supplier.
7. General Contractor shall coordinate with flag pole supplier prior to construction.
8. The Contractor shall coordinate with all utility companies to determine exact point of service entrance at existing utility. Refer to the building electrical and plumbing drawings for utility service entrance locations, sizes, and crouding.
9. General Contractor shall provide all information upon completion.
10. All elevations shown in are in reference to the benchmark and must be verified by the General Contractor at groundbreak.
11. Curb elevations shall be 6" above finished pavement unless noted otherwise.
12. All landscape areas shall be rough graded first to 6" below top of all walks and curbs. Finished grading, landscaping and irrigation systems are by the General Contractor.
13. It is strongly recommended that no recorded agreements of any kind be signed prior to receiving and thoroughly reviewing all approvals from all of the regulatory authorities having jurisdiction over this project.
14. Due to the nature of the work, all dimensions shown shall be considered approximate.
15. Contractor shall field verify all dimensions prior to beginning construction. Show drawings shall be submitted to the Authority for review. The Contractor shall be responsible for the verifications of any item. Failure to adhere to this procedure shall place full responsibility for any errors directly upon the Contractor.
16. Contractor shall contact appropriate jurisdictional agencies prior to construction to confirm if independent testing or inspections will be required prior to their acceptance of work.
17. Contractor shall make necessary arrangements to insure proper testing & inspections are obtained such that they will be accepted at project completion.
18. Sidewalks around building shall have same substrate preparation as building foundation.
19. All materials and construction with easements and R.O.W. shall conform to all governing authority's jurisdictional standard construction details and specifications.
20. Topographic information taken from a Topographic Survey performed by PRECISION SURVEYS, INC. The Contractor shall notify the Engineer immediately, in writing, if any discrepancies or omissions to the topographic information. The Contractor(s) shall be responsible for confirming the location (horizontal/vertical) of any buried cables, conduits, pipes, and structures (storm sewer, sanitary sewer, water, gas, television, telephone, etc.) which impact the construction site. The Contractor(s) shall notify the Owner and Engineer if any discrepancies are found between the actual conditions versus the data contained in the construction plan. As soon as is required as the result of not confirming the actual location (horizontal/vertical) of said cables, conduits, pipes, and structures shall be borne by the Contractor. Additionally, the Contractor(s) shall notify the Owner and Engineer if any errors or discrepancies are found on the construction documents (p&e), which negatively impact the project. The Engineer and Owner shall be indemnified of problems and/or cost which may be incurred by the Contractor to verify Engineering information.
21. McDonald's reserves the right to terminate the competition and/or any sample, if tests prove correct, per the soils reports, tested will be at the expense of McDonald's, otherwise G.C. will be charged.
22. The Contractor shall comply to the fullest extent with the latest standards of OSHA directives or any other agency having jurisdiction for excavation and trenching procedure. Contractor shall be responsible for obtaining all necessary permits, including but not limited to, access and egress from all excavation and trenching. Contractor is responsible to comply with performance criteria for OSHA.

NOTE: ALL PAVING & SUBGRADE SPECIFICATIONS TO COMPLY WITH GEOTECHNICAL REPORT AS PREPARED BY: TERRACON CONSULTANTS, INC.  
AUGUST 29, 2014  
PROJECT NO. 66145053

ASPHALT PAVEMENT RECOMMENDATIONS -ALTERNATE BID			
PAVEMENT MATERIALS	LIGHT DUTY		HEAVY DUTY
Asphalt Surface Course	3"	OR 4.5"	4" OR 5.5"
Aggregate Base Course	6"		6"
CONCRETE PAVEMENT RECOMMENDATIONS - BASE BID			
PAVEMENT MATERIALS	LIGHT DUTY		HEAVY DUTY
Portland Cement Concrete PVMt	5"		5.5"

PAVEMENT NOTES

1. PAVEMENT AND SUBGRADE SHALL BE PREPARED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT PREPARED BY TACORR CONSULTANTS, INC. DATED AUGUST 28, 2019.
2. STANDARD PAVEMENT SHALL BE SCARIFIED AND COMPACTED TO AT LEAST 98 PERCENT OF THE STANDARD PROCTOR (ASTM D 1556) MAXIMUM DRY DENSITY FOR A DEPTH OF AT LEAST 18 INCHES BELOW THE FINISHED PAVEMENT SURFACE. GEOTECHNICAL REPORT REFERENCE ABOVE.
3. PAVEMENT MAY BE PLACED AFTER THE SUBGRADE HAS BEEN PROPERLY COMPACTED, FINE-GRADED AND PROPER ROLLED AS SPECIFIED IN THE SOILS REPORT.
4. PAVEMENT SHALL NOT BE PLACED ON OR OVER ANY OTHER GEOTECHNICAL DEPARTMENT OF TRANSPORTATION SPECIFICATIONS AND CITY OF ALBUQUERQUE SPECIFICATIONS. PAVEMENT SHALL NOT BE PLACED ON OR OVER ANY OTHER MATERIALS OR MATERIALS. GRANULAR BASE MATERIAL SHOULD EXTEND THROUGH THE SOILS PROVIDING UNDERGROUND DRAINAGE AN EXIT PATH.
5. PAVEMENT SHALL NOT BE FOR CONCRETE JOINT SPECIFICATIONS UNLESS NOTED OTHERWISE IN THE SOILS REPORT.
6. ALL CONCRETE PAVEMENT SHALL BE 4,000 PSI @ 28 DAYS AND REINFORCED WITH #3 BARS @ 18 IN. ON CENTER.
7. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REFER TO GEOTECHNICAL SPECIFICATIONS FOR ALL INFORMATION REQUIRED FOR THE PROJECT.
8. THE INFORMATION ABOVE IS BEING PROVIDED FOR INFORMATION ONLY AND SHALL NOT BE RELIED ON AS ACCURATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REFERRING TO THE GEOTECHNICAL REPORT REFERENCE ABOVE FOR ALL PAVEMENT/WORK/REQUIRED REQUIREMENTS.

SURVEY INFORMATION	
<b>PREPARED BY:</b> <b>PRECISION SURVEYS, INC.</b> 571 MIDWAY PARK PLACE NE ALBUQUERQUE, NEW MEXICO 505-856-5700 DATE: 05-14-2014	<b>LEGAL DESCRIPTION:</b> TRACT M OF THE FAR NORTH SHOPPING CENTER PLAT BOOK B12, PAGE 192 OF WHICH WAS FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO

PLAN SCALE: 1" = 20'

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ADDITION

## EAP NORTH SHOPPING CENTER

THE UNIVERSITY OF CHICAGO PRESS

STREET ADDRESS  
6000 CALIFORNIA

6300 SAN MATEO BLVD NE

CITY \_\_\_\_\_ STATE \_\_\_\_\_

ALBUQUERQUE NEW MEXICO

[illegible]

COUNTY:	SURVEY:	ABSTRACT NO.
---------	---------	--------------

ERNALILLO		
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C NUMBER:	CORPORATE DWG. NAME

OFFICE ADDRESS	GREATER SOUTHWEST KROC DRIVE - OAK BROOK, ILLINOIS 60521
<b>McDONALD'S®</b> <small>THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF MCDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.</small>	
MCDONALD'S L.C. (031-0021)	6300 SAN MATEO BLVD NE



210 S. Kimball Avenue ■ Southlake, Texas 76092 ■ (817) 328-3200

6300 SAN MATEO BLVD NE  
ALBUQUERQUE, NEW MEXICO

McDONALD'S L/C: 030-0021	AND SHALL NOT BE
ADAMS ENGINEERING No. 2013 244	

CO-SIGN SIGNATURES

CONTRACTOR

BY

ME

DW

---

1



San Mateo Boulevard, E.  
(125' R.O.W.)

