



**Planning Department
Transportation Development Services**

November 12, 2014

Leslie Ford
Rogue Architects
513 Main Street, Suite 200
Fort Worth, Texas 76102

**Re: McDonalds, 6300 San Mateo Blvd.
Traffic Circulation Layout**
Architect's Stamp dated 11-05-14 (E18-DO19C)

Dear Ms. Ford,

Based upon the information provided in your submittal received 11-07-14, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

1. Label the McDonald's building as existing. Label width of existing sidewalk along San Mateo Boulevard. If some of the existing curb on the site is to remain, label the existing curb and curb height. (The curb height should be between 6 inches and 8 inches.)
2. List the width for all parking spaces. The minimum width for the parking spaces should be 8.5 feet. Also label the width of the handicap space on the south side of the parking lot.
3. The handicap accessible spaces must include an 8-foot wide van access aisle. Currently, the aisle shown is only 5 feet. Also, label the striping for the handicap accessible aisle and pathway.
4. Include an ADA van accessible sign. This sign must have the required language per 66-7-352.4C NMSA 1978 **"Violators Are Subject to a Fine and/or Towing."** (Provide sign detail on Sheet C10.1 as called out by Keyed Note 7 on the plan sheet.)
5. The 8-foot wide ADA access aisle shall have the words **"NO PARKING"** in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)
6. Per the DPM, a minimum 6-foot wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please widen the existing handicap accessible pathway shown tying into the existing sidewalk at

7. A 6-inch to 8-inch high curb is required to separate the driving area and parking lot from the sidewalk and landscaped areas. Label the new curb as 6 inches or 8 inches.
8. Label both existing and proposed asphalt for the new parking lot.
9. Show the queue length for the drive-thru.

Resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. If you have any questions, please contact me at (505) 924-3924.

Sincerely,



Jeanne Wolfenbarger, P.E.
Senior Engineer, Planning Dept.
Development Review Services

c: File
CO Clerk



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: McDonald's San Mateo Building Permit #: T2014-92777 City Drainage #: _____
 DRB#: _____ EPC#: _____ Work Order#: _____
 Legal Description: Tract M of the Summary Plat of the Far North Shopping Center, Albuquerque, NM - Book B12, Page 192
 City Address: 6300 San Mateo SE

Engineering Firm: Adams Engineering Contact: G. Robert Adams, P.E.
 Address: 910 S. Kimball Ave., Southlake, TX 76092
 Phone#: 817-328-3200 Fax#: 817-328-3299 E-mail: rob.adams@adams-engineering.com

Owner: McDonald's Contact: Lee Morris
 Address: 511 E. Carpenter Freeway Irving, TX 75062
 Phone#: 972-869-5346 Fax#: _____ E-mail: Lee.Morris@us.mcd.com

Architect: Rogue Architects Contact: Jeremy A. Williams, R.A.
 Address: 513 Main St., Suite 200, Fort Worth, TX 76102
 Phone#: 817-820-0433 Fax#: _____ E-mail: Jeremy@roguearchitects.com

Surveyor: Precision Surveys, Inc. Contact: Larry Medrano
 Address: 5571 Midway Park Place NE Albuquerque, NM 87199
 Phone#: 505-856-5700 Fax#: 505-856-7900 E-mail: _____

Contractor: Cordova Contracting Contact: Mark Cordova
 Address: 316 Osuna Rd NE, Albuquerque, NM 87107
 Phone#: (505) 243-9675 Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- DRAINAGE REPORT
- DRAINAGE PLAN 1st SUBMITTAL
- DRAINAGE PLAN RESUBMITTAL
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- EROSION & SEDIMENT CONTROL PLAN (ESC)
- ENGINEER'S CERT (HYDROLOGY)
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- ENGINEER'S CERT (TCL)
- ENGINEER'S CERT (DRB SITE PLAN)
- ENGINEER'S CERT (ESC)
- SO-19
- OTHER (SPECIFY)

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- SIA/FINANCIAL GUARANTEE RELEASE
- PRELIMINARY PLAT APPROVAL
- S. DEV. PLAN FOR SUB'D APPROVAL
- S. DEV. FOR BLDG. PERMIT APPROVAL
- SECTOR PLAN APPROVAL
- FINAL PLAT APPROVAL
- CERTIFICATE OF OCCUPANCY (PERM)
- CERTIFICATE OF OCCUPANCY (TCL TEMP)
- FOUNDATION PERMIT APPROVAL
- BUILDING PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- PAVING PERMIT APPROVAL
- WORK ORDER APPROVAL
- GRADING CERTIFICATION
- SO-19 APPROVAL
- ESC PERMIT APPROVAL
- ESC CERT. ACCEPTANCE
- OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes No _____ Copy Provided

DATE SUBMITTED: 10/27/2014 By: Leslie Ford

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre that are part of a larger common plan of development

CIVIL CONSTRUCTION PLANS FOR McDONALD'S - L/C: 030-0021 McDONALD'S REBUILD 6300 SAN MATEO BLVD NE ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

McDONALD'S REBUILD
TRACT M OF THE FAR NORTH SHOPPING CENTER,
PLAT BOOK B12, PAGE 192 OF WHICH WAS FILED
IN THE OFFICE OF THE COUNTY CLERK OF
BERNALILLO COUNTY, NEW MEXICO

REV	DATE	DESCRIPTION	BY	ISSUE REF
1	10/07/2014	ISSUE FOR PERMIT	HJM	

Adams
910 S. Kimball Avenue • Southlake, Texas 76092 • (817) 338-3200

G. Robert Adams
G. ROBERT ADAMS
15142
10.7.14



VICINITY MAP
N.T.S.

