

McDONALD'S REBUILD  
TRACT M OF THE FAR NORTH SHOPPING CENTER,  
PLAT BOOK B12, PAGE 192 OF WHICH WAS FILED  
IN THE OFFICE OF THE COUNTY CLERK OF  
BERNALILLO COUNTY, NEW MEXICO



<p align="center"><b>** FEMA NOTE **</b></p> <p>Flood Statement: According to Community Panel No. 35001C0139G, Dated 09-26-2008, of the Federal Emergency Management Agency, National Flood Insurance Program Map, this property is within flood zone "X", areas determined to be outside the 0.2% annual chance floodplain. If this site is not within an identified special flood hazard area, this flood statement does not imply that the property and/or the structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This statement shall not create liability on the part of Adams Engineering.</p>
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**VICINITY MAP**  
N.T.S.

# BENCHMARK

1. A.G.R.S. MONUMENT "SMW\_12"  
STANDARD A.G.R.S. ALUMINUM CAP  
(FOUND IN PLACE) NEW MEXICO STATE  
PLANE COORDINATES (CENTRAL ZONE-N.A.D. 1983)  
N=1,501,982.798 E=1,541,924.304  
PUBLISHED EL=5242.356 (NAVD 1988)  
GROUND TO GRID FACTOR=0.999664227  
DELTA ALPHA ANGLE=-0°11'22.97"

2. A.G.R.S. MONUMENT "F\_18 RESET 1993"  
STANDARD A.G.R.S. BRASS DISC  
(FOUND IN PLACE) NEW MEXICO STATE  
PLANE COORDINATES (CENTRAL ZONE-N.A.D. 1983)  
N=1,507,530.01 E=1,542,199.928  
PUBLISHED EL=5260.183 (NAVD 1988)  
GROUND TO GRID FACTOR=0.999663314  
DELTA ALPHA ANGLE=-0°11'20.82"

THESE PLANS ARE SUBJECT TO REVIEW & APPROVAL BY  
JURISDICTIONAL ENTITIES.

**\*\* NOTICE TO CONTRACTORS - TOPOGRAPHIC SURVEY \*\***

Topographic information taken from a Topographic Survey performed by PRECISION SURVEYS, INC.. The Contractor shall notify the Engineer immediately, in writing, of any discrepancies or omissions to the topographic information. The Contractor(s) shall be responsible for confirming the location (horizontal/vertical) of any buried cables, conduits, pipes, and structures (storm sewer, sanitary sewer, water, gas, television, telephone, etc.) which impact the construction site. The Contractor(s) shall notify the Owner and Engineer if any discrepancies are found between the actual conditions and the information provided. Any error incurred as the result of not confirming the actual location (horizontal/vertical) of said cables, conduits, pipes, and structures shall be borne by the Contractor. Additionally, the Contractor(s) shall notify the Owner and Engineer if any errors or discrepancies are found on the construction documents (plans, specifications, & estimates), which negatively impact the project. The Engineer and Owner shall be indemnified of premiums for Contractor(s) which may result from Contractor's failure to notify Engineer and Owner.

**\*\* NOTICE TO CONTRACTOR - BIDDING \*\***

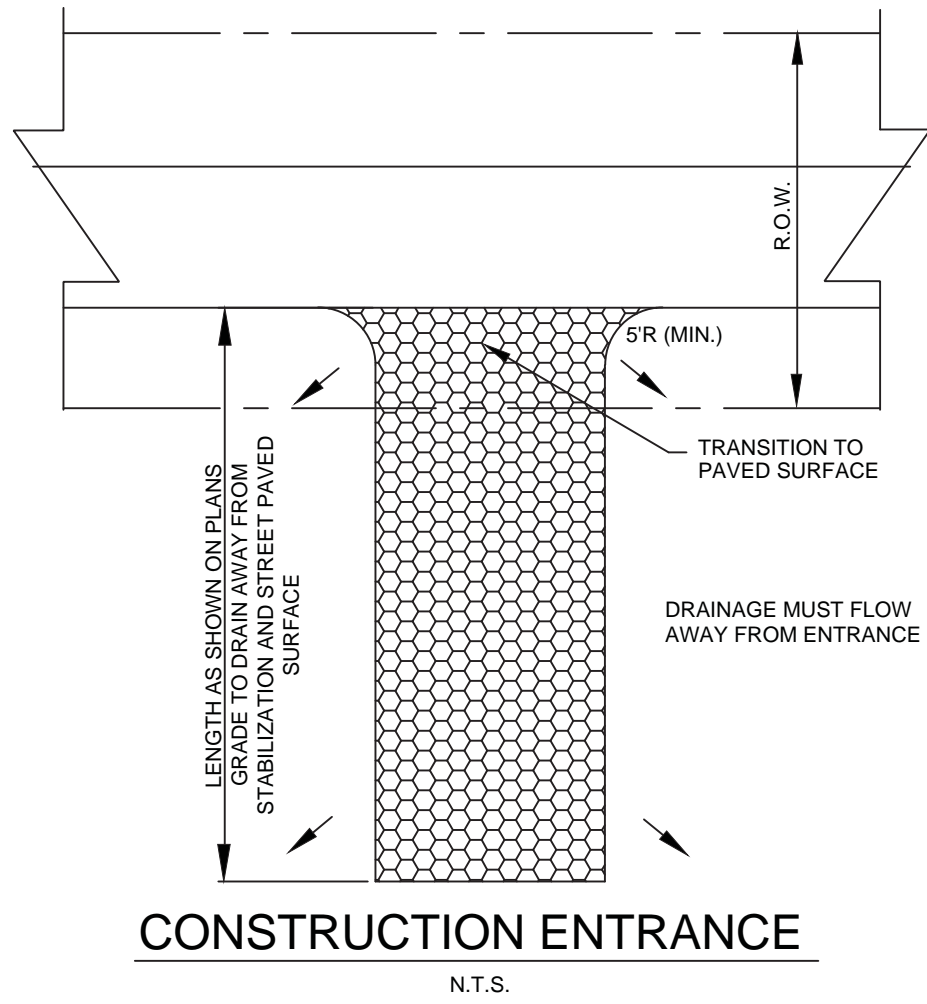
All questions regarding the General Contractor's preparation of his bid shall be directed to the McDonald's Construction Department. Sub-contractors must direct their questions through the General Contractor only. The Consulting Architect and/or Engineer shall not be contacted by the General Contractors, Sub-contractors, or Suppliers without direct prior authorization from McDonald's.

		<b>PLAN APPROVALS</b>		<b>OFFICE</b> GREATER SOUTHWEST  ADDRESS KROC DRIVE - OAK BROOK, ILLINOIS 60521			
		SIGNATURE (2 REQUIRED)	DATE	<b>MCDONALD'S®</b> <small>THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF MCDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.</small>			
		REGIONAL MGR.					
		CONST. MGR.					
		OPERATIONS DEPT.					
		REAL ESTATE DEPT.					
		<b>CO-SIGN SIGNATURES</b>		6300 SAN MATEO BL VD NE ALBUQUERQUE, NEW MEXICO			
STATUS		DATE		MCDONALD'S LLC (03H4002)		ADAMS ENGINEERING No.: 2012-14	
DATE DRAWN		SEPT 2014		CONTRACTOR		OWNER	
PLAN CHECKED		10/6/14		DWL			
AS-BUILT							
C1.0							



