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- LEGEND**
- 27.8 PROPOSED TOP OF GRADE/PWMT ELEVATIONS
 - FL27.8 PROPOSED FLOW LINE/GUTTER ELEVATIONS
 - TC27.8 PROPOSED TOP OF CURB ELEVATIONS
 - 515 EXISTING CONTOUR
 - 515 PROPOSED CONTOUR
 - EXISTING STORM DRAIN
 - FLOW LINE
 - RIDGE LINE

DRAINAGE MANAGEMENT PLAN

INTRODUCTION

The purpose of this submittal is to provide a final drainage management plan for the proposed T-Mobile Store located at 5350 Academy Rd NW in Albuquerque, NM. The site is legally described as North Academy Business Park, Tract A. The project consists of demolition of an existing tobacco shop building and a portion of the existing parking lot. A new T-Mobile retail store will be constructed with new parking and landscape areas as required. The site contains approximately 0.6931 acres.

EXISTING HYDROLOGIC CONDITIONS

The site is currently developed as a tobacco store with associated parking and drive-thru lane. Surrounding streets and infrastructure are in place. The site currently sheet flows from northeast to southwest and ultimately drains into a drop inlet located in the parking lot to the southwest of the southwest property corner. The existing property is at least 90% impervious. Basin Calculations for this site can be found on the Basin Calculations Table this sheet. The 100-Yr discharge from the site is currently 3.37 cfs.

PROPOSED HYDROLOGIC CONDITIONS

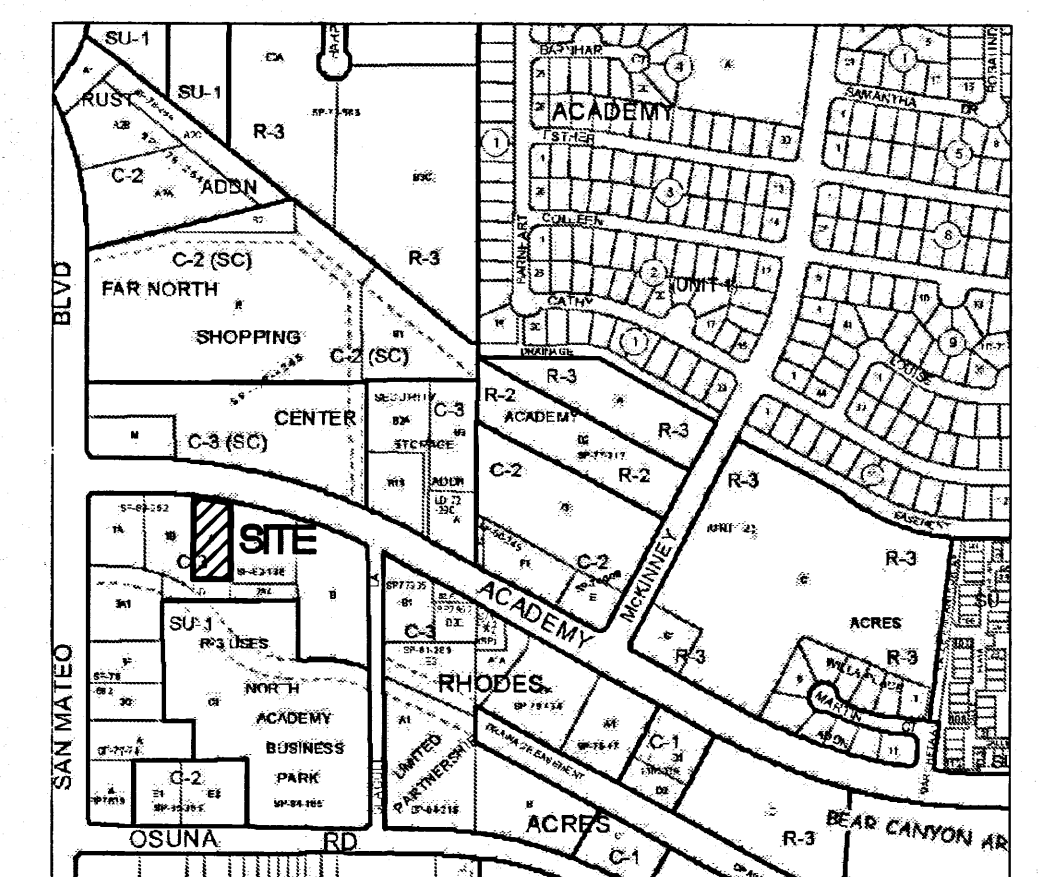
The site will continue to drain to the existing storm drain inlet located just to the southwest of the southwest property corner; however we are providing water harvesting areas on-site in key locations to help capture flows from the proposed building and as much parking areas as feasible. Per the Basin Calculations Table this sheet, there is a slight decrease in runoff discharging from the site during the 100-Year Storm, which totals 3.32 cfs, 0.05 cfs less than Pre-Developed Conditions. The reduction is due to the increase of landscaped areas and reduction of impervious area. In addition, the site will provide a partial treatment of runoff by routing all of the building's roof and a portion of the parking lot drainage through a new water harvesting pond located along the west property line and adjacent to the building. We have added several other small water harvesting ponds throughout the site. See below for First Flush Calculations.

FIRST FLUSH CALCULATIONS

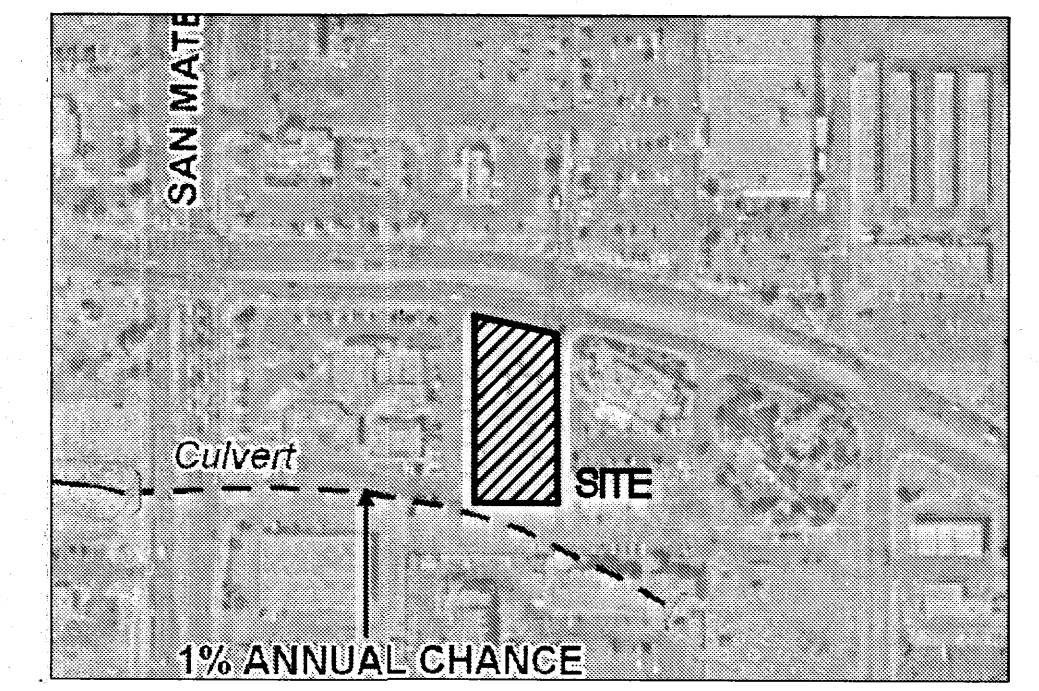
The first flush volume impervious area is 12,589 SF (Using the New Impervious Areas only) $0.34''/12 = 357$ cubic feet. The pond volume provided per calculations this sheet contains +/-367.0 cubic feet which is 10 cubic feet more than that required. The ponds will slowly discharge onto adjacent pavement at a rate lower than Pre-Developed flows.