OWNER: McDonald's
511 EAST CARPENTER FREEWAY
IRVING, TX 75062
CONTACT: LEE MORRIS
PHONE: 972-869-5346

CIVIL ENGINEER: ADAMS ENGINEERING
910 S. KIMBALL AVE.
SOUTHLAKE, TEXAS 76092
CONTACT: G. ROBERT ADAMS, P.E.
PHONE: 817-328-3200

SURVEYOR: PRECISION SURVEYS, INC.
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE, NEW MEXICO
CONTACT: LARRY W. MEDRANO, R.P.S.
PHONE: 505-856-5700

STRUCTURAL ENGINEER: BEC-LIN ENGINEERING, LP
10401 WESTOFFICE DR.
HOUSTON, TX 77042
CONTACT: RONALD C. ROCHE, P.E.
PHONE: 281-664-8470

PROJECT LOCATION: 6300 SAN MATEO BLVD NE
ALBUQUERQUE, NEW MEXICO

ADAMS ENGINEERING JOB NUMBER: 2013.244

**** FEMA NOTE ****

Flood Statement: According to Community Panel No. 35001C0139G, Dated 09-26-2008, of the Federal Emergency Management Agency, National Flood Insurance Program Map, this property is within flood zone "X", areas determined to be outside the 0.2% annual chance floodplain. If this site is not within an identified special flood hazard area, this flood statement does not imply that the property and/or the structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This statement shall not create liability on the part of Adams Engineering.

**** NOTICE TO CONTRACTORS - TOPOGRAPHIC SURVEY ****

Topographic information taken from a Topographic Survey performed by PRECISION SURVEYS, INC. The Contractor shall notify the Engineer immediately, in writing, of any discrepancies or omissions to the topographic information. The Contractor(s) shall be responsible for confirming the location (horizontal/vertical) of any buried cables, conduits, pipes, and structures (storm sewer, sanitary sewer, water, gas, television, telephone, etc.) which impact the construction site. The Contractor(s) shall notify the Owner and Engineer if any discrepancies are found between the actual conditions versus the data contained in the construction plans. Any costs incurred as the result of not confirming the actual location (horizontal/vertical) of said cables, conduits, pipes, and structures shall be borne by the Contractor. Additionally, the Contractor(s) shall notify the Owner and Engineer if any errors or discrepancies are found on the construction documents (plans, specifications, & estimates), which negatively impact the project. The Engineer and Owner shall be indemnified of problems and/or cost which may result from Contractor's failure to notify Engineer and Owner.



BENCHMARK

1. A.G.R.S. MONUMENT "SMW_12" STANDARD A.G.R.S. ALUMINUM CAP (FOUND IN PLACE) NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE-N.A.D. 1983) N=1,510,982.798 E=1,541,924.324 PUBLISHED EL=5242.356 (NAVD 1988) GROUND TO GRID FACTOR=0.999664227 DELTA ALPHA ANGLE=0°11'22.97"

2. A.G.R.S. MONUMENT "7_F18 RESET 1993" STANDARD A.G.R.S. BRASS DISC (FOUND IN PLACE) NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE-N.A.D. 1983) N=1,507,530.001 E=1,542,199.928 PUBLISHED EL=5260.183 (NAVD 1988) GROUND TO GRID FACTOR=0.999663314 DELTA ALPHA ANGLE=0°11'20.82"

**** NOTICE TO CONTRACTOR - BIDDING ****

All questions regarding the General Contractor's preparation of his bid shall be directed to the McDonald's Construction Department. Sub-contractors must direct their questions through the General Contractor only. The Consulting Architect and/or Engineer shall not be contacted by the General Contractors, Sub-contractors, or Suppliers without direct prior authorization from McDonald's.

Sheet List Table	
Sheet Number	Sheet Title
C1.0	COVER SHEET
---	ALTA ACSM LAND TITLE SURVEY SHEET 1
---	ALTA ACSM LAND TITLE SURVEY SHEET 2
---	ALTA ACSM LAND TITLE SURVEY SHEET 3
C2.0	DEMO PLAN
C3.0	EROSION CONTROL PLAN
C3.1	EROSION CONTROL DETAILS
C4.0	SITE PLAN
C4.1	TRAFFIC CIRCULATION PLAN
C5.0	DRIVE-THRU COORDINATE PLAN
C6.0	PAVING PLAN
C7.0	GRADING PLAN
C8.0	PRE-DEVELOPED DRAINAGE PLAN
C8.1	POST DEVELOPED DRAINAGE PLAN
C9.0	UTILITY PLAN
C9.1	1 OF 2 MINI WORK ORDER
C9.2	2 OF 2 MINI WORK ORDER
C10.0	STANDARD DETAILS
C10.1	STANDARD DETAILS
C10.2	STANDARD DETAILS
C10.3	STANDARD DETAILS
C10.4	STANDARD DETAILS
C10.5	STANDARD DETAILS
C10.6	STANDARD DETAILS
L1.0	LANDSCAPE PLAN
L2.0	IRRIGATION PLAN
L2.1	IRRIGATION DETAILS
---	PHOTOMETRIC LIGHTING PLAN
SD-1	FOUNDATION SITE DETAILS
SD-2	FOUNDATION SITE DETAILS
SD-3	FOUNDATION SITE DETAILS
SD-4	FOUNDATION SITE DETAILS
SD-5	FOUNDATION SITE DETAILS
SD-6	FOUNDATION SITE DETAILS
SD-7	FOUNDATION SITE DETAILS

GREATER SOUTHWEST
OFFICE ADDRESS: KROC DRIVE - OAK BROOK, ILLINOIS 60521

McDONALD'S
THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF McDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.

6300 SAN MATEO BLVD NE
ALBUQUERQUE, NEW MEXICO

McDONALD'S L.C. 030-0021
ADAMS ENGINEERING No. 2013.244

PLANNING	DESIGN	DATE	BY
REGIONAL MGR.			
CONST. MGR.			
OPERATIONS DEPT.			
REAL ESTATE DEPT.			