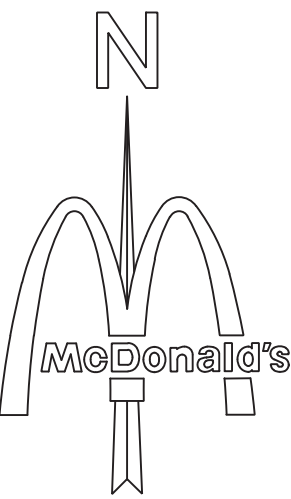
Point of Beginning

N/F FAR NORTH LLC  
c/o THOMAS W. MCCORMICK  
TRACT R  
FAR NORTH SUBDIVISION

A.G.R.S. MONUMENT "7\_F18 RESET 1993"  
STANDARD A.G.R.S. BRASS DISC  
(FOUND IN PLACE) NEW MEXICO STATE PLANE COORDINATES  
(CENTRAL ZONE-N.A.D. 1983)  
N=1,507,530.001  
E=1,542,199.928  
PUBLISHED EL=5260.183 (NAVD 1988)  
GROUND TO GRID FACTOR=0.999663314  
DELTA ALPHA ANGLE=0°11'20.82"

PUBLIC SERVICE COMPANY OF NEW MEXICO  
UNDERGROUND EASEMENT (ELECTRIC)  
APRIL 2, 2009, AS DOCUMENT NO. 2009-035287  
MAY 20, 2009, AS DOCUMENT NO. 2009-056101

EXISTING PNM AND MST &  
UNDERGROUND EASEMENT  
(11/22/1976, BK. 507-PG.  
630-631)

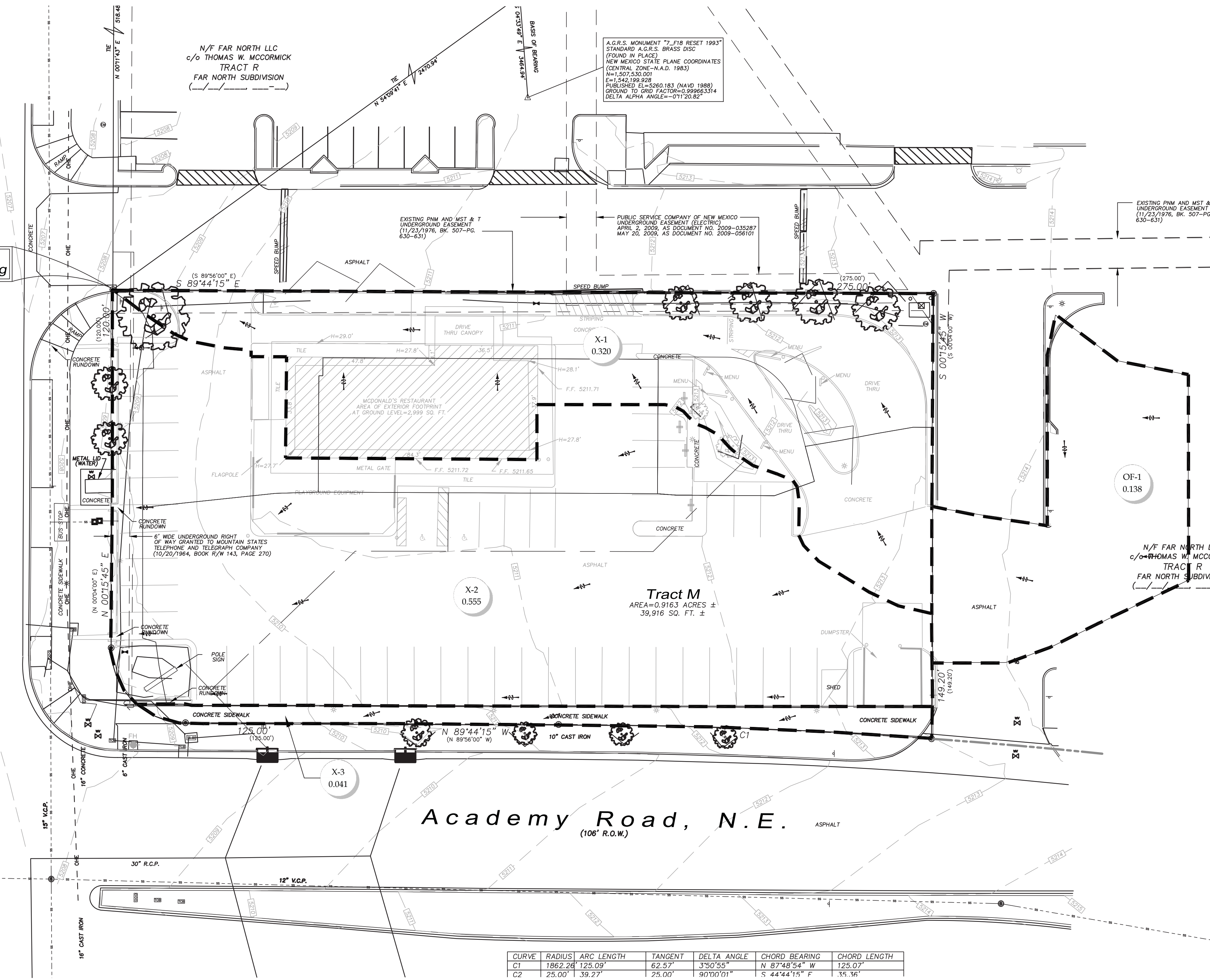


SCALE: 1" = 20'

THESE PLANS ARE SUBJECT TO REVIEW & APPROVAL BY  
JURISDICTIONAL ENTITIES.

#### OWNER INFORMATION

MCDONALD'S USA, LLC  
GREATER SOUTHWEST REGION  
511 E. CARPENTER FRWY, STE. 375  
IRVING, TEXAS 75062  
(972) 869-5346  
CONTACT: LEE MORRIS



Know what's below.  
Call before you dig.

PRE-DEVELOPMENT 100-YEAR, 6-HOUR RUNOFF CALCULATIONS							
Drainage Area Number	Area (ac)	Land Treatment Condition				Volume (ac/ft)	Peak Discharge (cfs)
		A	B	C	D		
X-1	0.320	0.000	0.000	0.068	0.252	0.06	1.50
X-2	0.555	0.000	0.000	0.022	0.533	2.32	0.11
X-3	0.041	0.000	0.000	0.000	0.041	2.36	0.01
OF-1	0.138	0.000	0.000	0.000	0.138	2.36	0.03

Note: Calculations in accordance with the City of Albuquerque Development Process Manual. The site is in Precipitation Zone 3.