CONCLUSION

This drainage management plan provides for grading and drainage elements which are capable of safely passing the 100 year storm and meets city requirements. With this submittal, we are requesting approval of this plan for Grading Permit and Building Permit.



VICINITY MAP - Zone Atlas E-18
Legal Description: Tract A, N Academy Business Park



FIRM MAP 35001C0139G
Per FIRM Map 35001C0139G, dated September 20, 2008, the site is not located in the Floodplain and determined to be outside the 0.2% chance Annual Floodplain.

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1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
 2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 UPDATE NO. 8.
 3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NM ONE CALL FOR LOCATION OF EXISTING UTILITIES. (NM ONE CALL = 811)
 4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
 6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
 7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

- GRADING NOTES**
1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
 2. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
 3. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
 4. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
 5. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
 6. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS OR SILT FENCE AT THE PROPERTY LINES AND NETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
 7. A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAIL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
 8. PAVING AND ROADWAY GRADES SHALL BE +/- 0.05' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
 9. ALL PROPOSED CONTOURS AND SPOT ELEVATIONS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR PAVEMENT, MEDIANS, AND ISLANDS.
 10. VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION (IF APPLICABLE) PRIOR TO BEGINNING CONSTRUCTION.
 11. THE CONTRACTOR SHALL PROVIDE THE SWPPP DOCUMENT (IF NECESSARY) AND SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.

WATER HARVESTING POND VOLUME CALCULATIONS

POND NO.	CONTOUR ELEVATION	AREA (SF)	VOLUME (CF)
POND NO. 1	5210.00	3 SF	50.0 CF
	5211.00	97 SF	224.5 CF
	5212.00	352 SF	274.5 CF
TOTAL			549.0 CF
POND NO. 2	5212.00	3 SF	22.5 CF
	5213.00	42 SF	70.0 CF
	5213.90	113 SF	92.5 CF
TOTAL			185.0 CF
GRAND TOTAL			734.0 CF

NOTE: THE ABOVE POND VOLUMES SHALL BE VERIFIED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

FINAL POND SURFACE IS TO TOP OF COBBLE.

Pre-Developed Drainage Calculations											
This table is based on the COA DPM Section 22.2, Zone: 3											
BASIN	Area (SQ FT)	Area (AC.)	Land Treatment Percentages				Q(100) (cfs/ac)	Q(100) (CFS)	WT E (inches)	V(100)360 (CF)	V(100)1440 (CF)
Pre-Developed	30191	0.69	0.0%	0.0%	10.0%	90.0%	4.86	3.37	2.25	5668	6574
TOTAL								3.37		5668	6574

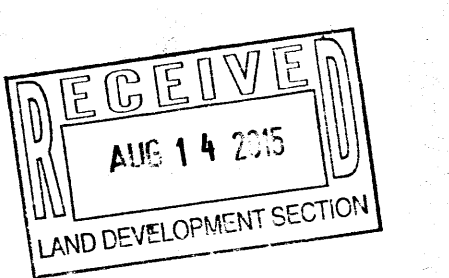
Post-Developed Drainage Calculations											
Ultimate Development Conditions Basin Data Table											
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TOTAL								3.32		5534	6389

INDIA
Darren Sowell
ARCHITECTS

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Albuquerque, N.M. 87109
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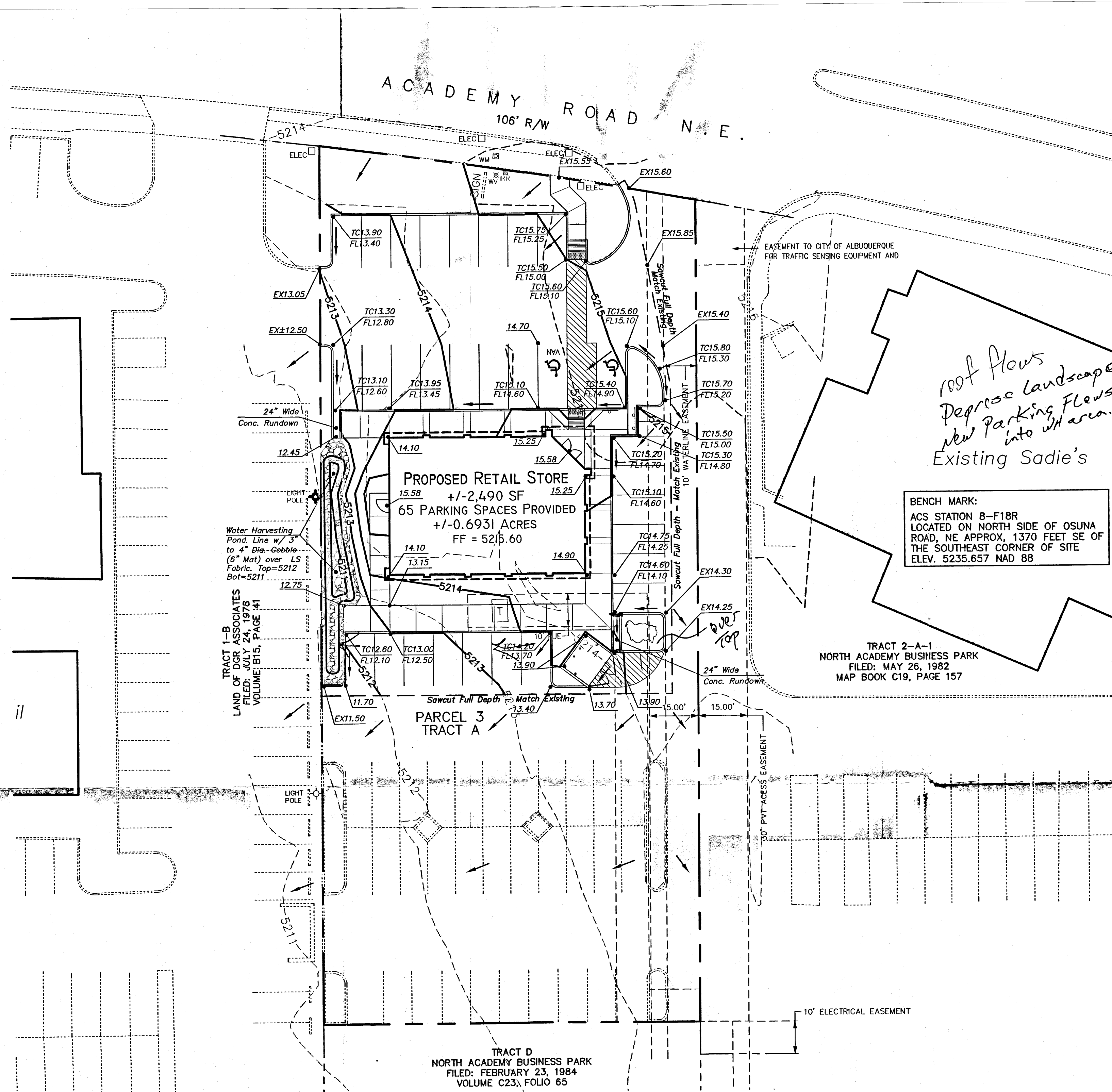
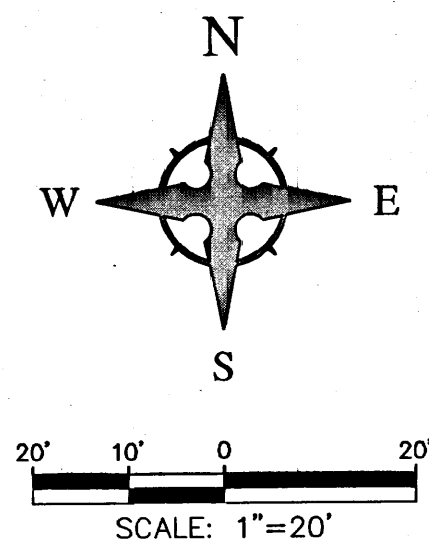