CO-SIGN SIGNATURES

STATUS	DATE	BY
DATE DRAWN	SEPT 2014	MEG
PLAN CHECKED	10/6/14	DWL
AS-BUILT		

C1.0

FULL PATH: L:\Projects\0301031244_McDonalds - Albuquerque, New Mexico\Drawings\1\Project\0301031244_McDonalds - Albuquerque, New Mexico\Drawings\1\COVER SHEET
 PLOT TIME: 10:50:14 PM
 PLOT DATE: Tuesday, October 07, 2014
 PLOTTED BY: Heather Ausbacher
 FILENAME: C:\COVER SHEET.dwg

FULL PATH: I:\Projects\2013\24 McDonalds - Albuquerque, Nm (6300 San Mateo Blvd) Drawing\1\Project\2013\24 McDonalds - Albuquerque, Nm (6300 San Mateo Blvd) Drawing\C4.1 TRAFFIC CIRCULATION PLAN
 PLOT DATE: 12/26/2014
 PLOT TIME: 12:56:28 PM
 PLOTTER: DWG TO PDF v3
 PLOT DATE: Tuesday, October 07, 2014
 PLOTTER BY: Heather Macomber
 FILENAME: C4.1 TRAFFIC CIRCULATION PLAN.dwg

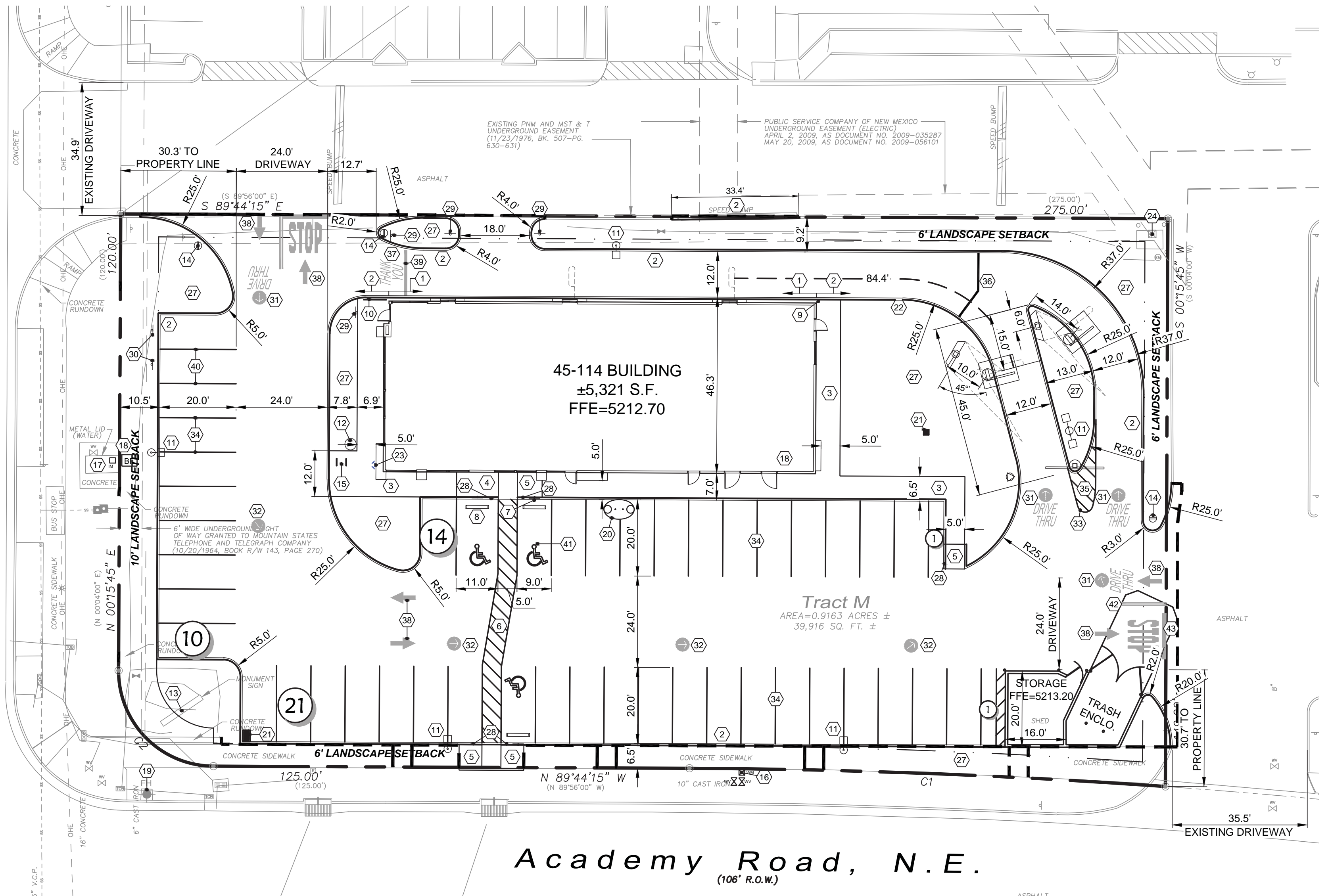
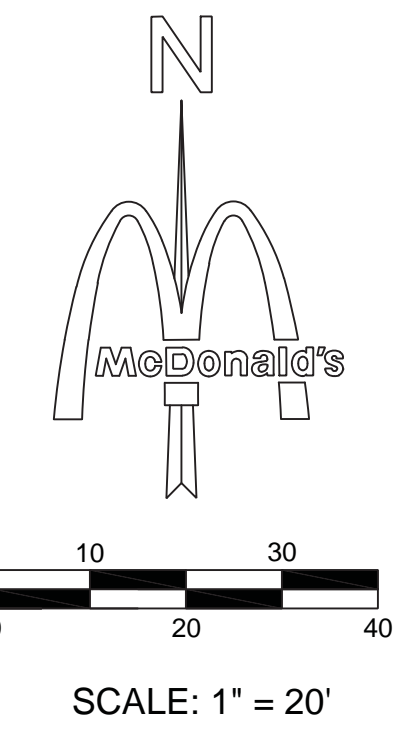
San Mateo Boulevard, N.E.
 (125' R.O.W.)