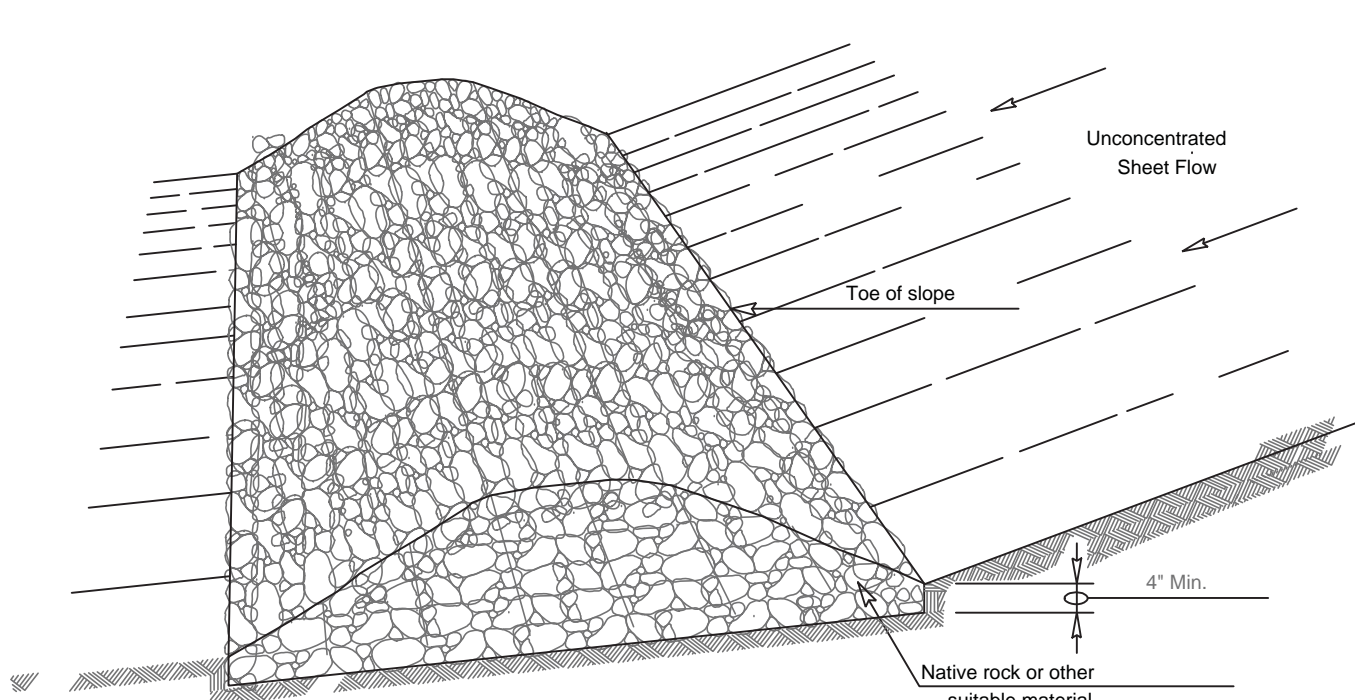






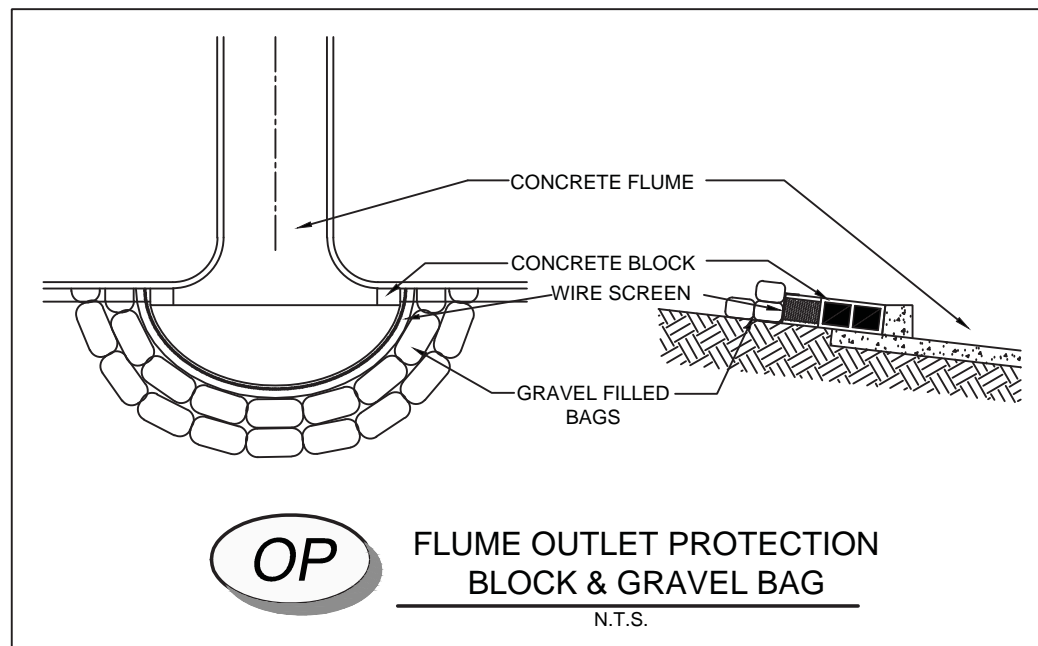
### STABILIZED CONSTRUCTION ENTRANCE

- STONE SHALL BE 2 TO 3 INCH DIAMETER CRUSHED ROCK OR ACCEPTABLE CRUSHED PORTLAND CEMENT CONCRETE.
- LENGTH SHALL BE SHOWN ON PLANS, WITH A MINIMUM LENGTH OF 30 FEET FOR LOTS WHICH ARE LESS THAN 150 FEET FROM EDGE OF PAVEMENT. THE MINIMUM DEPTH IN ALL OTHER CASES SHALL BE 50 FEET.
- THE THICKNESS SHALL NOT BE LESS THAN 8 INCHES.
- THE WIDTH SHALL BE NO LESS THAN THE FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
- WHEN NECESSARY, VEHICLES SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO A PUBLIC ROADWAY. WHEN FLASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WITH DRAINAGE FLOWING AWAY FROM BOTH THE STREET AND THE STABILIZED ENTRANCE. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH OR WATERCOURSE USING APPROVED METHODS.
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PAVED SURFACES. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PAVED SURFACES, MUST BE REMOVED IMMEDIATELY.
- THE ENTRANCE MUST BE PROPERLY GRADED OR INCORPORATE DRAINAGE SWALE TO PREVENT RUNOFF FROM LEAVING THE CONSTRUCTION SITE.