T-Mobile Store #288
5350 Academy Road NE
Albuquerque, New Mexico 87109



Project Number 2014038
Drawn By JW
Checked JW
Issue Date August 13, 2015
Grading Plan

Wooten Engineering
1368 Reynosa Loop SE
Rio Rancho, NM 87124
Ph: 505.980.3560

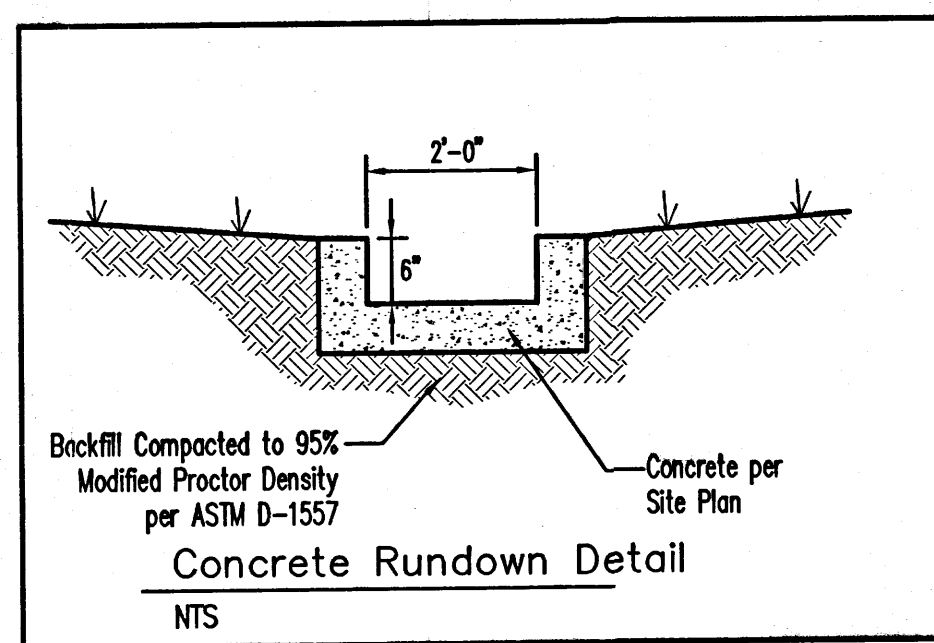


POND VOLUME CALCULATIONS

CONTOUR ELEVATION	AREA (SF)	VOLUME (CF)
5211.00	82 SF	220.0 CF
5212.00	358 SF	
TOTAL		220.0 CF

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LEGEND

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FIRST FLUSH CALCULATIONS

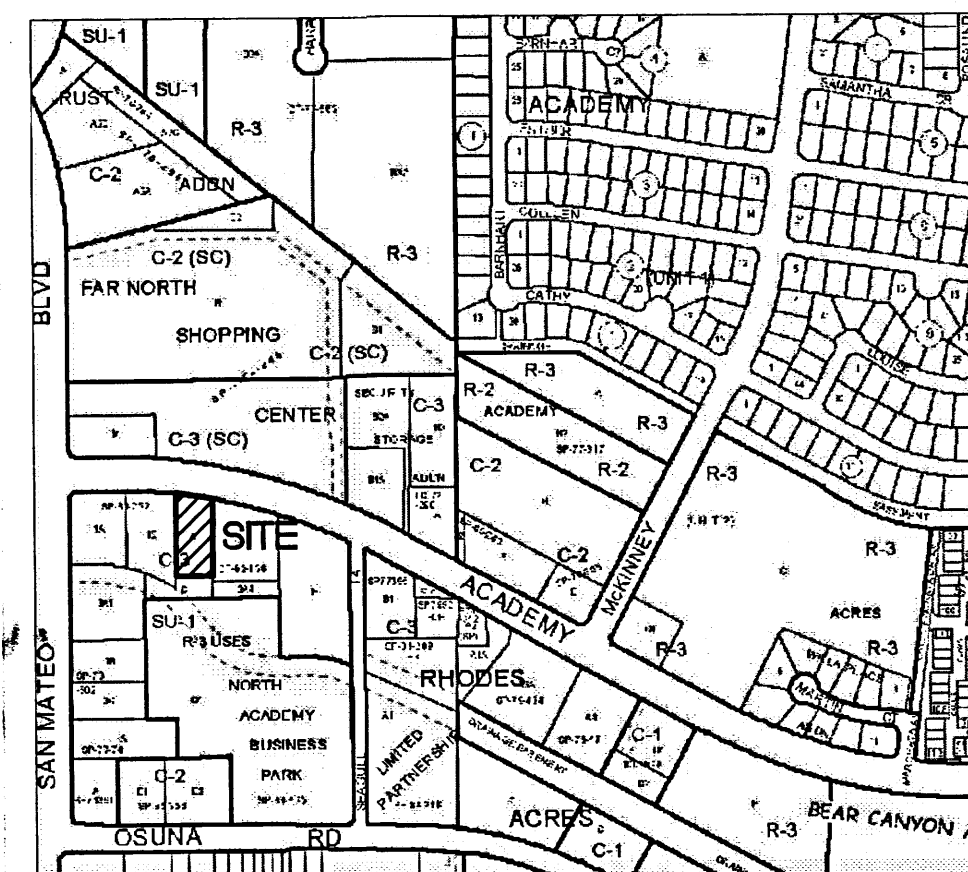
The first flush volume impervious area is 13,340 SF (Using the New Impervious Areas only) $0.34''/12 = .378$ cubic feet. The pond provided contains +/-220.0 cubic feet which is the maximum volume of ponding we can provide within the allowable landscape area and which the parking areas can be routed. The pond will slowly discharge onto the property to the west, which is the historic condition.