#### BENCHMARK DESCRIPTION

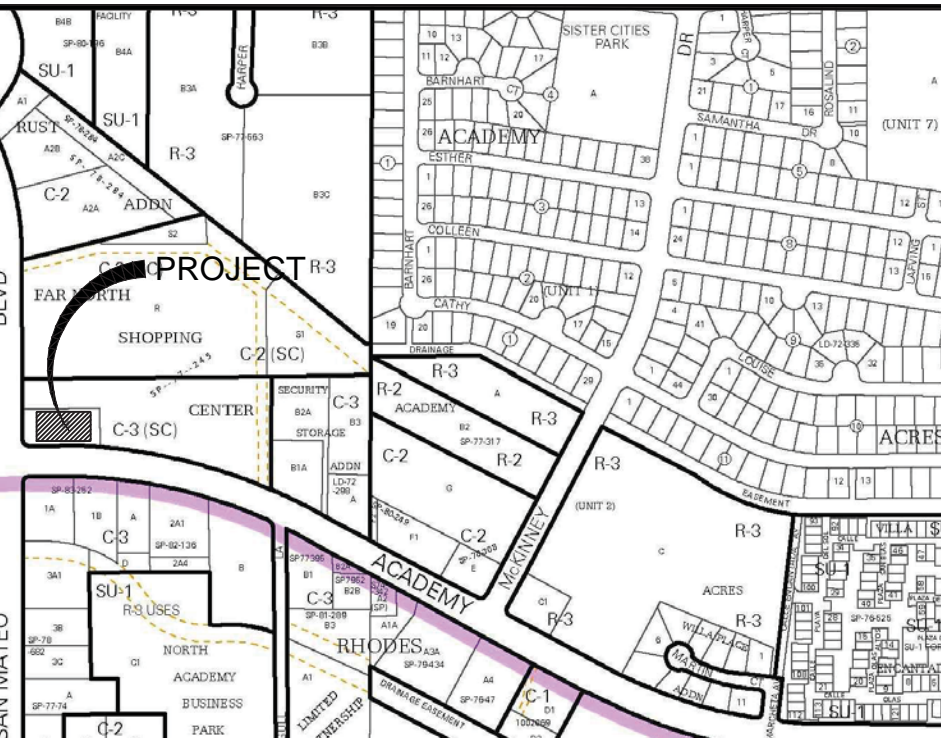
##### BENCHMARK

1. A.G.R.S. MONUMENT "SMW\_12"  
STANDARD A.G.R.S. ALUMINUM CAP  
(FOUND IN PLACE) NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE-N.A.D. 1983)  
N=1,510,982.798 E=1,541,924.324  
PUBLISHED EL=5242.356 (NAVD 1988)  
GROUND TO GRID FACTOR=0.999664227  
DELTA ALPHA ANGLE=0°11'22.97"

2. A.G.R.S. MONUMENT "7\_F18 RESET 1993"  
STANDARD A.G.R.S. BRASS DISC  
(FOUND IN PLACE) NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE-N.A.D. 1983)  
N=1,507,530.001 E=1,542,199.928  
PUBLISHED EL=5260.183 (NAVD 1988)  
GROUND TO GRID FACTOR=0.999663314  
DELTA ALPHA ANGLE=0°11'20.82"

#### LEGEND

- DRAINAGE AREA LINE
- X-X- EXISTING CONTOUR
- XXX DRAINAGE AREA NUMBER
- X.XX DRAINAGE AREA (ACRES)
- ↑ EXISTING DRAINAGE DIRECTION



VICINITY MAP  
N.T.S.

#### GENERAL NOTES

- Bases, anchor bolts, conduit, and wiring for all signs are by the General Contractor.
- 3/4" empty conduit to locations shown at the lot perimeter for lot lighting is by the General Contractor. Lighting fixtures, bases, poles, conduit, and wiring are by the General Contractor.
- Lot lighting concrete footings to conform with the soils report recommendations for this site.
- Bases for flagpoles are by the General Contractor. Anchor bolts are by the flagpole supplier. General contractor shall coordinate with flag pole supplier prior to construction.
- The Contractor shall coordinate with all utility companies to determine exact point of service connection at existing utility. Refer to the building electrical and plumbing drawings for utility service entrance locations, sizes, and circling.
- General Contractor must provide exact "as built" information upon completion.
- All elevations shown are in reference to the benchmark and must be verified by the General Contractor at groundbreak.
- Curb elevations shall be 6" above finish pavement unless noted otherwise.
- All landscape areas shall be rough graded to 6" below top of all walks and curbs. Finished grading, landscaping and sprinkler systems are by the Owner / Operator.
- It is strongly recommended that no contractual agreements of any kind be signed prior to receiving and thoroughly reviewing all approvals from all of the regulatory authorities having jurisdiction over this project.
- Due to the nature of the work, all dimensions shown shall be considered approximate. Contractor shall field verify all dimensions prior to beginning construction. Shop drawings shall be submitted to the Architect and/or Engineer for approval prior to fabrication or installation of any item. Failure to adhere to this procedure shall place full responsibility for any errors directly upon the Contractor.
- Contractor shall contact appropriate jurisdictional agencies prior to construction to confirm if independent testing or inspections will be required prior to their acceptance of work. Contractor shall make necessary arrangements to insure proper testing & inspections are documented such that work will be accepted at project completion.
- Sidewalks around building shall have same subgrade preparation as building foundation.
- All materials and construction within easements and R.O.W. shall conform to all governing authorities' jurisdictional standard construction details and specifications.
- Topographic information taken from a Topographic Survey performed by PRECISION SURVEYS, INC.. The Contractor shall notify the Engineer immediately, in writing, of any discrepancies or omissions to the topographic information. The Contractor(s) shall be responsible for confirming the location (horizontal/vertical) of any buried cables, conduits, pipes, and structures (storm sewer, sanitary sewer, water, gas, television, telephone, etc.) which impact the construction site. The Contractor(s) shall notify the Owner and Engineer if any discrepancies are found between the actual conditions versus the data contained in the construction plans. Any costs incurred as the result of not confirming the actual location (horizontal/vertical) of said cables, conduits, pipes, and structures shall be borne by the Contractor. Additionally, the Contractor(s) shall notify the Owner and Engineer if any errors or discrepancies are found on the construction documents (plans), which negatively impact the project. The Engineer and Owner shall be indemnified of problems and/or cost which may result from Contractor's failure to notify Engineer and Owner.
- McDonald's reserves the right to request a compaction and/or a core sample. If tests prove correct, per the soils report, tests will be at the expense of McDonald's, otherwise G.C. will be charged.
- Contractor shall comply to the fullest extent with the latest standards of OSHA directives or any other agency having jurisdiction for excavation and trenching procedure. Contractor shall use support systems, sloping, benching, or other means of protection, including but is not limited to, access and egress from all excavation and trenching. Contractor is responsible to comply with performance criteria for OSHA.

PAVING SPECIFICATION	VERIFY W/MCDONALD'S:	ASPHALT: <input type="checkbox"/>	CONCRETE: <input checked="" type="checkbox"/>
	CONTRACTOR TO BID:	ASPHALT: <input type="checkbox"/>	CONCRETE: <input checked="" type="checkbox"/>
TERRACON CONSULTANTS, INC. (514-2014) PROJECT NO. 66145053			

ASPHALT PAVEMENT RECOMMENDATIONS -ALTERNATE BID				
PAVEMENT MATERIALS	LIGHT DUTY		HEAVY DUTY	
Asphalt Surface Course	3"	OR 4.5"	4"	OR 5.5"
Aggregate Base Course	6"		6"	
CONCRETE PAVEMENT RECOMMENDATIONS - BASE BID				
PAVEMENT MATERIALS	LIGHT DUTY		HEAVY DUTY	
Portland Cement Concrete P/VMT	5"		5.5"	

- PAVEMENT NOTES:
- PAVEMENT AND SUBGRADE SHALL BE PREPARED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT PREPARED BY TERRACON CONSULTANTS, INC. DATED AUGUST 29, 2014. (PROJECT NUMBER 66145053)
  - SUBGRADE SHOULD BE SCARIFIED AND COMPACTED TO AT LEAST 98 PERCENT OF THE STANDARD PROCTOR (ASTM D 698) MAXIMUM DRY DENSITY FOR A DEPTH OF AT LEAST 10 INCHES BELOW THE SURFACE. SEE SECTION 4.2 OF GEOTECH REPORT.
  - PAVEMENT MAY BE PLACED AFTER THE SUBGRADE HAS BEEN PROPERLY COMPACTED. FINE-GRADED AND PROOF ROLLED AS SPECIFIED IN THE SOILS REPORT.
  - ALL WORK SHALL BE IN ACCORDANCE WITH THE NEW MEXICO STATE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS AND CITY OF ALBUQUERQUE SPECIFICATIONS.
  - WATER SHOULD NOT BE ALLOWED TO POND BEHIND CURBS AND SATURATE THE BASE MATERIALS. GRANULAR BASE MATERIAL SHOULD EXTEND THROUGH THE SLOPE PROVIDING UNDERGROUND DRAINAGE AN EXIT PATH.
  - REFER TO CH 2.2 FOR CONCRETE JOINT SPECIFICATIONS UNLESS NOTED OTHERWISE IN THE SOILS REPORT.
  - ALL CONCRETE PAVEMENT SHALL BE 4,000 PSI @ 28 DAYS AND REINFORCED WITH #3 BARS @ 18" O.C.E.W.
  - IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REFER TO GEOTECHNICAL REPORT FOR ADDITIONAL INFORMATION.
- THE INFORMATION ABOVE IS BEING PROVIDED FOR REFERENCE ONLY AND SHALL NOT BE RELIED ON AS ACCURATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REFERRING TO THE GEOTECHNICAL REPORT REFERENCES ABOVE FOR ALL PAVEMENT/EARTHWORK REQUIREMENTS.