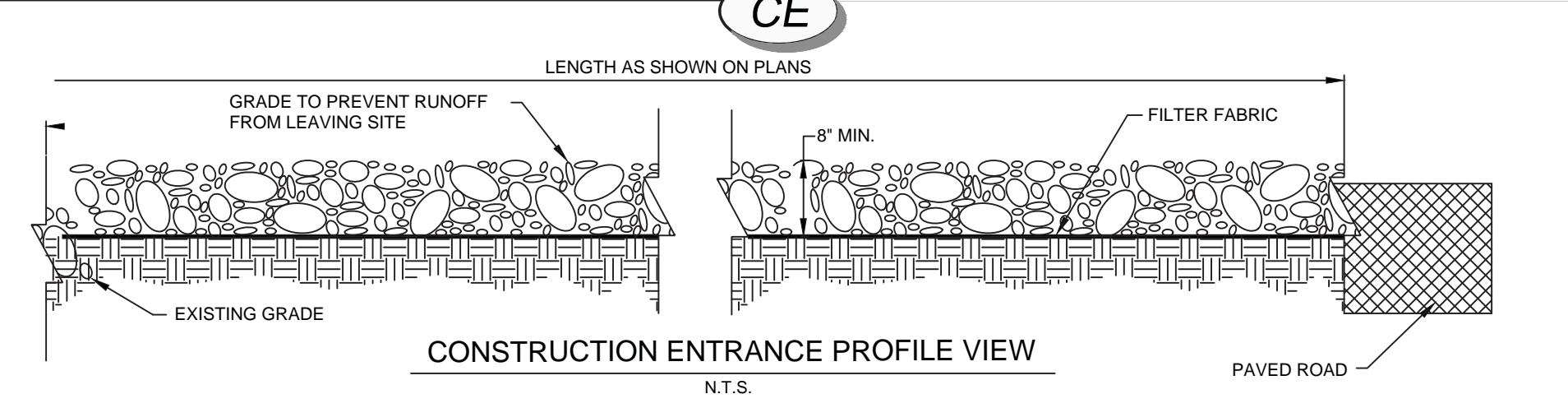
### ROCK FILTER DAM

ROCK FILTER DAM SHALL BE SECURED WITH 20 GAUGE GALVANIZED WOVEN WIRE MESH WITH 1" DIAMETER HEXAGONAL OPENINGS. THE AGGREGATE SHALL BE PLACED ON THE MESH TO THE HEIGHT & SLOPES SPECIFIED. THE MESH SHALL BE FOLDED AT THE UPSTREAM SIDE OVER THE AGGREGATE AND TIGHTLY SECURED TO ITSELF ON THE DOWNSTREAM SIDE USING WIRE TIES OR HOG RINGS. IN STREAM USE THE MESH SHOULD BE SECURED OR STAKED TO THE STREAM BED PRIOR TO AGGREGATE PLACEMENT.



### FLUME OUTLET PROTECTION BLOCK & GRAVEL BAG

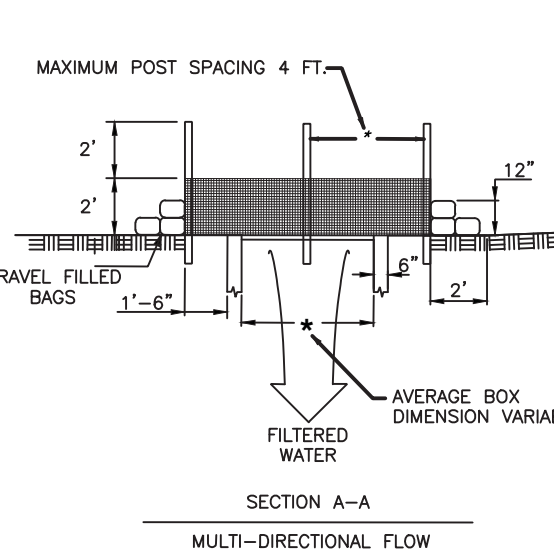
N.T.S.



### CE

### CONSTRUCTION ENTRANCE PROFILE VIEW

N.T.S.



### SECTION A-A

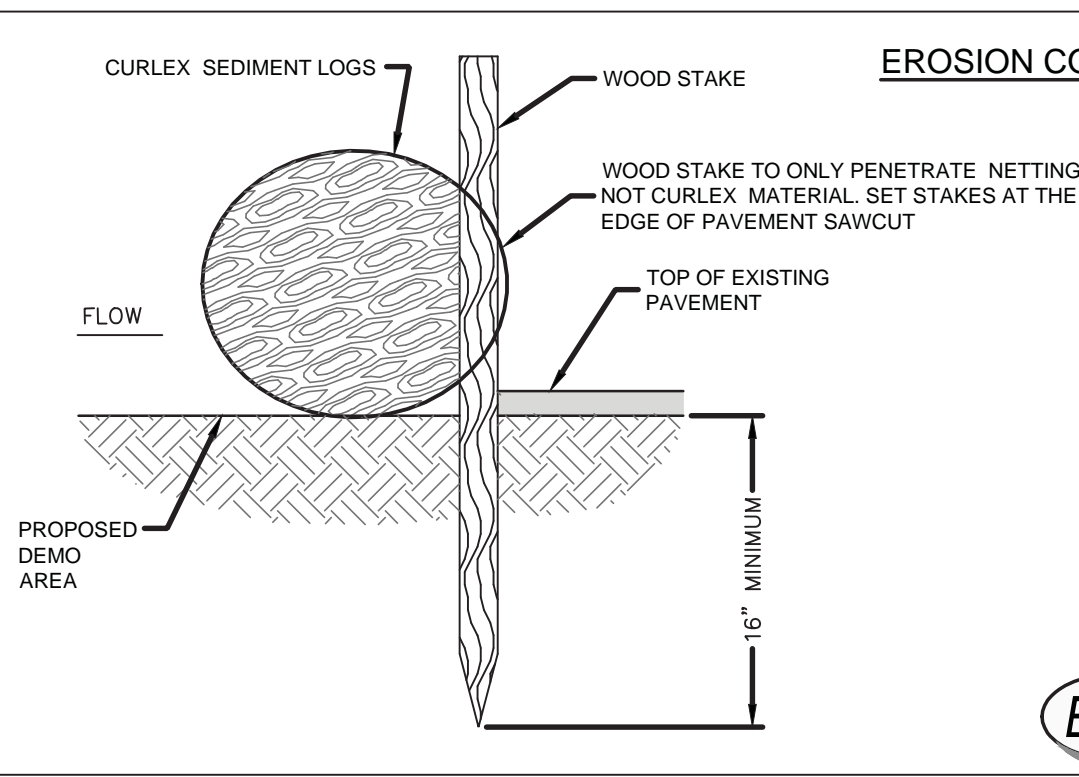
### GIP

### WIRE MESH AND GRAVEL BAG

### GRATE INLET PROTECTION

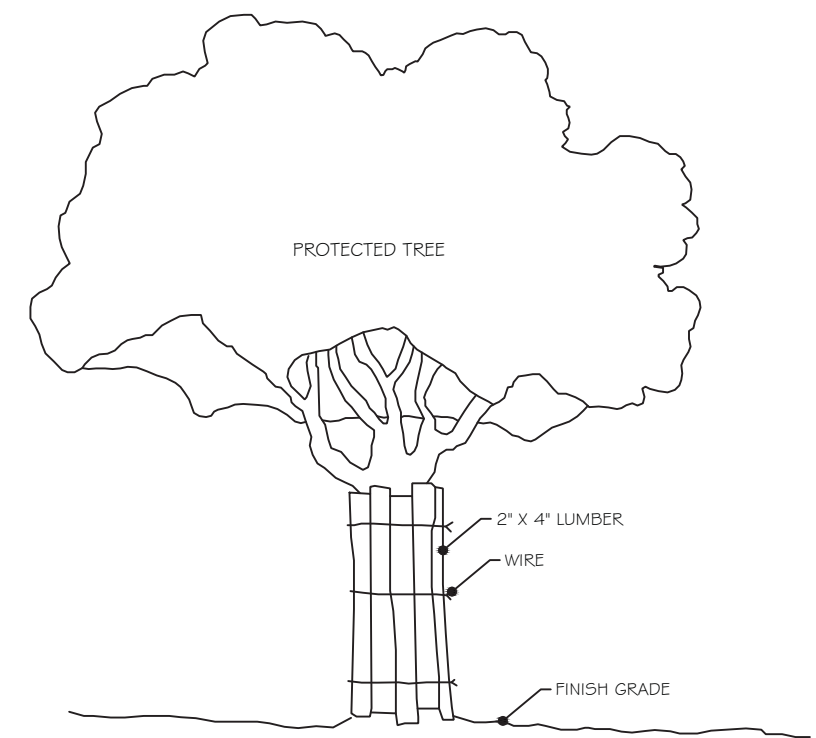
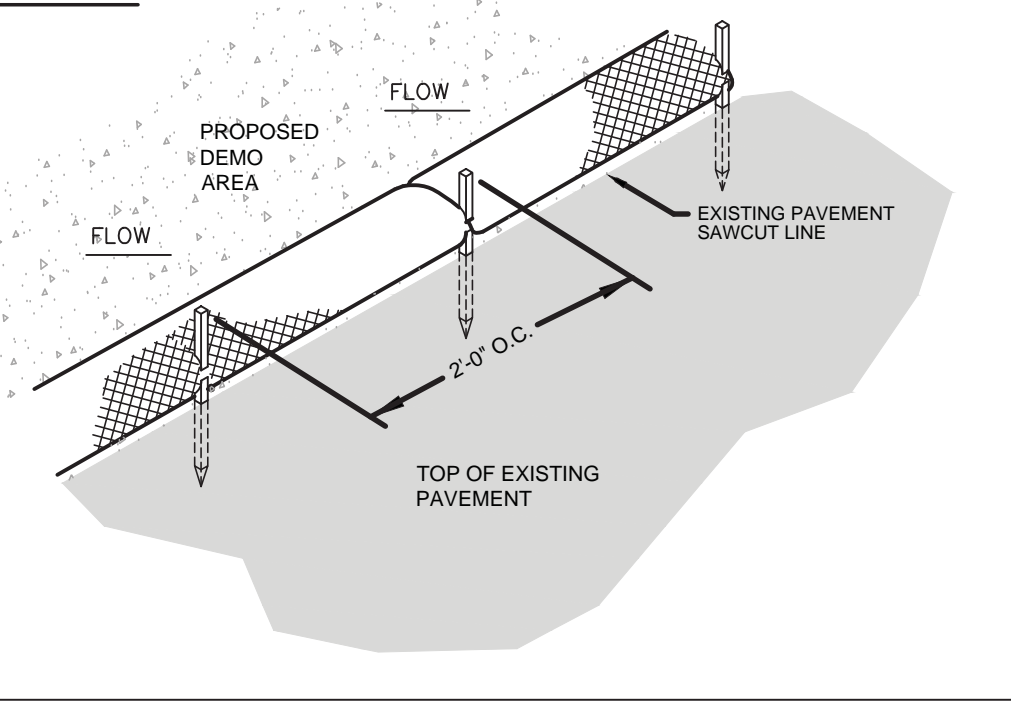
N.T.S.