OWNER INFORMATION

MCDONALD'S USA, LLC
 GREATER SOUTHWEST REGION
 511 E. GARDNER FRWY, STE. 375
 IRVING, TEXAS 75062
 (972) 869-5346
 CONTACT: LEE MORRIS

HERE WE GROW AGAIN SIGN

THE GENERAL CONTRACTOR SHALL DISPLAY A
 "HERE WE GROW AGAIN" BANNER DURING
 CONSTRUCTION. THESE BANNERS ARE AVAILABLE
 THROUGH ALTRIA GLOBAL SOLUTIONS.
 CONTACT: KRISTY FIALLO - PH# 1-800-443-6939



BENCHMARK DESCRIPTION

BENCHMARK

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 PLANE COORDINATES (CENTRAL ZONE-N.A.D. 1983)
 N=1,507,530.001 E=1,542,199.928
 PUBLISHED EL=5280.163 (NAVD 1988)
 GROUND TO GRID FACTOR=0.999663314
 DELTA ALPHA ANGLE=0°11'20.82"



CONSTRUCTION SCHEDULE

MARK	MARK DESCRIPTION
1	CONCRETE VERTICAL CURB @ DRIVE-THRU (RE: C10.2 STANDARD DETAILS)
2	CURB AND GUTTER @ NON DRIVE-THRU AREAS (RE: C10.2 STANDARD DETAILS)
3	REINFORCED CONCRETE SIDEWALK (RE: C10.3 STANDARD DETAILS)
4	SLOPED SIDEWALK SECTION (NOT TO EXCEED 5% SLOPE) (RE: C10.1 STANDARD DETAILS)
5	H.C. ACCESS RAMP @ 1:12 MAX. SLOPE (RE: C10.1 STANDARD DETAILS)
6	HANDICAP ACCESSIBLE ROUTE
7	HANDICAP ACCESSIBLE SIGN (BUILDING OR POLE MOUNTED) (RE: C10.1 STANDARD DETAILS) (TYP)
8	CONCRETE WHEEL STOP (RE: C10.3 STANDARD DETAILS) (TYP)
9	BOLLARD (RE: C10.1 STANDARD DETAILS)
10	HANDRAIL @ INGRESS/EGRESS DOOR (RE: C10.1 STANDARD DETAILS)
11	LIGHT STANDARD (15' CLEAR FROM ALL OVERHEAD UTILITY LINES)
12	FLAG POLE
13	EXISTING POLE SIGN
14	MCDONALD'S DIRECTIONAL SIGN
15	BIKE RACKS (RE: C10.5)
16	DOMESTIC WATER METER
17	IRRIGATION WATER METER
18	BACK FLOW PREVENTION DEVICE (RE: C9.0 UTILITY PLAN)
19	EXISTING FIRE HYDRANT
20	GREASE INTERCEPTOR (RE: C9.0 UTILITY PLAN)
21	SINGLE GRATE TYPE INLET (RE: C10.6 STANDARD DETAILS)
22	Z CURB CUT
23	FIRE DEPARTMENT CONNECTION
24	EXISTING PAD MOUNT TRANSFORMER (RE: C9.0 UTILITY PLAN)
25	NOT USED
26	NOT USED
27	LANDSCAPE FINISH GRADE 1" BELOW TOP OF CURB IN ALL LAWN AREAS AND 2" BELOW TOP OF CURB IN ALL BED AREAS
28	TRANSITION CURB
29	DO NOT ENTER SIGN
30	OOSP SIGN

PAVEMENT MARKING LEGEND

MARK	MARK DESCRIPTION
31	"DRIVE THRU" WITH "CIRCLE/ARROW" - COLOR: YELLOW (TYP)
32	"CIRCLE / ARROW" - COLOR: YELLOW (TYP)
33	6" DRIVE THRU STRIPING - COLOR: YELLOW
34	4" PARKING STALL STRIPING - COLOR: WHITE (TYP)
35	4" DIAGONAL PAINTED ISLANDS AT DRIVE-THRU - COLOR: YELLOW
36	6" MERGE POINT - COLOR: YELLOW
37	"THANK YOU" AT END PATH - COLOR: YELLOW
38	ARROW PATH DIRECTION - COLOR: WHITE (TYP)
39	8" OOSP STRIPING - COLOR: YELLOW
40	4" OOSP STRIPING - COLOR: YELLOW
41	HANDICAP ACCESSIBLE SPACES / SYMBOLS / CROSSWALK - COLOR: (PER STATE/CITY REQUIREMENTS) (TYP)
42	4" DOUBLE LANE DIVIDER STRIPING - COLOR: YELLOW (TYP)
43	PAINTED "STOP" AND 12" STOP BAR - COLOR: WHITE (TYP)

SITE INFORMATION

LAND AREA:	39,916 SF (0.9163 AC)
CURRENT ZONING:	C-2
EXISTING USE:	RESTAURANT W/ DRIVE THRU
PROPOSED USE:	RESTAURANT W/ DRIVE THRU
BUILDING AREA (APPROXIMATE):	5,321 SF
BUILDING LOT COVERAGE:	5,321 SF/39,916 SF = 13.3%
PARKING REQUIRED:	1 SPACE PER 4 SEATS 107 SEATS / 4 = 27 SPACES
PARKING PROVIDED:	45
MOTORCYCLE PARKING REQUIRED:	2
MOTORCYCLE PARKING PROVIDED:	2
BICYCLE PARKING REQUIRED:	3
BICYCLE PARKING PROVIDED:	3
HANDICAP PARKING REQUIRED:	3
HANDICAP PARKING PROVIDED:	3
IMPERVIOUS AREA:	25,350 SF
PERVIOUS PERCENTAGE:	9.246 (23.16%)

NOTICE TO CONTRACTOR

THESE PLANS ARE SUBJECT TO REVIEW & APPROVAL BY JURISDICTIONAL ENTITIES.

- CONTRACTOR SHALL REFER TO ARCHITECTURAL BUILDING PLANS FOR EXACT LOCATION AND ORIENTATION OF EXTERIOR DOORS.
- TRASH ENCLOSURE FINISH TO MATCH BUILDING. REFER TO ARCHITECTURAL PLANS FOR FOUNDATION DESIGN.
- ALL DIMENSIONS SHOWN ARE TO FACE OF CURB UNLESS NOTED OTHERWISE.