#### SURVEY INFORMATION

PREPARED BY: LARRY W. MEDRANO, R.P.S.  
LEGAL DESCRIPTION: TRACT M OF THE FAR NORTH SHOPPING CENTER, 5571 MIDWAY PARK PLACE NE, ALBUQUERQUE, NEW MEXICO  
IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO  
DATE: 05-14-2014

PLAN SCALE: 1" = 20'

FAR NORTH SHOPPING CENTER		
STREET ADDRESS		
6300 SAN MATEO BLVD NE		
CITY STATE		
ALBUQUERQUE NEW MEXICO		
COUNTY:	SURVEY:	ABSTRACT NO.
BERNALILLO	---	---
L/C NUMBER:	CORPORATE DWG. NAME	
030-0021	PRE-DEVELOPED DRAINAGE PLAN	

BY	DESCRIPTION	DATE	REV
HJM	ISSUE FOR PERMIT	10/07/2014	---
---	---	---	---
---	---	---	---
---	---	---	---
---	---	---	---

11.5.14

McDONALD'S®

6300 SAN MATEO BLVD NE  
ALBUQUERQUE, NEW MEXICO

McDONALD'S L/C: 030-0021  
ADAMS ENGINEERING No. 2013.244

CO-SIGN SIGNATURES

REGIONAL MGR.	CONST. MGR.	OPERATIONS DEPT.	REAL ESTATE DEPT.	CONTRACTOR	OWNER
---	---	---	---	---	---

STATUS	DATE	BY
---	---	---
DATE DRAWN	SEPT 2014	PH
PLAN CHECKED	10/6/14	DWL
AS-BUILT	---	---

C8.0



910 S. Kimball Avenue • Southlake, Texas 76092 • (817) 336-3200





Note: Calculations in accordance with the City of Albuquerque Development Process Manual. The site is in Precipitation Zone 3.

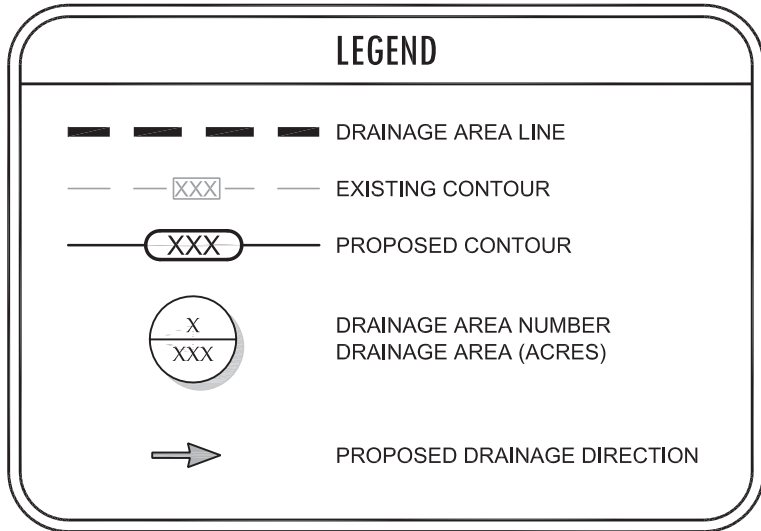
Impervious Area = 32,280 square feet (0.741 acres)

Retention Volume Provided = 973 cubic feet

A separate Excavation/Barricading Permit is required for SO-19 construction within City ROW. A copy of this approval letter must be on hand when applying for the permit. If there is a Work Order associated with this project, this work is to be included in the Work Order. To obtain a C.O. the storm drain work in the City ROW must be inspected and accepted. Please contact

1. An excavation permit will be required before beginning any work within City Right-Of-Way.
2. All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
3. Two working days prior to any excavation, the contractor must contact New Mexico One Call, dial "811" for (505) 260-1990 for the location of existing utilities.
4. Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
5. Backfill compaction shall be according to traffic/deck use.
6. Maintenance of the facility shall be the responsibility of the owner of the property being served.
7. Work on arterial streets shall be performed on a 24-hour basis.

THE PRIVATE DRAINAGE FACILITIES WITHIN THE CITY RIGHT-OF-WAY HAVE



1. Bases, anchor bolts, conduit, and wiring for all signs are by the General Contractor.

1. Bases, anchor bolts, conduit, and wiring for all signs are by the General Contractor.
2. 7' empty conduit to locations shown at the lot perimeter for lot lighting is by the General Contractor. Lighting fixtures, bases, poles, conduit, and wiring are by the General Contractor.
3. Lot lighting concrete footings to conform with the soils report recommendations for this site.
4. Bases for flagpoles are by the General Contractor. Anchor bolts are by the flagpole supplier.
5. General Contractor shall coordinate with flag pole supplier prior to construction.
6. The Contractor shall coordinate with all utility companies to determine exact point of service connection at existing utility. Refer to the building electrical and plumbing drawings for utility service entrance locations, sizes, and cabling.
7. General Contractor shall provide exact location information upon completion.
8. All elevations shown are in reference to the benchmark and must be verified by the General Contractor at groundbreak.
9. Curb elevations shall be 6" above finish pavement unless noted otherwise.
10. All landscape areas shall be rough graded to 6" below top of all walks and curbs. Finished grading, landscaping and sprinkler systems are by the Owner / Operator.
11. All thoroughly recommended items with no exceptions at project completion.
12. The Contractor shall provide a signed copy of all the regulatory authorities having jurisdiction over this project.
13. Due to the nature of the work, all dimensions shown shall be considered approximate.
14. Contractor shall verify all dimensions prior to beginning construction. Shop drawings shall be submitted to the Architectural Engineer for approval prior to construction or installation of any item. Failure to adhere to this procedure shall place full responsibility for any errors directly upon the Contractor.
15. Contractor shall contract appropriate jurisdictional agencies prior to construction to confirm if independent testing or inspections will be required prior to their acceptance of work.
16. Contractor shall make necessary arrangements to insure proper testing & inspections are conducted such that there will be no impact at project completion.
17. Sidewalks around building shall have same subgrade preparation as building foundation.
18. All materials and construction with easements and R.O.W. shall conform to all governing authorities' jurisdictional standard construction details and specifications.
19. Topographic information taken from a Topographic Survey performed by PRECISION SURVEYS, INC.. The Contractor shall notify the Engineer immediately in writing, of any discrepancies or omissions on the topographic information. The Contractor(s) shall be responsible for confirming the location (horizontal/vertical) of any buried cables, conduits, pipes, and structures (storm sewer, sanitary sewer, water, gas, television, telephone, etc.) which impact the construction site. The Contractor(s) shall notify the Owner and Engineer if any discrepancies are found between the actual conditions versus the data contained in the construction plans. Any costs incurred as the result of not confirming the actual location (horizontal/vertical) of said cables, conduits, pipes, and structures shall be borne by the Contractor. Additionally, the Contractor(s) shall notify the Owner and Engineer if any errors or discrepancies are found on the construction documents (p&se) which negatively impact the project. The Engineer and Owner shall be indemnified of problems and/or cost which may result from Contractor's failure to notify Engineer and Owner.
20. Marking shall reserve the right to be used as a core sample. If it proves correct, per the soils report, tests will be in the result of McDermold's, otherwise G&G will be charged.
21. Contractor shall comply to the fullest extent with the latest standards of OSHA directed by any other agency having jurisdiction for excavation and trenching procedure. Contractor shall ensure that all workers are properly trained and that all safety instructions are not limited to, and access and egress from all excavation and trenching. Contractor is responsible to comply with performance criteria for OSHA.