- SEDIMENT CONTROL STONE SHALL BE NO. 5 OR NO. 57.
- WIRE MESH SHALL BE HARDWARE CLOTH 23 GAUGE MIN. AND SHALL HAVE 1/4" INCH MESH OPENINGS.
- TOP OF WIRE MESH SHALL BE A MINIMUM OF ONE FOOT BELOW THE SHOULDER OR ANY DIVERSION POINT.
- STEEL POST SHALL BE 5 FT. IN HEIGHT, BE INSTALLED 1.5 FT. DEEP MINIMUM, AND BE OF THE SELF-FASTENER ANGLE STEEL TYPE.
- WOOD POST SHALL BE 6 FT. IN HEIGHT, BE INSTALLED TO 1.5 FT. DEEP MINIMUM, AND BE 3 INCHES IN DIAMETER.
- POST SPACING SHALL BE A MAXIMUM OF 4 FT.



### EROSION CONTROL WATTLE

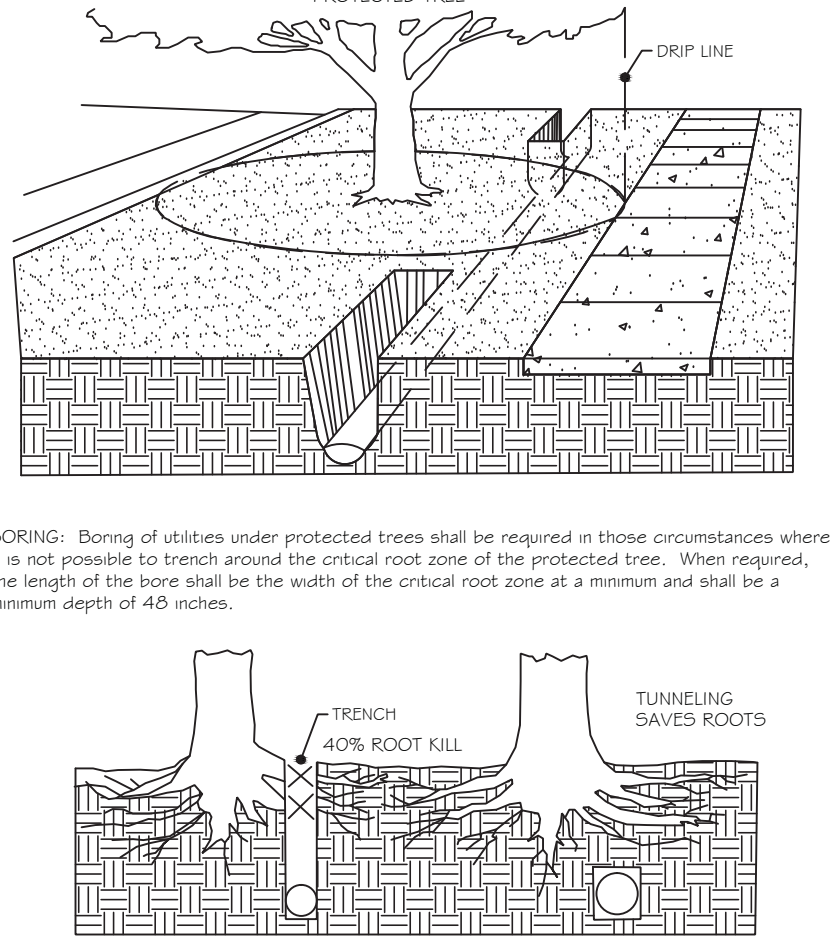
N.T.S.



In situations where a protected tree remains in the immediate area of intended construction and the tree may be in danger of being damaged by construction equipment or other activity, the contractor or subcontractor shall protect the tree with 2" x 4" lumber encircled with wire or other means that do not damage the tree. The intent is to protect the trunk of the tree against incidental contact by large construction equipment.