STANDARD ACCESSIBILITY REQUIREMENTS

PARKING:

- ACCESSIBLE PARKING SPACES SHALL BE A MIN. 96" WIDE OR A MIN. 132" WIDE FOR VAN DESIGNATED SPACES WITH A MAXIMUM SLOPE OF 2% (IN ALL DIRECTIONS). ALL BUILDINGS SHALL CONTAIN AT LEAST ONE VAN ACCESSIBLE SPACE.
- EACH ACCESSIBLE PARKING SPACE SHALL HAVE A VERTICALLY MOUNTED (OR SUSPENDED) SIGN SHOWING THE SYMBOL OF ACCESSIBILITY. AT LEAST ONE SPACE MUST HAVE AN ADDITIONAL SIGN "VAN ACCESSIBLE" MOUNTED BELOW THE SYMBOL OF ACCESSIBILITY. SIGNS SHALL BE LOCATED 60" ABOVE THE ADJACENT PAVED SURFACE TO BOTTOM OF TEXT.
- ALL ACCESS AISLES SERVING H.C. PARKING SPACES SHALL BE 60" WIDE MINIMUM.
- RAMP EXCEEDING 6" IN RISE (EXCLUDING CURB RAMPS) SHALL HAVE HANDRAILS ON EACH SIDE AT BETWEEN 34" AND 38", AND EXTEND 12" BEYOND THE TOP AND BOTTOM OF RAMP. HANDRAIL SHALL NOT DIMINISH THE CLEAR AREA REQUIRED FOR TOP AND BOTTOM LANDINGS SERVING THE RAMPS.
- IF REQUIRED BY LOCAL OR STATE JURISDICTION, RAMPS SHALL CONTAIN A TRUNCATED DOME SURFACE ARRANGED SO THAT WATER WILL NOT ACCUMULATE. COLOR OF RAMP FINISH MATERIAL (INCLUDING CONCRETE) SHALL HAVE A LIGHT AND REFLECTIVE VALUE AND MUST CONTRAST SIGNIFICANTLY TO DISTINGUISH IT FROM ADJACENT SURFACES (OR PAINT STRIPE).
- BOTTOM LANDINGS FOR RAMPS SERVING REQUIRED EXITS SHALL BE 5'-0" LONG X 5'-0" WIDE MINIMUM.
- RAMPS SHALL NOT EXCEED A 1:12 SLOPE.

SIDEWALKS AND ACCESSIBLE ROUTES:

- SIDEWALKS MUST BE AT LEAST 36" WIDE SIDEWALK CROSS SLOPE SHALL NOT EXCEED 1:50 (2%).
- LONGITUDINAL SLOPE OF ANY SIDEWALK (ACCESSIBLE ROUTE) SHALL NOT EXCEED 1:20 (5%).

VICINITY MAP N.T.S.

ZONE ATLAS PAGE: E-18-Z

GENERAL NOTES

- Bases, anchor bolts, conduit, and wiring for all signs are by the General Contractor.
- 3/4" empty conduit to locations shown at the lot perimeter for lot lighting is by the General Contractor. Lighting fixtures, bases, poles, conduit, and wiring are by the General Contractor.
- Lot lighting concrete footings to conform with the soils report recommendations for this site.
- Bases for flagpoles are by the General Contractor. Anchor bolts are by the flagpole supplier. General contractor shall coordinate with flag pole supplier prior to construction.
- The Contractor shall coordinate with all utility companies to determine exact point of service connection at existing utility. Refer to the building electrical and plumbing drawings for utility service entrance locations, sizes, and circuiting.
- General Contractor must provide exact "as built" information upon completion.
- All elevations shown are in reference to the benchmark and must be verified by the General Contractor at groundbreak.
- Curb elevations shall be 6" above finish pavement unless noted otherwise.
- All landscape areas shall be rough graded to 6" below top of all walks and curbs. Finished grading, landscaping and sprinkler systems are by the Owner / Operator.
- It is strongly recommended that no contractual agreements of any kind be signed prior to receiving and thoroughly reviewing all approvals from all of the regulatory authorities having jurisdiction over this project.
- Due to the nature of the work, all dimensions shown shall be considered approximate. Contractor shall field verify all dimensions prior to beginning construction. Shop drawings shall be submitted to the Architect and/or Engineer for approval prior to fabrication or installation of any item. Failure to adhere to this procedure shall place full responsibility for any errors directly upon the Contractor.
- Contractor shall contact appropriate jurisdictional agencies prior to construction to confirm if independent testing or inspections will be required prior to their acceptance of work. Contractor shall make necessary arrangements to insure proper testing & inspections are documented such that work will be accepted at project completion.
- Sidewalks around building shall have same subgrade preparation as building foundation.
- All materials and construction within easements and R.O.W. shall conform to all governing authorities' jurisdictional standard construction details and specifications.
- Topographic information taken from a Topographic Survey performed by PRECISION SURVEYS, INC. The Contractor shall notify the Engineer immediately, in writing, of any discrepancies or omissions to the topographic information. The Contractor(s) shall be responsible for confirming the location (horizontal/vertical) of any buried cables, conduits, pipes, and structures (storm sewer, sanitary sewer, water, gas, television, telephone, etc.) which impact the construction site. The Contractor(s) shall notify the Owner and Engineer if any discrepancies are found between the actual conditions versus the data contained in the construction plans. Any costs incurred as the result of not confirming the actual location (horizontal/vertical) of said cables, conduits, pipes, and structures shall be borne by the Contractor. Additionally, the Contractor(s) shall notify the Owner and Engineer if any errors or discrepancies are found on the construction documents (as-builts), which negatively impact the project. The Engineer and Owner shall be indemnified of problems and/or cost which may result from Contractor's failure to notify Engineer and Owner.
- McDonald's reserves the right to request a companion and/or a core sample. If tests prove correct, per the soils report, tests will be at the expense of McDonald's, otherwise G.C. will be charged.
- Contractor shall comply to the fullest extent with the latest standards of OSHA directives or any other agency having jurisdiction for excavation and trenching procedure. Contractor shall use support systems, sloping, benching, or other means of protection, including but is not limited to, access and egress from all excavation and trenching. Contractor is responsible to comply with performance criteria for OSHA.