CONCLUSION

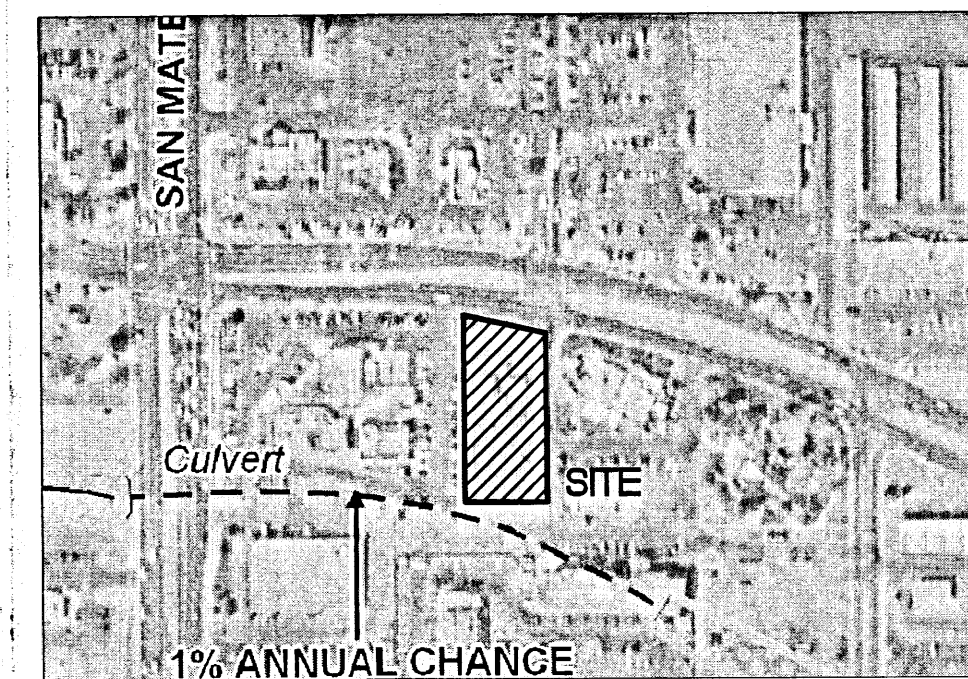
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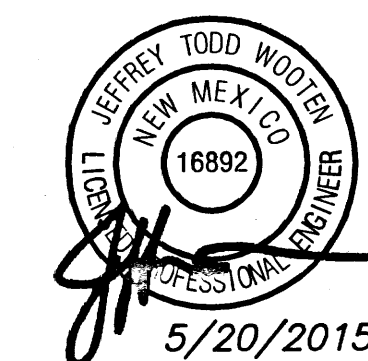
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ARCHITECTS

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T-Mobile Store #288

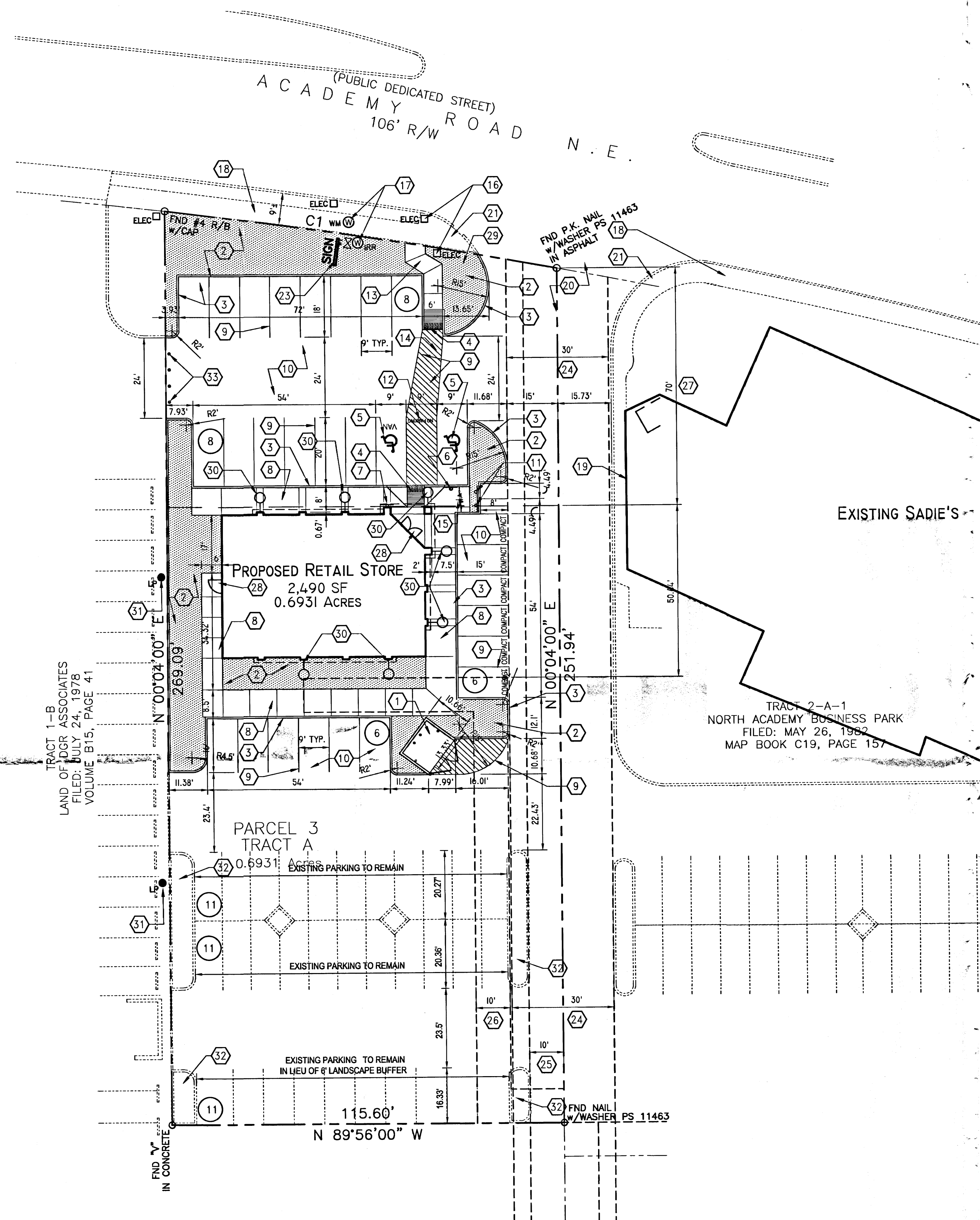
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Project Number 2014038
Drawn By JW
Checked JW
Issue Date May 20, 2015
Grading Plan