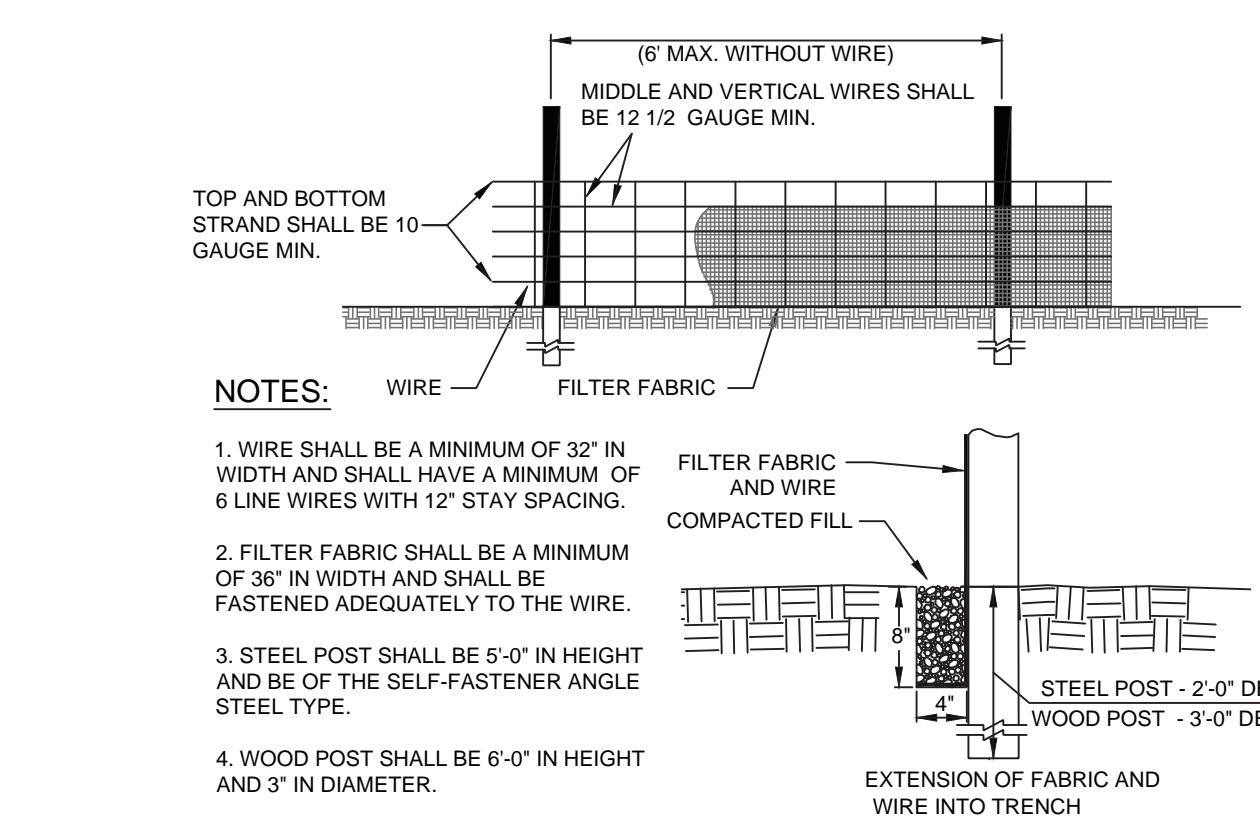
### BARK PROTECTION

N.T.S.



### BORING AND TUNNELING

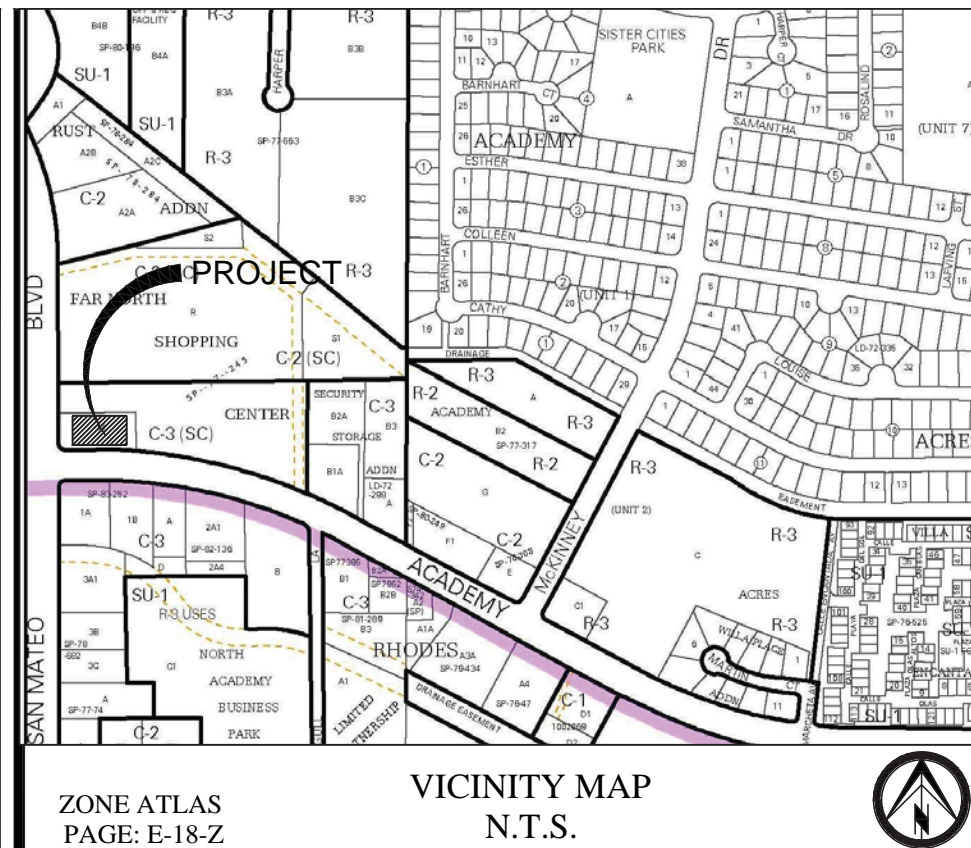
N.T.S.



### SEDIMENT FENCE DETAIL

### SF

- NOTES:
- WIRE SHALL BE A MINIMUM OF 32" IN WIDTH AND SHALL HAVE A MINIMUM OF 6 LINE WIRES WITH 12" STAY SPACING.
  - FILTER FABRIC SHALL BE A MINIMUM OF 36" IN WIDTH AND SHALL BE FASTENED ADEQUATELY TO THE WIRE.
  - STEEL POST SHALL BE 5'-0" IN HEIGHT AND BE OF THE SELF-FASTENER ANGLE STEEL TYPE.
  - WOOD POST SHALL BE 6'-0" IN HEIGHT AND 3" IN DIAMETER.



### VICINITY MAP

N.T.S.

### GENERAL NOTES

- Bases, anchor bolts, conduit, and wiring for all signs are by the General Contractor.
- 3/4" empty conduit to locations shown at the lot perimeter for lot lighting is by the General Contractor. Lighting fixtures, bases, poles, conduit, and wiring are by the General Contractor.
- Lot lighting concrete footings to conform with the soils report recommendations for this site.
- Bases for flagpoles are by the General Contractor. Anchor bolts are by the flagpole supplier. General contractor shall coordinate with flag pole supplier prior to construction.
- The Contractor shall coordinate with all utility companies to determine exact point of service connection at existing utility. Refer to the building electrical and plumbing drawings for utility service entrance locations, sizes, and circling.
- General Contractor must provide exact "as built" information upon completion.
- All elevations shown are in reference to the benchmark and must be verified by the General Contractor at groundbreak.
- Curb elevations shall be 6" above finish pavement unless noted otherwise.
- All landscape areas shall be rough graded to 6" below top of all walks and curbs. Finished grading, landscaping and sprinkler systems are by the Owner / Operator.
- It is strongly recommended that no contractual agreements of any kind be signed prior to receiving and thoroughly reviewing all approvals from all of the regulatory authorities having jurisdiction over this project.
- Due to the nature of the work, all dimensions shown shall be considered approximate. Contractor shall field verify all dimensions prior to beginning construction. Shop drawings shall be submitted to the Architect and/or Engineer for approval prior to fabrication or installation of any item. Failure to adhere to this procedure shall place full responsibility for any errors directly upon the Contractor.
- Contractor shall contact appropriate jurisdictional agencies prior to construction to confirm if independent testing or inspections will be required prior to their acceptance of work. Contractor shall make necessary arrangements to insure proper testing & inspections are documented such that work will be accepted at project completion.
- Sidewalks around building shall have same subgrade preparation as building foundation.
- All materials and construction with easements and R.O.W. shall conform to all governing authorities' jurisdictional standard construction details and specifications.
- Topographic information taken from a Topographic Survey performed by PRECISION SURVEYS, INC. The Contractor shall notify the Engineer immediately, in writing, of any discrepancies or omissions to the topographic information. The Contractor(s) shall be responsible for confirming the location (horizontal/vertical) of any buried cables, conduits, pipes, and structures (storm sewer, sanitary sewer, water, gas, television, telephone, etc.) which impact the construction site. The Contractor(s) shall notify the Owner and Engineer if any discrepancies are found between the actual conditions versus the data contained in the construction plans. Any costs incurred as the result of not confirming the actual location (horizontal/vertical) of said cables, conduits, pipes, and structures shall be borne by the Contractor. Additionally, the Contractor(s) shall notify the Owner and Engineer if any errors or discrepancies are found on the construction documents (pds), which negatively impact the project. The Engineer and Owner shall be indemnified of problems and/or cost which may result from Contractor's failure to notify Engineer and Owner.
- McDonald's reserves the right to request a compaction and/or a core sample. If tests prove correct, per the soils report, tests will be at the expense of McDonald's, otherwise G.C. will be charged.
- Contractor shall comply to the fullest extent with the latest standards of OSHA directives or any other agency having jurisdiction for excavation and trenching procedure. Contractor shall use support systems, sloping, benching, or other means of protection, including but is not limited to, access and egress from all excavation and trenching. Contractor is responsible to comply with performance criteria for OSHA.