PAVING SPECIFICATION

VERIFY W/ MCDONALD'S: ASPHALT: CONCRETE:

CONTRACTOR TO BID: ASPHALT: CONCRETE:

TERRACON CONSULTANTS, INC.
AUGUST 21, 2014
PROJECT NO. 6614505

ASPHALT PAVEMENT RECOMMENDATIONS - ALTERNATE BID		
PAVEMENT MATERIALS	LIGHT DUTY	HEAVY DUTY
Asphalt Surface Course	3" OR 4.5"	4" OR 5.5"
Aggregate Base Course	6"	6"

CONCRETE PAVEMENT RECOMMENDATIONS - BASE BID		
PAVEMENT MATERIALS	LIGHT DUTY	HEAVY DUTY
Portland Cement Concrete P/MT	5"	5.5"

PAVEMENT NOTES:

- PAVEMENT AND SUBGRADE SHALL BE PREPARED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT PREPARED BY TERRACON CONSULTANTS, INC. DATED AUGUST 29, 2014. (PROJECT NUMBER 6614505)
- SUBGRADE SHOULD BE SCARIFIED AND COMPACTED TO AT LEAST 98 PERCENT OF THE STANDARD PROCTOR (ASTM D 698) MAXIMUM DRY DENSITY FOR A DEPTH OF AT LEAST 10 INCHES BELOW THE SURFACE. SEE SECTION 4.2 OF THE SOILS REPORT.
- PAVEMENT MAY BE PLACED AFTER THE SUBGRADE HAS BEEN PROPERLY COMPACTED, FINE-GRADED AND PROOF ROLLED AS SPECIFIED IN THE SOILS REPORT.
- ALL WORK SHALL BE IN ACCORDANCE WITH THE NEW MEXICO STATE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS AND CITY OF ALBUQUERQUE SPECIFICATIONS.
- WATER SHOULD NOT BE ALLOWED TO POND BEHIND CURBS AND SATURATE THE BASE MATERIALS. GRANULAR BASE MATERIAL SHOULD EXTEND THROUGH THE SLOPE PROVIDING UNDERGROUND DRAINAGE AN EXIT PATH.
- REFER TO C10.2 FOR CONCRETE JOINT SPECIFICATIONS UNLESS NOTED OTHERWISE IN THE SOILS REPORT.
- ALL CONCRETE PAVEMENT SHALL BE 4,000 PSI @ 28 DAYS AND REINFORCED WITH #3 BARS @ 18" O.C.E.W.
- IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REFER TO GEOTECHNICAL REPORT FOR ADDITIONAL INFORMATION.

THE INFORMATION ABOVE IS BEING PROVIDED FOR REFERENCE ONLY AND SHALL NOT BE RELIED ON AS ACCURATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REFERENCING TO THE GEOTECHNICAL REPORT REFERENCED ABOVE FOR ALL PAVEMENT/EARTHWORK REQUIREMENTS.

SURVEY INFORMATION

PREPARED BY: PRECISION SURVEYS, INC. LEGAL DESCRIPTION: TRACT M OF THE FAR NORTH SHOPPING CENTER, 5571 MIDWAY PARK PLACE NE, ALBUQUERQUE, NEW MEXICO. IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO. DATE: 05-14-2014

PLAN SCALE: 1" = 20'

FAR NORTH SHOPPING CENTER
STREET ADDRESS
6300 SAN MATEO BLVD NE
CITY STATE
ALBUQUERQUE NEW MEXICO

REGIONAL MGR.	CONST. MGR.	OPERATIONS DEPT.	REAL ESTATE DEPT.	CONTRACTOR	OWNER

STATUS DATE BY
DATE DRAWN SEPT 2014 MEG
PLAN CHECKED 10/6/14 DWL
AS-BUILT

L/C NUMBER: 030-0021 SURVEY: --- ABSTRACT NO. ---
CORPORATE DWG. NAME
SITE PLAN

C4.0

McDONALD'S
6300 SAN MATEO BLVD NE
ALBUQUERQUE, NEW MEXICO
MCDONALD'S I.C. 030-0021
ADAMS ENGINEERING No. 2013.244

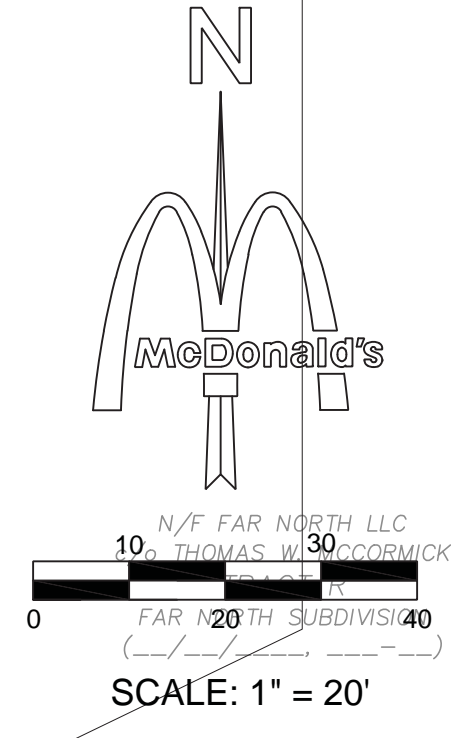
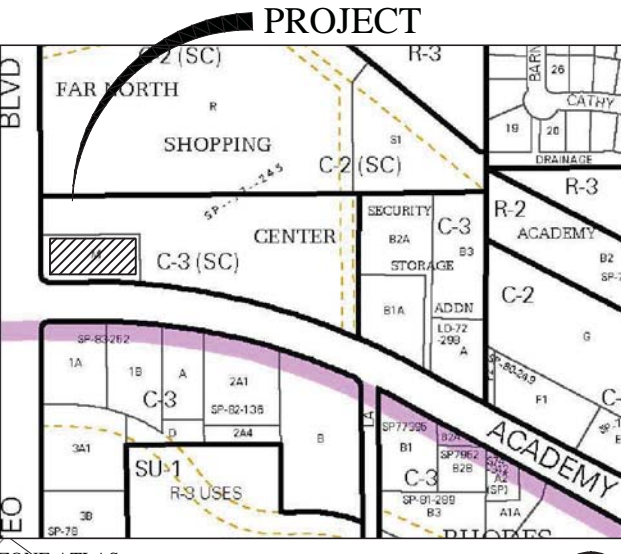
Adams
910 S. Kimball Avenue • Southlake, Texas 76092 • (817) 338-3200

San Mateo Boulevard, N.E.
(125' R.O.W.)

