

CITY OF ALBUQUERQUE



May 25, 2016

Dennis Lang
Adams Engineering
8951 Cypress Waters Blvd., Suite 150
Dallas, Texas 75019

**Re: McDonanld's
6300 San Mateo Blvd, NE
Request for Certificate of Occupancy- Transportation Development
Engineer's/Architect's Stamp dated 12-2-14 (E18-D019C)
Certification dated 5-18-16**

Dear Lang,

Based upon the information provided in your submittal received 5-18-16, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

PO Box 1293

If you have any questions, please contact Gary Sandoval at (505) 924-3675 or me at (505)924-3991.

Albuquerque

Sincerely,

New Mexico 87103

www.cabq.gov

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

\gs via: email
C: CO Clerk, File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

*Need: HC Signs, striping
Exit Directional Arrows
to be emailed
received 5/2/16*

Project Title: McDonald's San Mateo Building Permit #: T2014-92777 City Drainage #: E18D019C
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: Tract M, Far North Shopping Center, within the Elena Gallegos Grant, Projected Section 26, T11N, R3E, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, NM
City Address: 6300 San Mateo Blvd. NE

Engineering Firm: Adams Engineering Contact: G. Robert Adams, P.E.
Address: 8951 Cypress Waters Blvd., Suite 150
Phone#: 817-328-3200 Fax#: 817-328-3299 E-mail: rob.adams@adams-engineering.com

Owner: McDonald's Contact: Antwan Smith
Address: 511 E. Carpenter Freeway, Irving, TX 75062
Phone#: 817.240.0744 Fax#: _____ E-mail: antwan.smith@us.mcd.com

Architect: Rogue Architects Contact: Jeremy A. Williams, R.A.
Address: 513 Main St., Suite 200, Fort Worth, TX 76102
Phone#: 817-820-0433 Fax#: _____ E-mail: Jeremy@roguearchitects.com

Surveyor: Precision Surveys, Inc. Contact: Larry W. Medrano, P.S.
Address: 5571 Midway Park Place NE, Albuquerque, NM 87109
Phone#: 505-856-5700 Fax#: 505-856-7900 E-mail: larry@presurv.com

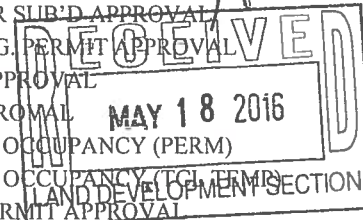
Contractor: Cordova Contracting, LLC Contact: Mark Cordova
Address: 316 Osuna Rd. NE, Ste 202, Albuquerque, NM 87107
Phone#: 505-243-9675 Fax#: _____ E-mail: mark@cordovalc.com

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☒ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☒ ENGINEER'S CERT (TCL)
- ☒ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY)

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL, TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY)



WAS A PRE-DESIGN CONFERENCE ATTENDED: Yes ☒ No ☐ Copy Provided ☐

DATE SUBMITTED: May 18, 2016 By: Dennis Lang PE

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



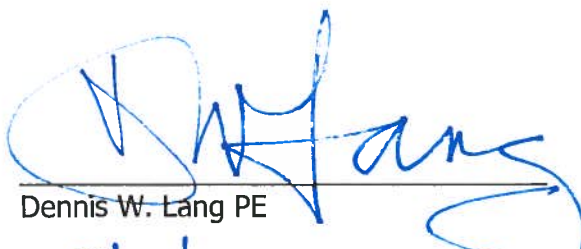
TRAFFIC CERTIFICATION

I, Dennis Lang, NM PE, of the firm of Adams Engineering (ADAMS), hereby certify that this project is in substantial compliance with and in accordance with the design intent of the DRB Site Development approved plan dated December 16, 2014 (Traffic Engineering signoff date). The record information edited onto the ADAMS Grading Plan (to follow with drainage certification) has been obtained by Lorenzo (Larry) E. Dominguez, NM PS 10461, of the firm East Mountain Surveying Company, New Mexico. I further certify that I personally visited the project site on May 18, 2016, and determined by visual inspection that the survey data provided was representative of actual site conditions and was true and correct to the best of my knowledge and belief. This certification was submitted in support of a request for a certificate of occupancy.

There are no known transportation related visible deficiencies and/or required corrections of the substantially completed work. One of the parking spaces nearly midway along the south side of the project was replaced with a curbed island at the owner's request. This was done to protect a water PIV.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Adams | Engineering & Development Consultants


Dennis W. Lang PE
5/18/2016
Date