Wooten
Engineering

1368 Reynosa Loop SE
Rio Rancho, NM 87124
Ph: 505.980.3560

C1



TRACT 1-B
LAND OF DGR ASSOCIATES
FILED: JULY 24, 1978
VOLUME B15, PAGE 41

TRACT 2-A-1
NORTH ACADEMY BUSINESS PARK
FILED: MAY 26, 1982
MAP BOOK C19, PAGE 157

TRACT D
NORTH ACADEMY BUSINESS PARK
FILED: FEBRUARY 23, 1984
VOLUME C23, FOLIO 65

CURVE DATA

NUMBER	DELTA ANGLE	CHORD DIRECTION	RADIUS	ARC LENGTH	CHORD LENGTH
C1	03°48'43"	N 81°29'33" W	1757.05	116.90	116.87

LEGEND:

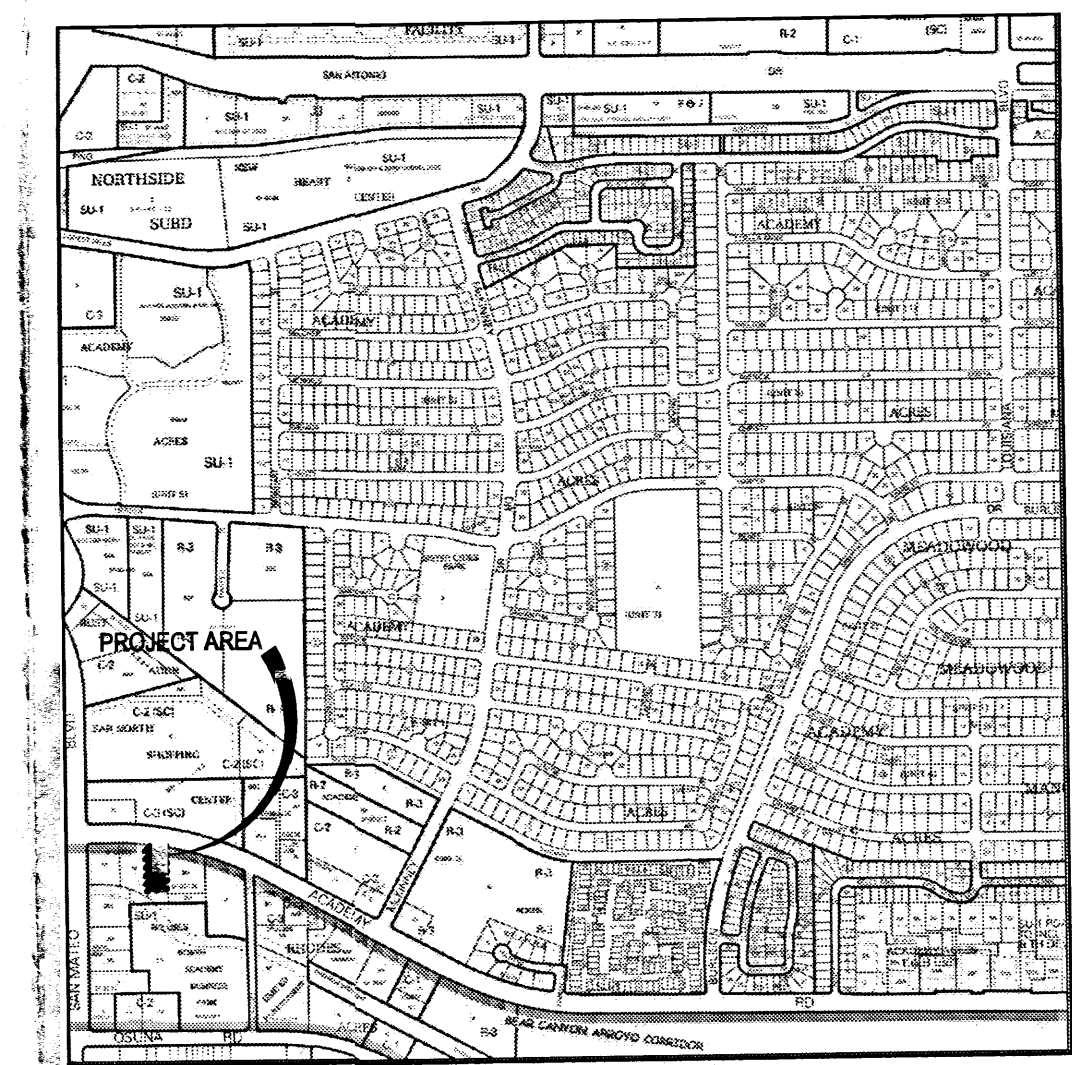
- SIDEWALK JOINTS
- ON-SITE LANDSCAPE AREA, SEE LS-101
- CURB RAMP
- EXISTING CONCRETE CURB/PAVING
- CONCRETE CURB/PAVING
- PROPERTY LINE
- EXISTING PROPERTY LINE
- EXISTING FRONT YARD SETBACK LINE
- EXISTING EASEMENT LINE

BUILDING & PARKING DATA

BUILDING AREA:	# SEATS	AREA (SQUARE FEET)	
T-MOBILE RETAIL STORE	N/A	2,490 SF	
TOTAL AREA	N/A	2,490 SF	
PARKING REQUIREMENTS:	RATIO	REQUIRED	PROVIDED
T-MOBILE RETAIL STORE	1/200 SF	13 SPACES	*53 SPACES
STD ACCESSIBLE PARKING REQUIRED FOR 13 SPACES	--	1 SPACE	1 SPACE
VAN ACCESSIBLE PARKING REQUIRED FOR 13 SPACES	--	1 SPACE	1 SPACE
COMPACT PARKING ALLOWED FOR 61 SPACES = 15			6 SPACES
TOTAL		13 SPACES	*61 SPACES

* 33 EXISTING STANDARD SPACES TO REMAIN
+ 26 NEW STANDARD AND COMPACT SPACES PROVIDED
+ 2 NEW ACCESSIBLE SPACES PROVIDED
= 61 PARKING SPACES PROVIDED

ADDITIONAL PARKING REQUIREMENTS:
1 MOTORCYCLE SPACE REQUIRED AND 2 PROVIDED
2 BICYCLE SPACES REQUIRED AND 2 PROVIDED



VICINITY MAP

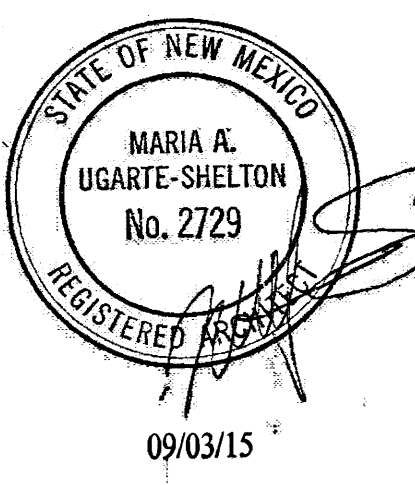
SITE DATA:

LEGAL DESCRIPTION: TRACT "A", NORTH ACADEMY BUSINESS PARK
UPC: 101806204807730121
ADDRESS: 5350 ACADEMY RD NE
PROPERTY AREA: 0.6931 ACRES
CURRENT ZONING: C-3
BUILDING AREA:
T-MOBILE RETAIL BUILDING = 2,490 SF

KEYED NOTES:

- REFUSE ENCLOSURE.
- LANDSCAPE AREA, SEE LANDSCAPE PLAN LS-101.
- 6" HIGH CONCRETE CURB.
- ACCESSIBLE CURB RAM.
- ACCESSIBLE PARKING SYMBOL PAVEMENT MARKING.
- ACCESSIBLE PARKING SIGN - POST MOUNTED.
- VAN ACCESSIBLE PARKING SIGN TO INCLUDE "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING" - WALL MOUNTED.
- CONCRETE SIDEWALK.
- 4" WIDE PAVEMENT STRIPING.
- ASPHALT PAVEMENT.
- MOTORCYCLE PARKING SIGN.
- "NO PARKING" PAVEMENT MARKING IN CAPITAL LETTERS, EACH OF WHICH SHALL BE 12" HIGH AND 2" WIDE MINIMUM.
- 6" WIDE CONCRETE PEDESTRIAN CONNECTION.
- 6" WIDE INCREASING TO 9" WIDE ADA ACCESSIBLE PEDESTRIAN PATHWAY FROM PUBLIC SIDEWALK.
- 2-BIKE CAPACITY HOOP RACK.
- EXISTING TRAFFIC SIGNAL ARM & ASSOCIATED EQUIPMENT TO REMAIN.
- EXISTING WATER & IRRIGATION METERS TO REMAIN.
- EXISTING SIDEWALK TO REMAIN.
- EXISTING PATIO WALL ON ADJACENT PROPERTY.
- EXISTING FULL ACCESS INTERSECTION TO REMAIN.
- EXISTING ACCESSIBLE CURB RAMP TO REMAIN.
- NOT USED.
- EXISTING FREE-STANDING SIGN TO RECEIVE NEW SIGN FACE UNDER A SEPARATE BUILDING PERMIT.
- EXISTING 30' PRIVATE COMMON ACCESS EASEMENT; BOOK C19, FOLIO 42, BOOK C19, FOLIO 157, BOOK C20, FOLIO 168 & BOOK C23, FOLIO 65.
- EXISTING 10' WATERLINE EASEMENT; BOOK C19, FOLIO 157, BOOK C20, FOLIO 168 & BOOK C23, FOLIO 65.
- EXISTING 10' PUBLIC UTILITY EASEMENT; BOOK MISC. 255A, PAGE 794.
- EXISTING FRONT YARD BUILDING SETBACK LINE; BOOK C19, FOLIO 157.
- BUILDING ENTRANCE/EXIT DOOR.
- NOT USED.
- EXTERIOR LOT LIGHTING ON BUILDING.
- EXISTING LIGHT POLE TO REMAIN.
- EXISTING CURB AND LANDSCAPING TO REMAIN.
- 6" DIA x 36" AFF BOLLARD AT 5'-0" ± OC, BURY 18" IN 12" DIA CONC.

DISIA
Darren Sowell
ARCHITECTS
4700 Lincoln N.E., Suite 111
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Phone: (505) 342-6200
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Landscape Variance Application
5350 Academy Road NE
Albuquerque, New Mexico 87109

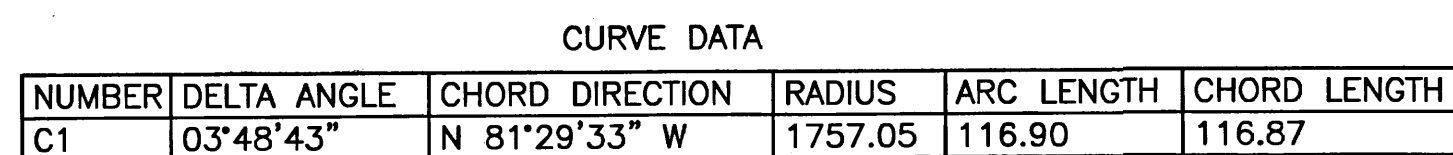
Project Number 1513
Drawn By CC
Checked MS
Issue Date Dec 21, 2015

ARCHITECTURAL
SITE PLAN

Scale: AS SHOWN



**ALL WHEELCHAIR RAMPS LOCATED
WITHIN THE PUBLIC RIGHT OF WAY
MUST HAVE TRUNCATED DOMES.**



CURVE DATA

NUMBER	DELTA ANGLE	CHORD DIRECTION	RADIUS	ARC LENGTH	CHORD LENGTH
C1	03°48'43"	N 81°29'33" W	1757.05	116.90	116.87




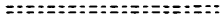





CURVE DATA

SCALE: 1" = 20'

NOTE:
LOCATION AND DESIGN OF NEW FIRE HYDRANT UNDER
MINI-WORK ORDER BY OTHERS, THIS PERMIT.



LEGEND:

- | | |
|---|---|
|  | PROPOSED SIDEWALK JOINTS |
|  | PROPOSED ON-SITE LANDSCAPE AREA, SEE LS-101 |
|  | PROPOSED CURB RAMP |
|  | EXISTING CONCRETE CURB/PAVING |
|  | PROPOSED CONCRETE CURB/PAVING |
|  | PROPOSED PROPERTY LINE |
|  | EXISTING PROPERTY LINE |
|  | EXISTING FRONT YARD SETBACK LINE |
|  | EXISTING EASEMENT LINE |

- 22 EXISTING STANDARD SPACES TO REMAIN
- + 26 NEW STANDARD AND COMPACT SPACES PROVIDED
- + 2 NEW ACCESSIBLE SPACES PROVIDED
- = 50 PARKING SPACES PROVIDED

ADDITIONAL PARKING REQUIREMENTS:
1 MOTORCYCLE SPACE REQUIRED AND 2 PROVIDED
2 BICYCLE SPACES REQUIRED AND 2 PROVIDED

VICINITY MAP

E-18-Z

SITE DATA:

LEGAL DESCRIPTION: TRACT "A", NORTH ACADEMY BUSINESS PARK

UPC: 101806204807730121

ADDRESS: 5350 ACADEMY RD NE

PROPERTY AREA: 0.6931 ACRES

CURRENT ZONING: C-3

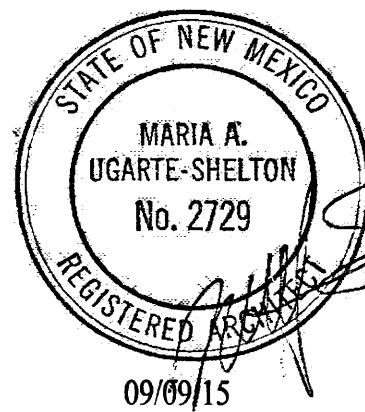
BUILDING AREA:
PROPOSED T-MOBILE RETAIL BUILDING = 2,490 SF