Academy Road, N.E.
(106' R.O.W.)

45-114 BUILDING
±5,321 S.F.
FFE=5212.70

Tract M
AREA=0.9163 ACRES ±
39,916 SQ. FT. ±



LEGEND	
MARK	MARK DESCRIPTION
1	CONCRETE VERTICAL CURB @ DRIVE-THRU (RE: C10.2 STANDARD DETAILS)
2	CURB AND GUTTER @ NON DRIVE THRU AREAS (RE: C10.2 STANDARD DETAILS)
3	REINFORCED CONCRETE SIDEWALK (RE: C10.3 STANDARD DETAILS)
4	SLOPED SIDEWALK SECTION (NOT TO EXCEED 5% SLOPE) (RE: C10.3 STANDARD DETAILS)
5	H.C. ACCESS RAMP @ 1:12 MAX. SLOPE (RE: C10.1 STANDARD DETAILS)
6	HANDICAP ACCESSIBLE ROUTE
7	HANDICAP ACCESSIBLE SIGN (BUILDING OR POLE MOUNTED) (RE: C10.1 STANDARD DETAILS)
8	CONCRETE WHEEL STOP (RE: C10.3 STANDARD DETAILS)
9	BOLLARD (RE: C10.1 STANDARD DETAILS)
10	HANDRAIL @ INGRESS/EGRESS DOOR (RE: C10.1 STANDARD DETAILS)
11	LIGHT STANDARD (15' CLEAR FROM ALL OVERHEAD UTILITY LINES)
12	FLAG POLE
13	EXISTING POLE SIGN
14	MCDONALD'S DIRECTIONAL SIGN
15	BIKE RACKS (RE: C10.5)
16	DOMESTIC WATER METER
17	IRRIGATION WATER METER
18	BACK FLOW PREVENTION DEVICE (RE: C9.0 UTILITY PLAN)
19	EXISTING FIRE HYDRANT
20	GREASE INTERCEPTOR (RE: C9.0 UTILITY PLAN)
21	SINGLE GRATE TYPE INLET (RE: C10.6 STANDARD DETAILS)
22	2' CURB CUT
23	FIRE DEPARTMENT CONNECTION
24	EXISTING PAD MOUNT TRANSFORMER (RE: C9.0 UTILITY PLAN)
25	NOT USED
26	NOT USED
27	LANDSCAPE FINISH GRADE 1" BELOW TOP OF CURB IN ALL LAWN AREAS AND 2" BELOW TOP OF CURB IN ALL BED AREAS
28	TRANSITION CURB
29	DO NOT ENTER SIGN

PAVEMENT MARKING LEGEND	
MARK	MARK DESCRIPTION
31	'DRIVE THRU' WITH 'CIRCLE/ARROW' - COLOR: YELLOW
32	'CIRCLE / ARROW' - COLOR: YELLOW
33	6' DRIVE-THRU STRIPING - COLOR: YELLOW
34	NOT USED
35	4' DIAGONAL PAINTED ISLANDS AT DRIVE-THRU - COLOR: YELLOW
36	6' MERGE POINT - COLOR: YELLOW
37	'THANK YOU' AT END PATH - COLOR: YELLOW
38	ARROW PATH DIRECTION - COLOR: WHITE
39	8' OOPS STRIPING - COLOR: YELLOW (TYP)
40	NOT USED
41	HANDICAP ACCESSIBLE SPACES / SYMBOLS / CROSSWALK - COLOR: (PER STATE/CITY REQUIREMENTS)
42	4' DOUBLE LANE DIVIDER STRIPING - COLOR: YELLOW (TYP)
43	PAINTED 'STOP' AND '12' STOP BAR - COLOR: WHITE

STANDARD ACCESSIBILITY REQUIREMENTS

PARKING:

(A) ACCESSIBLE PARKING SPACES SHALL BE A MIN. 96" WIDE OR A MIN. 132" WIDE FOR VAN DESIGNATED SPACES WITH A MAXIMUM SLOPE OF 2% (IN ALL DIRECTIONS). ALL BUILDINGS SHALL CONTAIN AT LEAST ONE VAN ACCESSIBLE SPACE.

(B) EACH ACCESSIBLE PARKING SPACE SHALL HAVE A VERTICALLY MOUNTED (OR SUSPENDED) SIGN SHOWING THE SYMBOL OF ACCESSIBILITY. AT LEAST ONE SPACE MUST HAVE AN ADDITIONAL SIGN "VAN-ACCESSIBLE" MOUNTED BELOW THE SYMBOL OF ACCESSIBILITY. SIGNS SHALL BE LOCATED 60" (MIN) ABOVE THE ADJACENT PAVED SURFACE TO BOTTOM OF TEXT.

(C) ALL ACCESS AISLES SERVING H.C. PARKING SPACES SHALL BE 60" WIDE MINIMUM.

CURB RAMP:

(D) RAMPS EXCEEDING 6" IN RISE (EXCLUDING CURB RAMPS) SHALL HAVE HANDRAILS ON EACH SIDE AT BETWEEN 34" AND 38", AND EXTEND 12" BEYOND THE TOP AND BOTTOM OF RAMPS. HANDRAILS SHALL NOT DIMINISH THE CLEAR AREA REQUIRED FOR TOP AND BOTTOM LANDINGS SERVING THE RAMPS.

(E) IF REQUIRED BY LOCAL OR STATE JURISDICTION, RAMPS SHALL CONTAIN A TRUNCATED DOME SURFACE ARRANGED SO THAT WATER WILL NOT ACCUMULATE. COLOR OF RAMP FINISH MATERIAL (INCLUDING CONCRETE) SHALL HAVE A LIGHT AND REFLECTIVE VALUE AND MUST CONTRAST SIGNIFICANTLY TO DISTINGUISH IT FROM ADJACENT SURFACES - (OR PAINT STRIPE)

(F) BOTTOM LANDINGS FOR RAMPS SERVING REQUIRED EXITS SHALL BE 5'-0" LONG X 5'-0" WIDE MINIMUM.