CONTRACTOR TO BID: ASPHALT: ☐ CONCRETE: ☒

NOTE:  
ALL PAVING & SUBGRADE SPECIFICATIONS  
TO COMPLY WITH GEOTECHNICAL REPORT  
AS PREPARED BY:

ASPHALT PAVEMENT RECOMMENDATIONS -ALTERNATE BID				
PAVEMENT MATERIALS	LIGHT DUTY		HEAVY DUTY	
Asphalt Surface Course	3"	OR 4.5"	4"	OR 5.5"
Aggregate Base Course	6"		6"	

CONCRETE PAVEMENT RECOMMENDATIONS - BASE BID			
PAVEMENT MATERIALS	LIGHT DUTY		HEAVY DUTY
Portland Cement Concrete PVMT	5"		5.5"

1. PAVEMENT AND SUBGRADE SHALL BE PREPARED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT PREPARED BY TERRACON CONSULTANTS, INC. DATED

28. AUGUST 29, 2014. [PROJECT NUMBER 66145053]  
SUBGRADE SHOULD BE SCARPED AND COMPACTED TO AT LEAST 96 PERCENT OF THE  
THEORETICAL MAXIMUM DRY DENSITY FOR A MINIMUM DENSITY FOR A DEPTH OF AT LEAST  
10 INCHES BELOW THE SURFACE. SEE SECTION 4.2 OF GEOTECH REPORT  
CONTRACTOR SHALL PROVIDE PROOF OF TESTING TO THE OWNER. THE CONTRACTOR  
FINE-GRADED AND PROOF ROLLED AS SPECIFIED IN THE SOILS REPORT.  
ALL WORK SHALL BE IN ACCORDANCE WITH THE NEW MEXICO STATE DEPARTMENT OF  
TRANSPORTATION'S STANDARD SPECIFICATIONS FOR CONSTRUCTION OF HIGHWAYS  
AND BRIDGES, LATEST EDITION. THE CONTRACTOR SHALL MAINTAIN THE EXISTING  
WATER SHEDD NOT BE ALLOWED TO POND BEHIND CURBS AND SATURATE THE BASE.  
THE CONTRACTOR SHALL PROVIDE DRAINAGE DITCHES TO DRAIN WATER FROM THE SLOPE  
PROVIDING UNDERGROUND DRAINAGE AN EXIST PATH.  
6. REFER TO C102 FOR CONCRETE JOINT SPECIFICATIONS UNLESS NOTED OTHERWISE  
7. ALL CONCRETE PAVEMENT SHALL BE 4,000 PSI @ 28 DAYS AND REINFORCED WITH #3  
BARS. THE CONTRACTOR SHALL PROVIDE PROOF OF TESTING TO THE OWNER.  
8. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REFER TO GEOTECHNICAL  
REPORT FOR ADDITIONAL INFORMATION.  
9. THE CONTRACTOR SHALL PROVIDE PROOF OF TESTING TO THE OWNER. THE CONTRACTOR  
SHALL BE RESPONSIBLE FOR REFERRING TO THE GEOTECHNICAL REPORT APPROPRIATE FOR ALL

PREPARED BY:	LEGAL DESCRIPTION:
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<b>PREPARED BY:</b> <b>PRECISION SURVEYS, INC.</b> 171 MIDWAY PARK PLACE NE ALBUQUERQUE, NEW MEXICO 5-856-5700 DATE: 05-14-2014	<b>LEGAL DESCRIPTION:</b> TRACT M OF THE FAR NORTH SHOPPING CENTER PLAT BOOK B12, PAGE 192 OF WHICH WAS FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO
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ADDITION

## STREET ADDRESS

0300 SAN MATEO BLVD NE

CITY STATE

COUNTY	SUBJ/EX	ABSTRACT NO
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ARNALILLO	00 0000	00 000 000
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[illegible]

G. Roh

Adams

110 S. Kimball Avenue ■ Southlake, Texas 76092 ■ (817) 328-3200

McDONALD'S

6300 SAN MATEO BLVD NE  
ALBUQUERQUE, NEW MEXICO

McDONALD'S L/C: 030-0021

CO-SIGN SIGNATURES

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OWNER	CONTRACTOR
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OWNER	CONTRACTOR
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TE	BY
014	PH

	BY
	PH

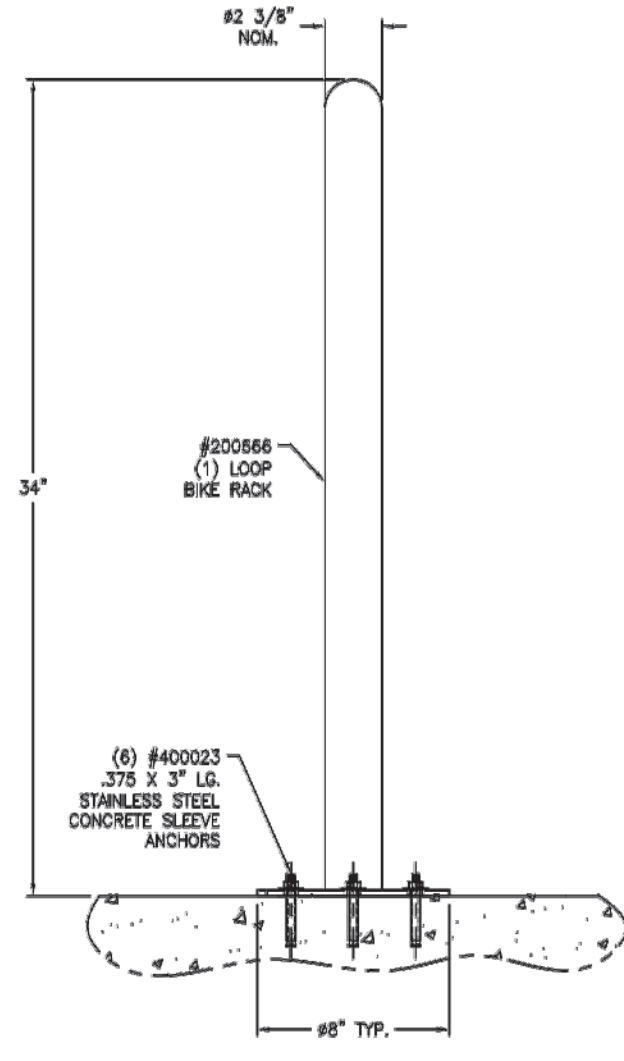
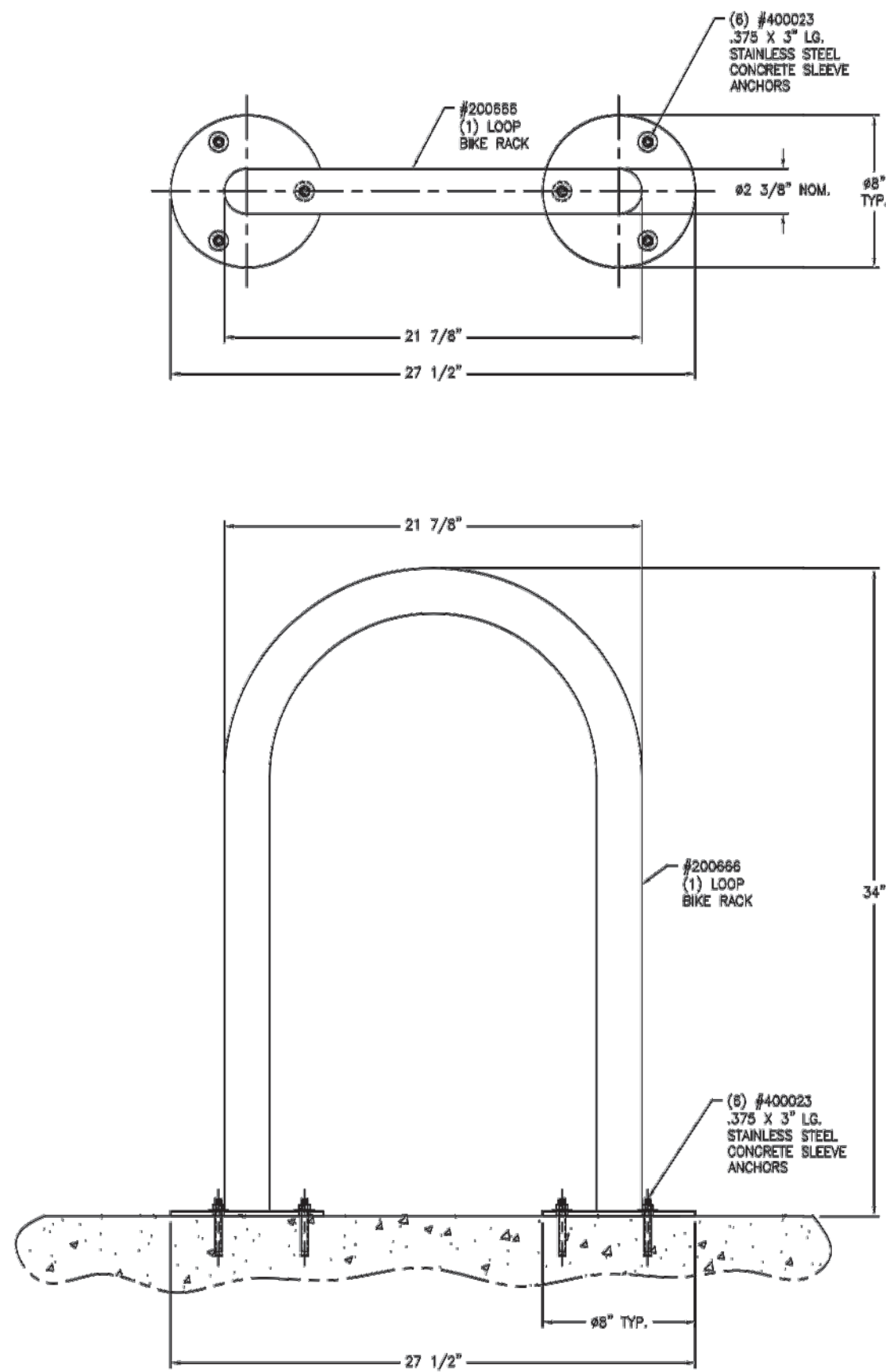
14	DWL