PAVING SPECIFICATION	VERIFY W/MCDONALD'S:	ASPHALT:	<input type="checkbox"/>	CONCRETE:	<input checked="" type="checkbox"/>
	CONTRACTOR TO BID:	ASPHALT:	<input type="checkbox"/>	CONCRETE:	<input checked="" type="checkbox"/>

NOTE: ALL PAVING & SUBGRADE SPECIFICATIONS TO COMPLY WITH GEOTECHNICAL REPORT AS PREPARED BY:

TERRACON CONSULTANTS, INC.  
AUGUST 29, 2014  
PROJECT NO. 66145053

ASPHALT PAVEMENT RECOMMENDATIONS - ALTERNATE BID		
PAVEMENT MATERIALS	LIGHT DUTY	HEAVY DUTY
Asphalt Surface Course	3" OR 4.5"	4" OR 5.5"
Aggregate Base Course	6"	6"

CONCRETE PAVEMENT RECOMMENDATIONS - BASE BID		
PAVEMENT MATERIALS	LIGHT DUTY	HEAVY DUTY
Portland Cement Concrete PVMT	5"	5.5"

- PAVEMENT NOTES:
- PAVEMENT AND SUBGRADE SHALL BE PREPARED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT PREPARED BY TERRACON CONSULTANTS, INC. DATED AUGUST 29, 2014. (PROJECT NUMBER 66145053)
  - SUBGRADE SHOULD BE SCARIFIED AND COMPACTED TO AT LEAST 98 PERCENT OF THE STANDARD PROCTOR (ASTM D 698) MAXIMUM DRY DENSITY FOR A DEPTH OF AT LEAST 10 INCHES BELOW THE SURFACE. SEE SECTION 4.2 OF GEOTECH REPORT.
  - PAVEMENT MAY BE PLACED AFTER THE SUBGRADE HAS BEEN PROPERLY COMPACTED, FINE-GRADED AND PROOF ROLLED AS SPECIFIED IN THE SOILS REPORT.
  - ALL WORK SHALL BE IN ACCORDANCE WITH THE NEW MEXICO STATE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS AND CITY OF ALBUQUERQUE SPECIFICATIONS.
  - WATER SHOULD NOT BE ALLOWED TO POND BEHIND CURBS AND SATURATE THE BASE MATERIALS. GRANULAR BASE MATERIAL SHOULD EXTEND THROUGH THE SLOPE PROVIDING UNDERGROUND DRAINAGE AN EXIT PATH.
  - REFER TO C10.2 FOR CONCRETE JOINT SPECIFICATIONS UNLESS NOTED OTHERWISE IN THE SOILS REPORT.
  - ALL CONCRETE PAVEMENT SHALL BE 4,000 PSI @ 28 DAYS AND REINFORCED WITH #3 BARS @ 18" O.C.E.W.
  - IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REFER TO GEOTECHNICAL REPORT FOR ADDITIONAL INFORMATION.
- THE INFORMATION ABOVE IS BEING PROVIDED FOR REFERENCE ONLY AND SHALL NOT BE RELIED ON AS ACCURATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REFERRING TO THE GEOTECHNICAL REPORT REFERENCES ABOVE FOR ALL PAVEMENT/EARTHWORK REQUIREMENTS.

### SURVEY INFORMATION

PREPARED BY:	LEGAL DESCRIPTION:
PRECISION SURVEYS, INC.	TRACT M OF THE FAR NORTH SHOPPING CENTER,
5571 MIDWAY PARK PLACE NE	PLAT BOOK B12, PAGE 192 OF WHICH WAS FILED
ALBUQUERQUE, NEW MEXICO	IN THE OFFICE OF THE COUNTY CLERK OF
505-856-5700	BERNALILLO COUNTY, NEW MEXICO
DATE: 05-14-2014	

### PLAN SCALE: NONE

### ADDITION

### FAR NORTH SHOPPING CENTER

### STREET ADDRESS

### 6300 SAN MATEO BLVD NE

### CITY

### STATE

### ALBUQUERQUE

### NEW MEXICO

COUNTY:	SURVEY:	ABSTRACT NO.
BERNALILLO	---	---

L/C NUMBER:	CORPORATE DWG. NAME
030-0021	EROSION CONTROL DETAILS

BY	DATE	REV	DESCRIPTION	ISSUE REF
HJM	10/07/2014	---	ISSUE FOR PERMIT	---
---	---	---	---	---
---	---	---	---	---
---	---	---	---	---



# McDONALD'S

6300 SAN MATEO BLVD NE  
ALBUQUERQUE, NEW MEXICO

McDONALD'S L.C. 030-0021  
ADAMS ENGINEERING No. 2013.244

PLAN APPROVALS			CO-SIGN SIGNATURES		
SIGNATURE (2 REQUIRED)	DATE				
REGIONAL MGR.			CONTRACTOR		
CONST. MGR.			OWNER		
OPERATIONS DEPT.					
REAL ESTATE DEPT.					
STATUS			DATE	BY	
DATE DRAWN			SEPT 2014	MEG	
PLAN CHECKED			10/6/14	DWL	
AS-BUILT					
C3.1					









CURVE	RADIUS	ARC LENGTH	TANGENT	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	1862.26'	125.09'	62.57'	3°50'55"	N 87°48'54" W	125.07'
C2	25.00'	39.27'	25.00'	90°00'01"	S 44°44'15" E	35.36'