(G) RAMPS SHALL NOT EXCEED A 1:12 SLOPE

SIDEWALKS AND ACCESSIBLE ROUTES:

(H) SIDEWALKS MUST BE AT LEAST 36" WIDE SIDEWALK CROSS SLOPE SHALL NOT EXCEED 1:50 (2%)

(I) LONGITUDINAL SLOPE OF ANY SIDEWALK (ACCESSIBLE ROUTE) SHALL NOT EXCEED 1:20 (5%)

CURVE	RADIUS	ARC LENGTH	TANGENT	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	1862.28'	125.09'	62.57'	3°50'55"	N 87°48'54" W	125.07'
C2	25.00'	39.27'	25.00'	90°00'01"	S 44°44'15" E	35.36'

EXISTING LEGEND	
	MEASURED BEARING AND DISTANCES
	PROPERTY LINE
	FOUND AND USED MONUMENT AS DESIGNATED
	DENOTES NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993" SET THIS SURVEY
	SET TBM AS DESIGNATED
	ELECTRIC BOX
	ELECTRIC METER
	OVERHEAD LIGHT POLE
	TRANSFORMER
	TRAFFIC SIGNAL BOX
	TRAFFIC SIGNAL BOX
	LIGHT BOX
	TRAFFIC LIGHT
	PULL BOX
	HANDICAP PARKING SPACE
	CURB AND GUTTER
	IRRIGATION CONTROL VALVE
	WATER METER
	WATER VALVE
	FIRE HYDRANT
	FIRE HYDRANT
	SANITARY SEWER MANHOLE
	CLEANOUT
	SIGN
	INLET

PROPOSED LEGEND	
	REINFORCED CONCRETE SIDEWALK, MINIMUM 4" THICK, REINFORCED WITH #3 BARS @ 18" O.C.B.W., CONCRETE TO BE 4000 PSI 28-DAYS STRENGTH.
	HEAVY DUTY REINF. CONCRETE AT DRIVE-THRU AND DRIVING AREAS *
	LIGHT DUTY REINFORCED CONCRETE AT PARKING AREAS *
	INDUSTRIAL DUTY REINFORCED CONCRETE PAVEMENT @ TRASH ENCLOSURE APRON
	LANDSCAPE AREAS
	SAWCUT LINE
	IRRIGATION SLEEVES (RE: L2.0 IRRIGATION PLAN)
	CONCRETE WHEEL STOP
	FLAG POLE
	LIGHT STANDARD (15' CLEAR FROM ALL OVERHEAD UTILITY LINES)
	ROAD SIGN
	POWER POLE
	DOMESTIC WATER METER
	IRRIGATION WATER METER
	BACK FLOW PREVENTION DEVICE
	FIRE HYDRANT
	GREASE INTERCEPTOR
	MCDONALD'S DIRECTIONAL SIGN
	DETECTOR LOOP (LOCATION TO BE APPROVED BY MCDONALD'S)

SITE INFORMATION	
LEGAL DESCRIPTION:	TRACT M OF THE FAR NORTH SHOPPING CENTER, PLAT BOOK B12, PAGE 192 OF WHICH WAS FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO.
LAND AREA:	39,916 SF (0.9163 AC)
CURRENT ZONING:	C-2
EXISTING USE:	RESTAURANT W/ DRIVE THRU
PROPOSED USE:	RESTAURANT W/ DRIVE THRU
BUILDING AREA (APPROXIMATE):	5,321 SF
BUILDING LOT COVERAGE:	5,321 SF/39,916 SF = 13.3%
PARKING REQUIRED:	107 SEATS PER 4 SEATS
PARKING PROVIDED:	45
MOTORCYCLE PARKING REQUIRED:	2
MOTORCYCLE PARKING PROVIDED:	2
BICYCLE PARKING REQUIRED:	3
BICYCLE PARKING PROVIDED:	3
HANDICAP PARKING REQUIRED:	3
HANDICAP PARKING PROVIDED:	3
IMPERVIOUS AREA:	31,703 SF
PERVIOUS PERCENTAGE:	20.58%

AS-BUILT INFORMATION	
CONTRACTOR	ADAMS ENGINEERING NO. 2013.244
WORK	NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE N.A.D. 1983)
SUPPLIERS	N=1510.082788 E=1541.024324 PUBLISHED EL:4242.356 (N.A.D. 1983) GROUND TO GRID
ACCEPTANCE BY	FACTOR=0.99964227 DELTA ALPHA ANGLE=0°11'22.07"
DATE	
REVISIONS	
NO.	DATE
BY	PRECISION SURVEYS, INC.
REMARKS	
NO.	DATE
DESIGNED BY	HJM
DRAWN BY	IMG
CHECKED BY	
DATE	SEP 2014
DATE	SEP 2014
DATE	

910 S. Kimball Avenue • Southlake, Texas 76092 • (817) 328-3200

ADAMS ENGINEERING NO. 2013.244

MCDONALD'S L.C. 030-0021

CITY OF ALBUQUERQUE
MUNICIPAL DEVELOPMENT DEPARTMENT
ENGINEERING DIVISION

MCDONALD'S TRAFFIC CIRCULATION
6300 SAN MATEO BLVD NE PLAN LAYOUT

Design Review Committee City Engineer Approval

City Project No. Zone Map No. Sheet Of
E-18-Z C4.1

FULL PATH: I:\Projects\2013\244\Drawings\1\Project\2013\244\Drawings\C4.1 TRAFFIC CIRCULATION PLAN
 PLOTTER: DWG TO PDF v3
 PLOT TIME: 12:51:13 PM
 PLOT DATE: Tuesday, October 07, 2014
 PLOTTED BY: Heather Macomber
 FILENAME: C4.1 TRAFFIC CIRCULATION PLAN.dwg