	DWL


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# C8.1





\*OR APPROVED EQUAL

REV	DESCRIPTION	NAME	DATE
1			

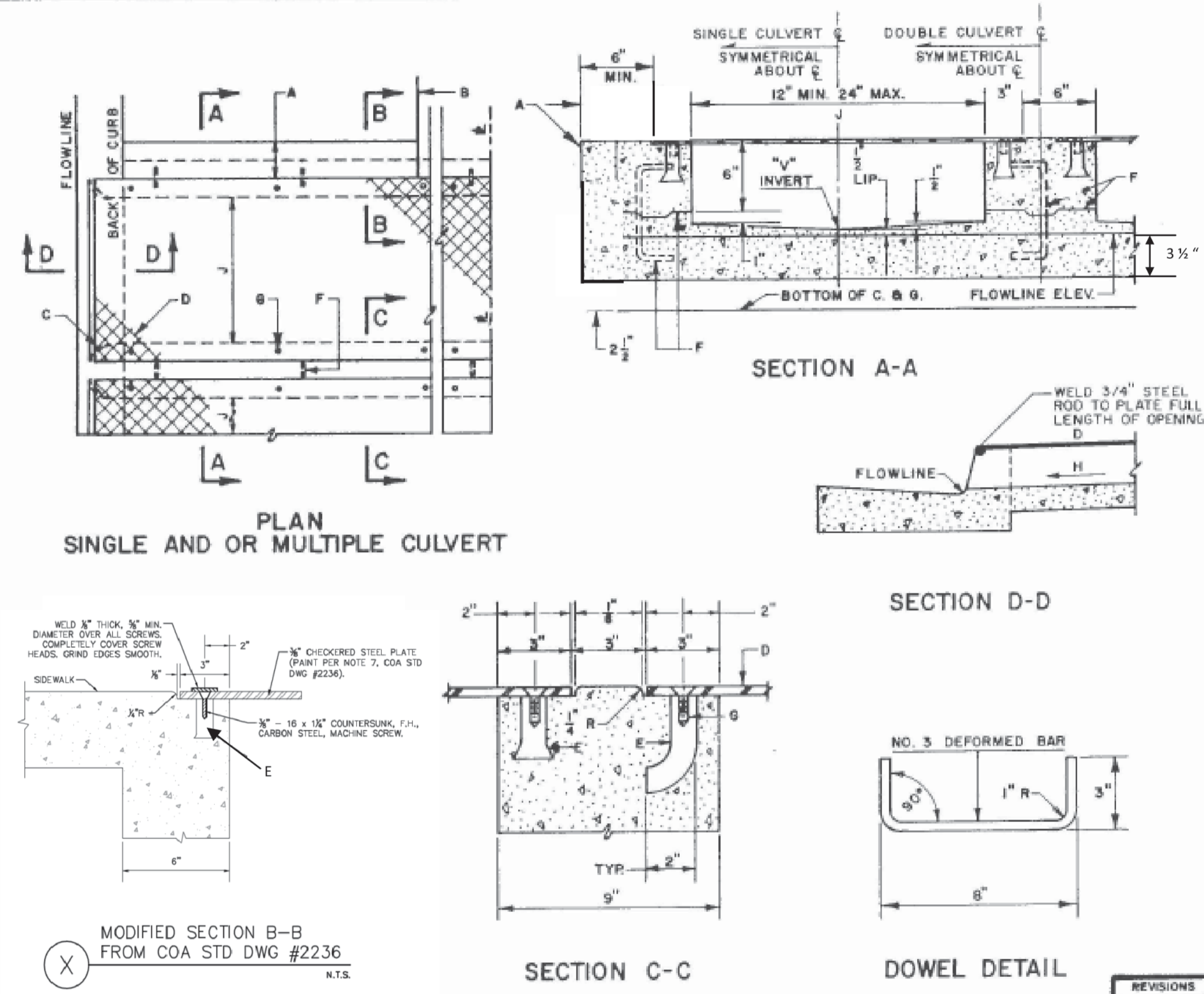
DATE	5/10/11	DESIGNED BY	CHK NO.	9008
DATE	5/10/11	DESIGNED BY	CHK NO.	9008