\*\*\* CONSTRUCTION NOTES \*\*\*

3. THE EARTHWORK FOR ALL BUILDING FOUNDATIONS AND SLABS SHALL BE IN ACCORDANCE WITH ARCHITECTURAL BUILDING PLANS AND SPECIFICATIONS.
2. ALL SIDEWALK AROUND BUILDING SHALL RECEIVE THE SAME SUBGRADE PREPARATION AS BUILDING FOUNDATION AS DESCRIBED IN GEOTECH REPORT PROVIDED BY TERRACON CONSULTANTS, INC., (PROJECT NO. 66145053)
3. ADJUST PAVEMENT AND/OR CURB ELEVATIONS AS NECESSARY TO ASSURE AS SMOOTH FIT AND CONTINUOUS GRADE WITH EXISTING WHILE MAINTAINING PROPOSED DRAINAGE PATTERN.
4. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL UTILITIES AND NOTIFYING THE APPROPRIATE UTILITY COMPANY PRIOR TO BEGINNING CONSTRUCTION.
5. CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING STORM SEWER STRUCTURES, PIPES, AND ALL UTILITIES PRIOR TO CONSTRUCTION.
6. CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION, SUCH AS BUT NOT LIMITED TO DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURBS, ETC. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
7. PROPOSED SPOT GRADES SHOWN ARE TO TOP OF PAVEMENT UNLESS OTHERWISE NOTED.
8. EXISTING AND PROPOSED GRADE CONTOUR INTERVALS SHOWN AT ONE FOOT (1')
9. ALL UN-SURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE FOUR (4) INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FIBRIC TO ALL SLOPES 3H:1V OR STEEPER. CONTRACTOR SHALL GRASS DISTURBED AREAS IN ACCORDANCE WITH STANDARD SPECIFICATIONS UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
10. FOR LOCATION OF ALL UTILITY ENTRANCES. SEE ARCHITECTURAL PLANS AND SPECIFICATIONS.
11. CONTRACTOR SHALL COORDINATE WITH ARCHITECTURAL PLANS, POWER COMPANY, TELEPHONE COMPANY & GAS COMPANY FOR ACTUAL ROUTING OF POWER AND SERVICES TO BUILDING.
12. CONSTRUCTION SHALL COMPLY WITH ALL GOVERNING CODES AND BE CONSTRUCTED TO SAME.
13. CONTRACTOR SHALL REFER TO ARCHITECTURAL BUILDING PLANS FOR EXACT LOCATION AND ORIENTATION OF EXTERIOR DOORS.
14. TRASH ENCLOSURE WITH FINISH TO MATCH BUILDING AS PER MCDONALD'S ENGINEER OR APPROVED EQUAL. REF. SHEET T-E-1 WITH 7" THICK X 15X18" CONCRETE PAD. (CONTRACTOR TO COORDINATE DESIGN SPECS. WITH SOILS REPORT AND MCDONALD'S.)
15. LOCATION OF ID, SIGN IS APPROXIMATE. IT IS THE RESPONSIBILITY OF THE SIGN CONTRACTOR TO VERIFY COMPLIANCE WITH SETBACK, SIZE, HEIGHT AND RELATED ZONING REQUIREMENTS PRIOR TO SETTING.
16. THE CONTRACTOR SHALL MAINTAIN DUST CONTROL ON SITE AT ALL TIMES BY WATERING SITE AS OFTEN AS NEEDED.
17. CONTRACTOR SHALL FIELD VERIFY ELEVATIONS OF ADJACENT PROPERTIES TO MCDONALD'S SITE. IF EXISTING GRADES DO NOT MATCH THOSE SHOWN ON THIS PLAN, CONTRACTOR SHALL NOTIFY MCDONALD'S PROJECT MANAGER.
18. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY TRAFFIC CONTROL NECESSARY FOR DRIVE DEMOLITION/CONSTRUCTION.

[illegible]



San Mateo Boulevard, E.  
(125' R.O.W.)

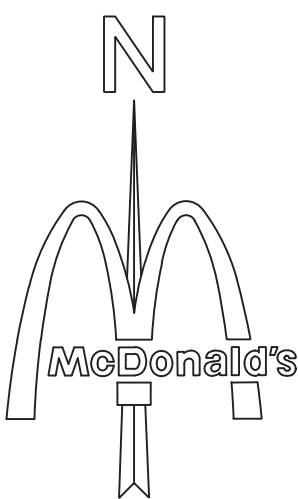
Point of Beginning

N/F FAR NORTH LLC  
c/o THOMAS W. MCCORMICK  
TRACT R  
FAR NORTH SUBDIVISION

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DELTA ALPHA ANGLE=0°11'20.82"

PUBLIC SERVICE COMPANY OF NEW MEXICO  
UNDERGROUND EASEMENT (ELECTRIC)  
APRIL 2, 2009, AS DOCUMENT NO. 2009-035287  
MAY 20, 2009, AS DOCUMENT NO. 2009-056101

EXISTING PNM AND MST &  
UNDERGROUND EASEMENT  
(11/22/1976, BK. 507-PG.  
630-631)



SCALE: 1" = 20'

THESE PLANS ARE SUBJECT TO REVIEW & APPROVAL BY  
JURISDICTIONAL ENTITIES.

#### OWNER INFORMATION

MCDONALD'S USA, LLC  
GREATER SOUTHWEST REGION  
511 E. CARPENTER FRWY, STE. 375  
IRVING, TEXAS 75062  
(972) 869-5346  
CONTACT: LEE MORRIS

Tract M  
AREA=0.9163 ACRES ±  
39,916 SQ. FT. ±

Academy Road, N.E.  
(106' R.O.W.)



Know what's below.  
Call before you dig.

PRE-DEVELOPMENT 100-YEAR, 6-HOUR RUNOFF CALCULATIONS							
Drainage Area Number	Area (ac)	Land Treatment Condition				Volume (ac/ft)	Peak Discharge (cfs)
		A	B	C	D		
X-1	0.320	0.000	0.000	0.068	0.252	0.06	1.50
X-2	0.555	0.000	0.000	0.022	0.533	2.32	0.11
X-3	0.041	0.000	0.000	0.000	0.041	2.36	0.01
OF-1	0.138	0.000	0.000	0.000	0.138	2.36	0.03
Note: Calculations in accordance with the City of Albuquerque Development Process Manual. The site is in Precipitation Zone 3.							

CURVE	RADIUS	ARC LENGTH	TANGENT	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
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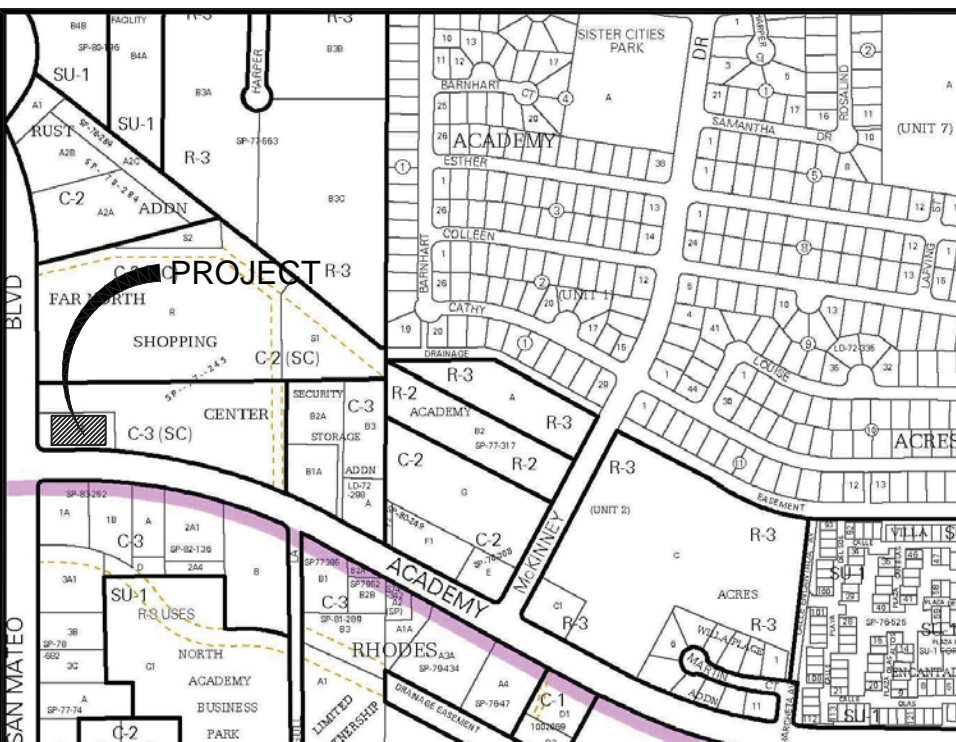
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#### LEGEND

- DRAINAGE AREA LINE
- EXISTING CONTOUR
- XXX DRAINAGE AREA NUMBER
- X.XX DRAINAGE AREA (ACRES)
- ↑ EXISTING DRAINAGE DIRECTION



VICINITY MAP  
N.T.S.