KEYED NOTES:

1. PROPOSED REFUSE ENCLOSURE, SEE 1/AS-102.
2. PROPOSED LANDSCAPE AREA, SEE LANDSCAPE PLAN LS-101.
3. PROPOSED 6" HIGH CONCRETE CURB.
4. PROPOSED ACCESSIBLE CURB RAMP, SEE AS-102.
5. PROPOSED ACCESSIBLE PARKING SYMBOL PAVEMENT MARKING.
6. PROPOSED ACCESSIBLE PARKING SIGN - POST MOUNTED, SEE AS-102.
7. PROPOSED VAN ACCESSIBLE PARKING SIGN TO INCLUDE "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING" - WALL MOUNTED SEE AS-102.
8. PROPOSED CONCRETE SIDEWALK.
9. PROPOSED 4" WIDE PAVEMENT STRIPING.
10. PROPOSED ASPHALT PAVEMENT.
11. PROPOSED MOTORCYCLE PARKING SIGN.
12. PROPOSED "NO PARKING" PAVEMENT MARKING IN CAPITAL LETTERS, EACH OF WHICH SHALL BE 12" HIGH AND 2" WIDE MINIMUM.
13. PROPOSED 6' WIDE CONCRETE PEDESTRIAN CONNECTION.
14. 6' WIDE INCREASING TO 9' WIDE ADA ACCESSIBLE PEDESTRIAN PATHWAY FROM PUBLIC SIDEWALK.
15. PROPOSED 2-BIKE CAPACITY HOOP RACK BY DERCO OR APPROVED EQUAL.
16. EXISTING TRAFFIC SIGNAL ARM & ASSOCIATED EQUIPMENT TO REMAIN.
17. EXISTING WATER & IRRIGATION METERS TO REMAIN.
18. EXISTING SIDEWALK TO REMAIN.
19. EXISTING PATIO WALL ON ADJACENT PROPERTY.
20. EXISTING FULL ACCESS INTERSECTION TO REMAIN.
21. EXISTING ACCESSIBLE CURB RAMP TO REMAIN.
22. EXISTING FIRE HYDRANT TO REMAIN.
23. EXISTING FREE-STANDING SIGN TO RECEIVE NEW SIGN FACE UNDER A SEPARATE BUILDING PERMIT.
24. EXISTING 30' PRIVATE COMMON ACCESS EASEMENT; BOOK C19, FOLIO 42, BOOK C19, FOLIO 157, BOOK C20, FOLIO 168 & BOOK C23, FOLIO 65.
25. EXISTING 10' WATERLINE EASEMENT; BOOK C19, FOLIO 157, BOOK C20, FOLIO 168 & BOOK C23, FOLIO 65.
26. EXISTING 10' PUBLIC UTILITY EASEMENT; BOOK MISC. 255A, PAGE 794.
27. EXISTING FRONT YARD BUILDING SETBACK LINE; BOOK C19, FOLIO 157.
28. BUILDING ENTRANCE/EXIT DOOR.
29. PROVIDE LINE SIGHT DISTANCE, SEE DETAIL 2/AS-101.
30. EXTERIOR LOT LIGHTING ON BUILDING, SEE E-1.1.
31. EXISTING LIGHT POLE TO REMAIN.
32. EXISTING CURB AND LANDSCAPING TO REMAIN.
33. 6" DIA x 36" AFF BOLLARD AT 5'-0" ± OC, BURY 18" IN 12" DIA CONC.
34. 6' LANDSCAPE BUFFER, SEE LS101.
35. NEW FIRE HYDRANT UNDER SEPARATE MINI-WORK ORDER, THIS PERMIT.



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5350 Academy Road NE
Albuquerque, New Mexico 87109

CARQ COMMENT REVISIONS

Project Number	151
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Test Number	15
Drawn By	CL

checked	M
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Issue Date Sept 9, 2011