### GENERAL NOTES:

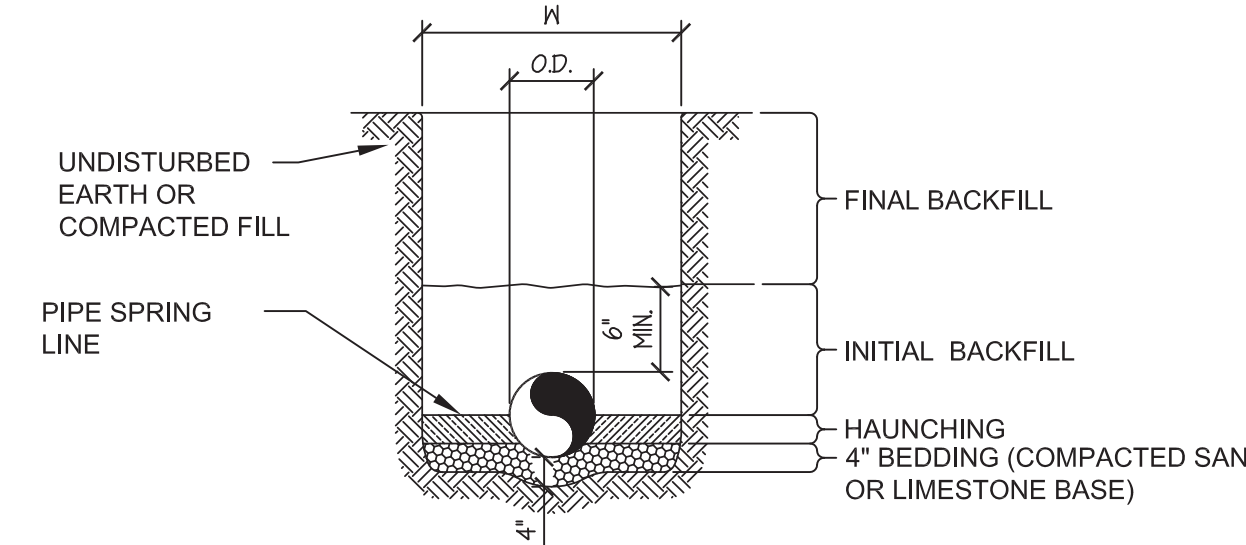
1. PLACING OF DRAIN THRU EXIST. SIDEWALK AND CURB & GUTTER REQUIRES THAT ENTIRE SIDEWALK AND C & G STONES BE REMOVED AND REPLACED AS DETAILED HEREIN.
2. BOTTOM SLAB OF CULVERT SHALL BE POURED MONOLITHICALLY WITH NEW GUTTER.
3. THE INVERT SHALL BE TROWELED TO PRODUCE A HARD POLISHED SURFACE OF MAX DENSITY AND SMOOTHNESS. INVERT SHALL BE V-SHAPED TO WITHIN 3" OF OUTLET. THEN WARPED TO PARALLEL FLOWLINE AT OUTLET. UNLESS OTHERWISE SHOWN.
4. ALL EXPOSED CONC. SURFACE SHALL MATCH GRADE, COLOR, FINISH AND SCORING OF ADJACENT CURB AND SIDEWALK.
5. SIDEWALK REPLACED DURING CONSTRUCTION SHALL BE POURED MONOLITHICALLY WITH CULVERT WALLS.
6. IF ROD ANCHORS ARE USED, DRILL & TAP FOR F.H. MACHINE SCREW. ATTACH ANCHORS TO PLATE AND SECURE PLATE IN PLACE PRIOR TO POURING OF WALLS.
7. LENGTH OF EACH PLATE SHALL BE SUCH THAT THE WEIGHT WILL NOT EXCEED 300 LBS. AND SHALL BE STRESS RELIEVED AFTER FABRICATION. CLEAN SURFACE OF PLATE AND FRAMING MEMBERS AND PAINT W/ ONE SHOP COAT RED OXIDE AND TWO FINISH COATS ALUMINUM PAINT (AASHTO M 69).
8. THE CITY WILL NOT ASSUME RESPONSIBILITY FOR MAINTENANCE OF ANY SIDEWALK CULVERT INSTALLED BY OR FOR PRIVATE PROPERTY OWNERS.

### CONSTRUCTION NOTES:

- A. MATCH NEAREST CONTROL JOINT; INSTALL 1/2" EXPANSION JOINT.
- B. EDGE OF SIDEWALK OR SETBACK (VARIABLE).
- C. 3" RADIUS (TYPICAL)
- D. 3/8" CHECKERED STEEL PLATE (PAINT PER NOTE 7, ABOVE)
- E. FOR SECURING PLATE USE 1"x5" S.S. ROD ANCHOR, "RED HEAD MULTI-SET II SRM-38 ANCHOR" OR APPROVED EQUAL. INSTALL PER MANUFACTURER'S INSTRUCTIONS AT MAX. 24" O.C., A MINIMUM OF 2 PER SIDE AND ONE WITHIN 6" OF EACH END.
- F. CONSTRUCTION JOINT IS OPTIONAL IF USED, SPACE DOWELS AT 18" O.C. MAX., 1-1/2" MINIMUM FROM FACE OF CONCRETE.
- H. SLOPE 1/4" PER FT. MIN.
- J. DRAIN WIDTH PER PLAN (12" MIN., 24" MAX).

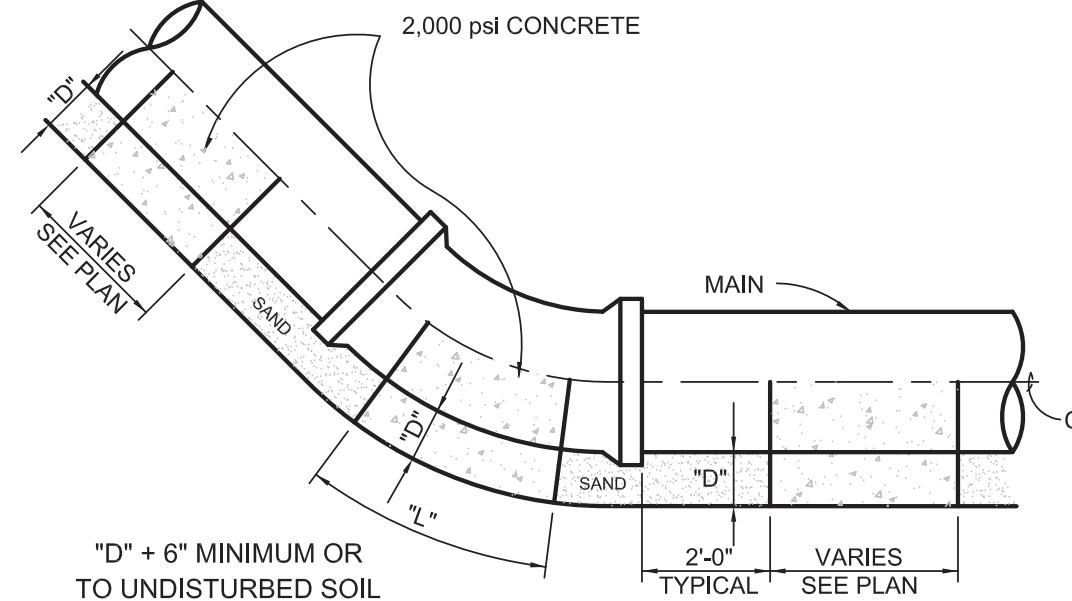


CITY OF ALBUQUERQUE  
DRAINAGE  
SIDEWALK CULVERT  
WITH STEEL PLATE TOP  
DWG. 2236  
May 2011



PIPE DIA.	W
≤12"	O.D. OF PIPE + (12" TO 18")
>12"	> O.D. OF PIPE + 18"