#### GENERAL NOTES

- Bases, anchor bolts, conduit, and wiring for all signs are by the General Contractor.
- 3/4" empty conduit to locations shown at the lot perimeter for lot lighting is by the General Contractor. Lighting fixtures, bases, poles, conduit, and wiring are by the General Contractor.
- Lot lighting concrete footings to conform with the soils report recommendations for this site.
- Bases for flagpoles are by the General Contractor. Anchor bolts are by the flagpole supplier. General contractor shall coordinate with flag pole supplier prior to construction.
- The Contractor shall coordinate with all utility companies to determine exact point of service connection at existing utility. Refer to the building electrical and plumbing drawings for utility service entrance locations, sizes, and circling.
- General Contractor must provide exact "as built" information upon completion.
- All elevations shown are in reference to the benchmark and must be verified by the General Contractor at groundbreak.
- Curb elevations shall be 6" above finish pavement unless noted otherwise.
- All landscape areas shall be rough graded to 6" below top of all walks and curbs. Finished grading, landscaping and sprinkler systems are by the Owner / Operator.
- It is strongly recommended that no contractual agreements of any kind be signed prior to receiving and thoroughly reviewing all approvals from all of the regulatory authorities having jurisdiction over this project.
- Due to the nature of the work, all dimensions shown shall be considered approximate. Contractor shall field verify all dimensions prior to beginning construction. Shop drawings shall be submitted to the Architect and/or Engineer for approval prior to fabrication or installation of any item. Failure to adhere to this procedure shall place full responsibility for any errors directly upon the Contractor.
- Contractor shall contact appropriate jurisdictional agencies prior to construction to confirm if independent testing or inspections will be required prior to their acceptance of work. Contractor shall make necessary arrangements to insure proper testing & inspections are documented such that work will be accepted at project completion.
- Sidewalks around building shall have same subgrade preparation as building foundation.
- All materials and construction within easements and R.O.W. shall conform to all governing authorities' jurisdictional standard construction details and specifications.
- Topographic information taken from a Topographic Survey performed by PRECISION SURVEYS, INC. The Contractor shall notify the Engineer immediately, in writing, of any discrepancies or omissions to the topographic information. The Contractor(s) shall be responsible for confirming the location (horizontal/vertical) of any buried cables, conduits, pipes, and structures (storm sewer, sanitary sewer, water, gas, television, telephone, etc.) which impact the construction site. The Contractor(s) shall notify the Owner and Engineer if any discrepancies are found between the actual conditions versus the data contained in the construction plans. Any costs incurred as the result of not confirming the actual location (horizontal/vertical) of said cables, conduits, pipes, and structures shall be borne by the Contractor. Additionally, the Contractor(s) shall notify the Owner and Engineer if any errors or discrepancies are found on the construction documents (plans), which negatively impact the project. The Engineer and Owner shall be indemnified of problems and/or cost which may result from Contractor's failure to notify Engineer and Owner.
- McDonald's reserves the right to request a compaction and/or a core sample. If tests prove correct, per the soils report, tests will be at the expense of McDonald's, otherwise G.C. will be charged.
- Contractor shall comply to the fullest extent with the latest standards of OSHA directives or any other agency having jurisdiction for excavation and trenching procedure. Contractor shall use support systems, sloping, benching, or other means of protection, including but is not limited to, access and egress from all excavation and trenching. Contractor is responsible to comply with performance criteria for OSHA.

PAVING SPECIFICATION	VERIFY W/MCDONALD'S:	ASPHALT: <input type="checkbox"/>	CONCRETE: <input checked="" type="checkbox"/>
	CONTRACTOR TO BID:	ASPHALT: <input type="checkbox"/>	CONCRETE: <input checked="" type="checkbox"/>
TERRACON CONSULTANTS, INC. 05-14-2014 PROJECT NO. 66145053			

ASPHALT PAVEMENT RECOMMENDATIONS-ALTERNATE BID		
PAVEMENT MATERIALS	LIGHT DUTY	HEAVY DUTY
Asphalt Surface Course	3" OR 4.5"	4" OR 5.5"
Aggregate Base Course	6"	6"
CONCRETE PAVEMENT RECOMMENDATIONS- BASE BID		
PAVEMENT MATERIALS	LIGHT DUTY	HEAVY DUTY
Portland Cement Concrete P.V.M.T	5"	5.5"

- PAVEMENT NOTES:
- PAVEMENT AND SUBGRADE SHALL BE PREPARED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT PREPARED BY TERRACON CONSULTANTS, INC. DATED AUGUST 29, 2014. (PROJECT NUMBER 66145053)
  - SUBGRADE SHOULD BE SCARIFIED AND COMPACTED TO AT LEAST 98 PERCENT OF THE STANDARD PROCTOR (ASTM D 698) MAXIMUM DRY DENSITY FOR A DEPTH OF AT LEAST 10 INCHES BELOW THE SURFACE. SEE SECTION 4.2 OF GEOTECH REPORT.
  - PAVEMENT MAY BE PLACED AFTER THE SUBGRADE HAS BEEN PROPERLY COMPACTED. FINE-GRADED AND PROOF ROLLED AS SPECIFIED IN THE SOILS REPORT.
  - ALL WORK SHALL BE IN ACCORDANCE WITH THE NEW MEXICO STATE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS AND CITY OF ALBUQUERQUE SPECIFICATIONS.
  - WATER SHOULD NOT BE ALLOWED TO POND BEHIND CURBS AND SATURATE THE BASE MATERIALS. GRANULAR BASE MATERIAL SHOULD EXTEND THROUGH THE SLOPE PROVIDING UNDERGROUND DRAINAGE AN EXIT PATH.
  - REFER TO C10.2 FOR CONCRETE JOINT SPECIFICATIONS UNLESS NOTED OTHERWISE IN THE SOILS REPORT.
  - ALL CONCRETE PAVEMENT SHALL BE 4,000 PSI @ 28 DAYS AND REINFORCED WITH #3 BARS @ 18" O.C.E.W.
  - IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REFER TO GEOTECHNICAL REPORT FOR ADDITIONAL INFORMATION.
- THE INFORMATION ABOVE IS BEING PROVIDED FOR REFERENCE ONLY AND SHALL NOT BE RELIED ON AS ACCURATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REFERRING TO THE GEOTECHNICAL REPORT REFERENCES ABOVE FOR ALL PAVEMENT/EARTHWORK REQUIREMENTS.

#### SURVEY INFORMATION

PREPARED BY: LARRY W. MEDRANO, R.P.S.	LEGAL DESCRIPTION: TRACT M OF THE FAR NORTH SHOPPING CENTER, 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NEW MEXICO DATE: 05-14-2014
IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO	

PLAN SCALE: 1" = 20'

FAR NORTH SHOPPING CENTER		
STREET ADDRESS		
6300 SAN MATEO BLVD NE		
CITY	STATE	
ALBUQUERQUE	NEW MEXICO	
COUNTY:	SURVEY:	ABSTRACT NO.
BERNALILLO	---	---
L/C NUMBER:	CORPORATE DWG. NAME	
030-0021	PRE-DEVELOPED DRAINAGE PLAN	

BY	DESCRIPTION	ISSUE FOR PERMIT	DATE	REV
HJM	---	---	10/07/2014	---

<b>McDONALD'S</b>		6300 SAN MATEO BLVD NE ALBUQUERQUE, NEW MEXICO
THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF MCDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION		
MCDONALD'S L.C. 030-0021		
ADAMS ENGINEERING No. 2013.244		

PLAN APPROVALS	CO-SIGN SIGNATURES
SIGNATURE (2 REQUIRED)	
REGIONAL MGR.	CONTRACTOR
CONST. MGR.	OWNER
OPERATIONS DEPT.	
REAL ESTATE DEPT.	

STATUS	DATE	BY
DATE DRAWN	SEPT 2014	PH
PLAN CHECKED	10/6/14	DWL
AS-BUILT		

C8.0



910 S. Kimball Avenue • Southlake, Texas 76092 • (817) 336-3200