### UTILITY TRENCHING & BEDDING NOT TO SCALE



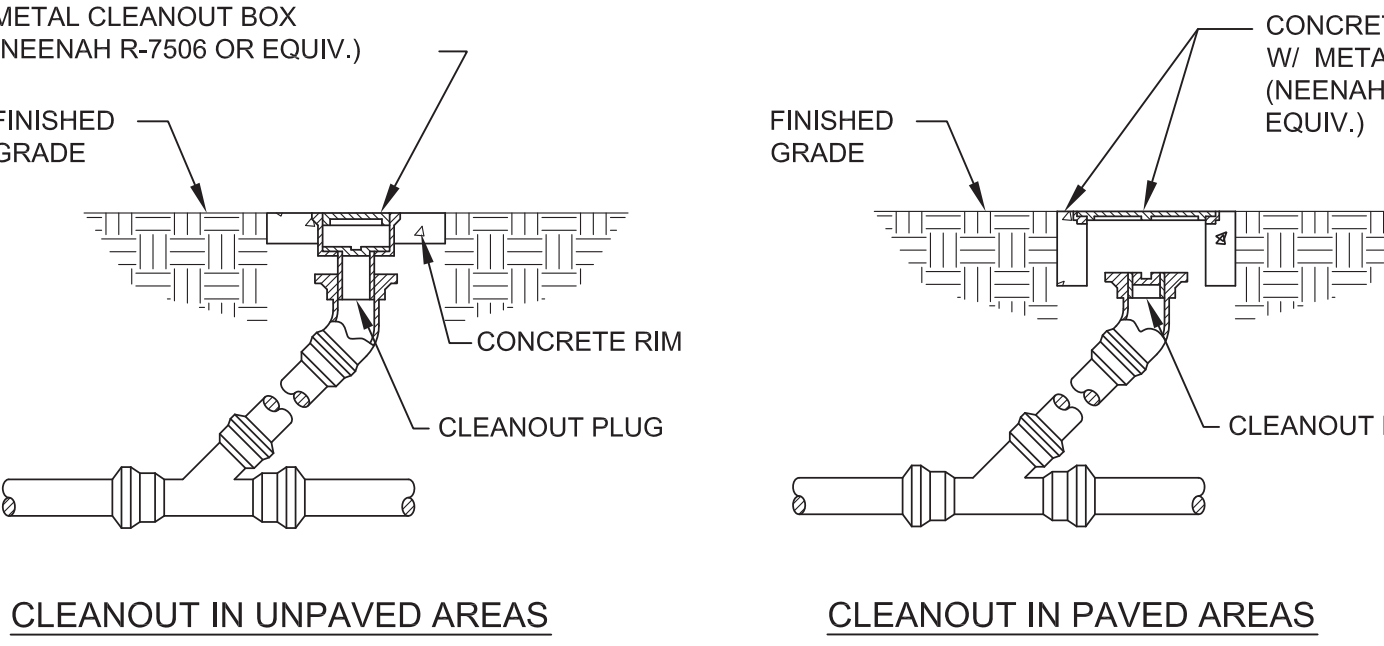
PIPE SIZE	11" - 15"		22" - 30"		45"		90"	
	L	MAX. VOL.	L	MAX. VOL.	L	MAX. VOL.	L	MAX. VOL.
6"	0.42	0.02	0.45	0.02	0.50	0.02	1.00	0.04
8"	0.42	0.02	0.45	0.02	0.80	0.04	1.40	0.06
10"	0.42	0.03	0.58	0.03	1.15	0.06	2.03	0.11
12"	0.42	0.04	0.73	0.05	1.43	0.09	2.53	0.17
16"	0.42	0.08	0.74	0.14	1.48	0.27	2.61	0.48
18"	0.66	0.14	1.30	0.28				
20"	0.77	0.18	1.53	0.36				
18"	0.88	0.18	1.74	0.37				
20"	1.03	0.24	2.04	0.38				
18"	1.05	0.22	2.03	0.43				
20"	1.20	0.28	2.38	0.56				

CONCRETE CRADLE  
AT VERTICAL BENDS

NOTE: MEGA LUG RETAINER GLANDS SHALL BE  
USED ON ALL FITTINGS AND BENDS

CONCRETE  
THRUST BLOCKING

### THRUST BLOCKING NOT TO SCALE



NOTE:  
G.C. IS TO INSTALL CLEANOUT AT ANY PIPING ANGLE  
CHANGES AND AT EVERY 50' IN PIPING RUNS GREATER  
THAN 100' IN LENGTH.

### EXTERIOR CLEANOUT NOT TO SCALE

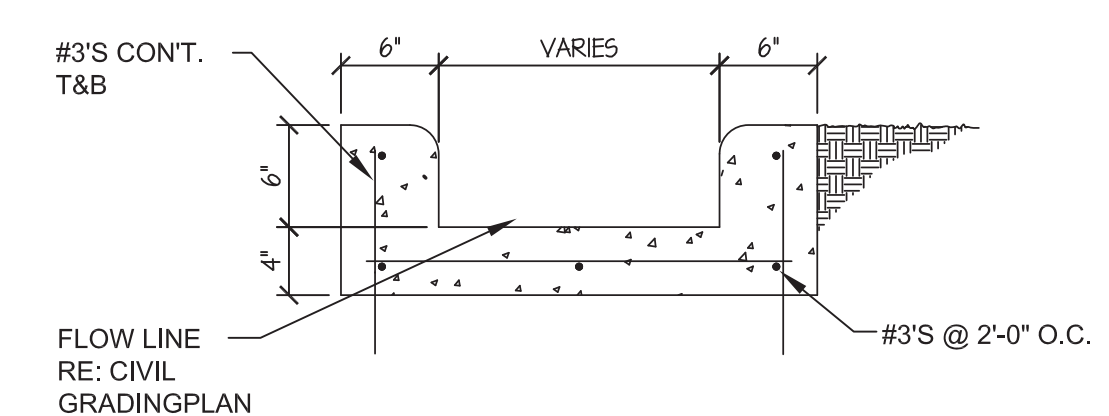
NOTE: CONCRETE FOR THRUST BLOCKS SHALL  
BE CLASS "B" (4 SACKS) (2000 psi)

BLOCKING TABLE

BUT IS TO BE INCREASED WHERE NECESSARY TO PROVIDE BEARING AGAINST UNDISTURBED TRENCH WALL.

PIPE SIZE	"X" DIM.	PLUGS & TEES		90° BENDS		45° BENDS		22° 30' BENDS		11° 15' BENDS			
		"A"	MIN. AREA	"B"	MIN. AREA	"C"	MIN. AREA	"D"	MIN. AREA	"E"	MIN. AREA		
4"	1'-0"	1'-0"	0.83	0.05	1'-0"	0.83	0.05	1'-0"	0.83	0.05	1'-0"	0.83	0.05
6"	1'-6"	1'-0"	1.08	0.09	1'-2"	1.50	0.09	1'-0"	0.83	0.05	1'-0"	0.83	0.05
8"	1'-6"	1'-3"	1.89	0.11	1'-0"	2.26	0.16	1'-3"	1.44	0.06	1'-0"	0.83	0.05
10"	1'-6"	1'-3"	2.85	0.17	1'-0"	4.17	0.24	1'-6"	2.26	0.13	1'-3"	1.15	0.07
12"	1'-6"	2'-0"	4.25	0.24	2'-0"	6.00	0.34	1'-9"	3.25	0.18	1'-3"	1.65	0.10
16"	2'-0"	2'-7"	7.34	0.38	3'-0"	10.65	0.39	2'-0"	5.78	0.43	1'-6"	2.94	0.22
18"	2'-0"	2'-11"	7.70	0.57	3'-6"	10.89	0.82	2'-6"	5.89	0.44	1'-10"	3.01	0.22
20"	2'-0"	3'-3"	3.70	0.59	3'-9"	11.12	0.59	2'-9"	6.01	0.45	2'-0"	3.07	0.23
24"	2'-0"	3'-9"	11.33	0.84	4'-3"	16.00	1.20	3'-2"	9.65	0.65	2'-6"	4.42	0.33
											1'-10"	2.54	0.12
											1'-12"	1.22	0.17

NOTE: CALCULATIONS IN MINIMUM AREA COLUMN ARE IN SQUARE FEET. CALCULATIONS IN MAXIMUM VOLUME COLUMN ARE IN CUBIC YARDS.



### CONCRETE FLUME NOT TO SCALE

REV	DATE	DESCRIPTION	BY	ISSUE REF
1	11/05/2014	PER CITY COMMENTS	HJM	---
1	11/17/2014	PER DRAINAGE COMMENTS	MEG	---

910 S. Kimball Avenue ■ Soudlake, Texas 76092 ■ (817) 328-3200

11.17.14

McDONALD'S®		6300 SAN MATEO BLVD NE ALBUQUERQUE, NEW MEXICO	
THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF McDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.		MCDONALD'S (C) 004-0021 ADAMS ENGINEERING No. 2013.344	

PLAN APPROVALS	CO-SIGN SIGNATURES	STATUS	DATE	BY
SIGNATURE (2 REQUIRED)	REGIONAL MGR. CONST. MGR. OPERATIONS DEPT. REAL ESTATE DEPT.	DATE DRAWN	JULY 2014	LMG
	CONTRACTOR OWNER	PLAN CHECKED	11/5/14	DWL
AS-BUILT				

C10.5