ARCHITECTURAL

SITE PLAN / 501

TE PLAN / TCL

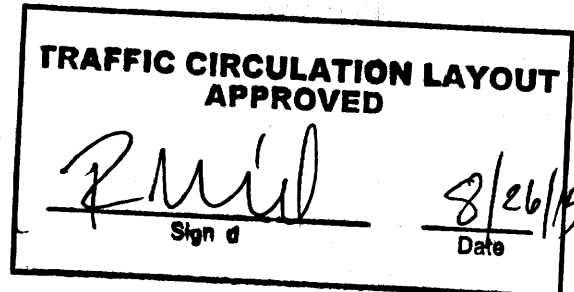
ale: AS SHOWN

AC 101

AS-104

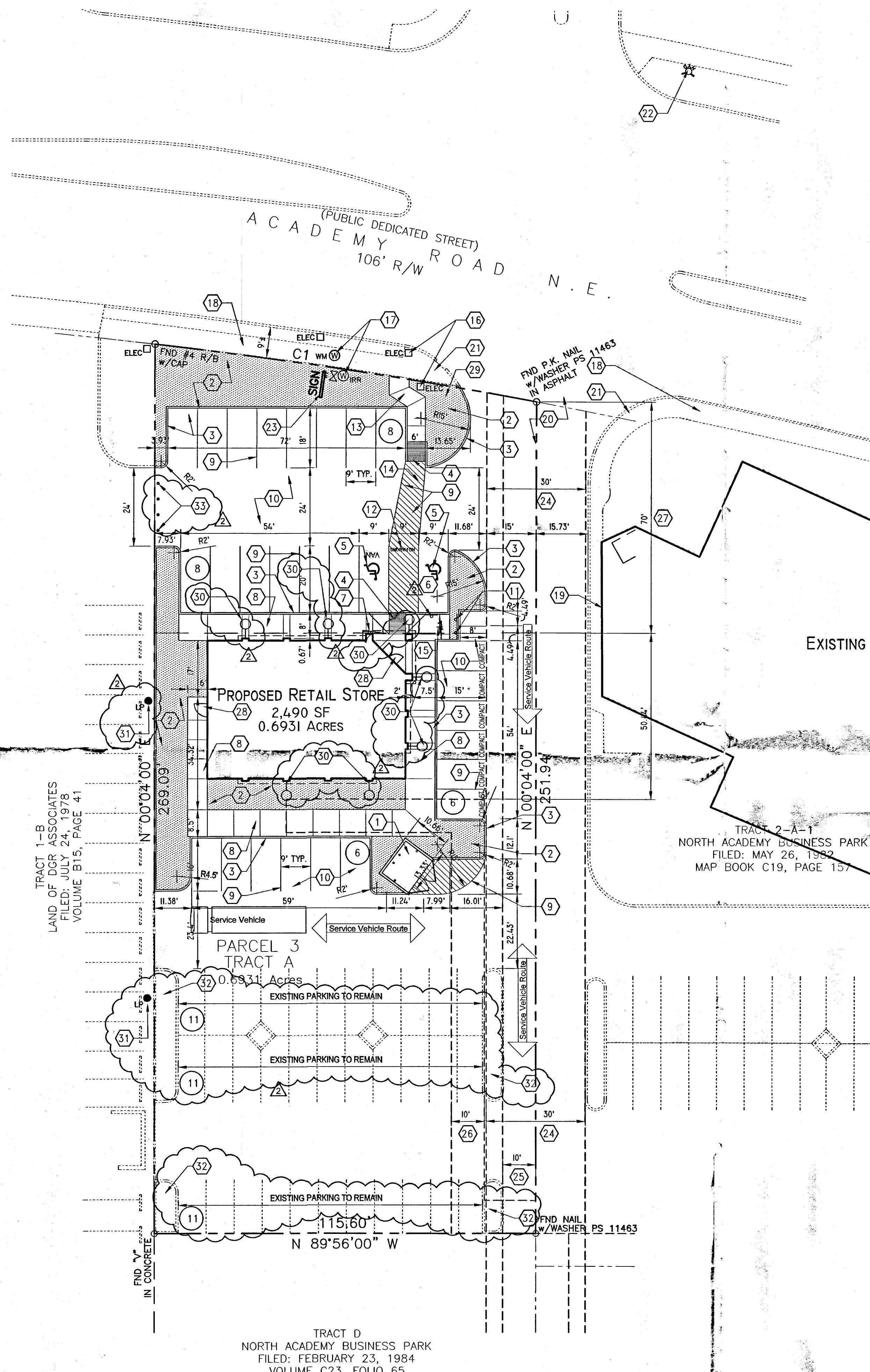
References

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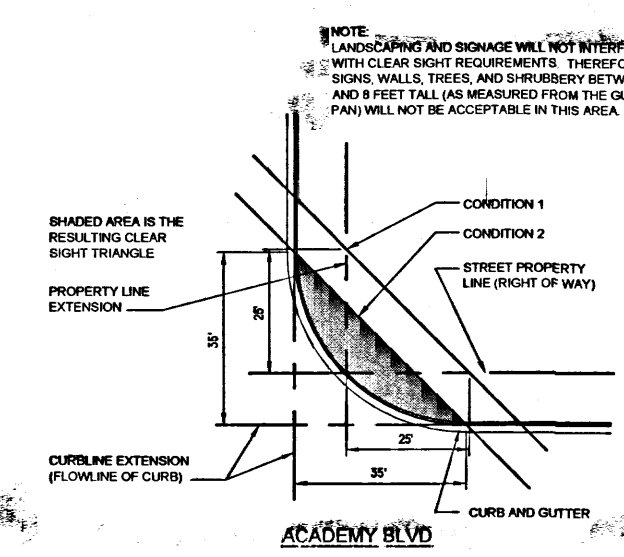
Public Infrastructure shown
on these plans for information
only and not part of approval.
Separate DRC/Permit approval
and Work Order required.

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MUST HAVE TRUNCATED DOMES.



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1 ARCHITECTURAL SITE PLAN / TCL
SCALE: 1" = 20'



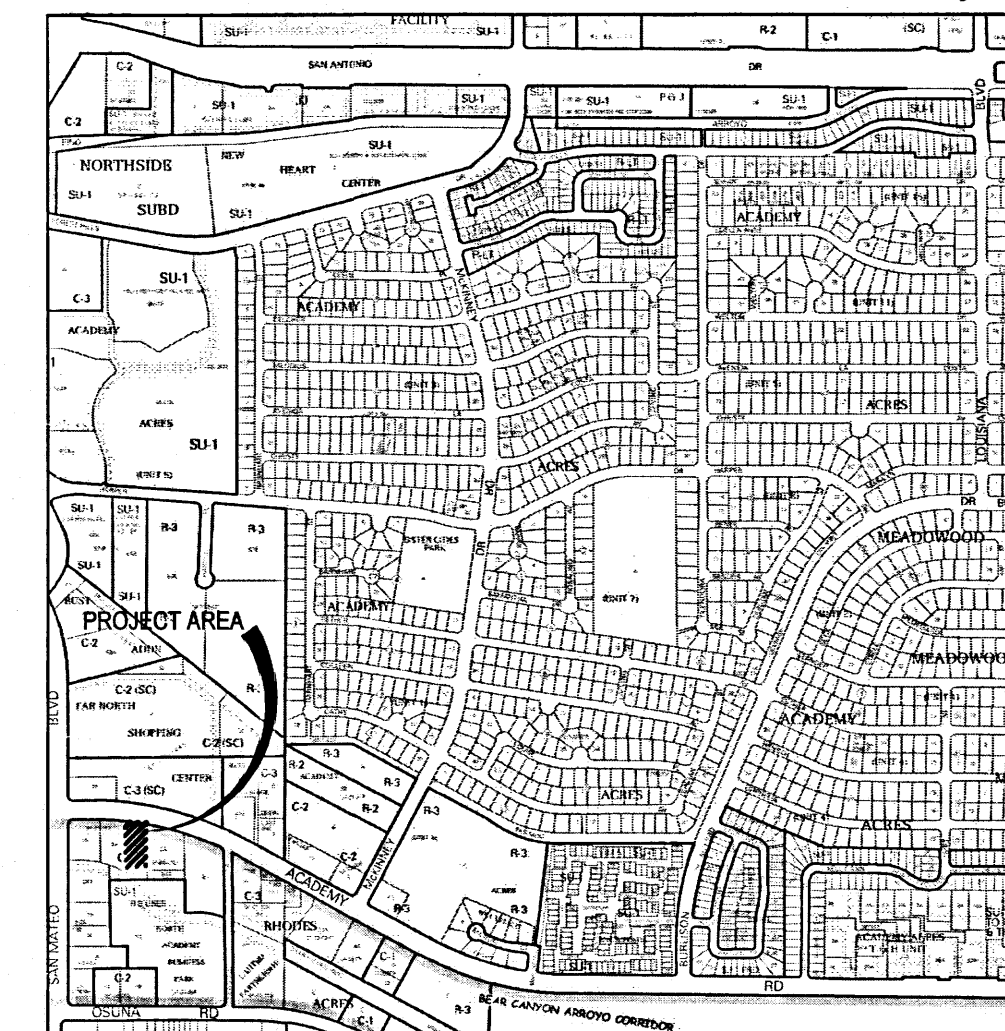
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- PROPOSED ON-SITE LANDSCAPE AREA, SEE LS-101
- PROPOSED CURB RAMP
- EXISTING CONCRETE CURB/PAVING
- PROPOSED CONCRETE CURB/PAVING
- PROPOSED PROPERTY LINE
- EXISTING PROPERTY LINE
- EXISTING FRONT YARD SETBACK LINE
- EXISTING EASEMENT LINE

BUILDING & PARKING DATA			
BUILDING AREA:		# SEATS	AREA (SQUARE FEET)
T-MOBILE RETAIL STORE		N/A	2,490 SF
TOTAL AREA		N/A	2,495 SF
PARKING REQUIREMENTS:		RATIO	REQUIRED
T-MOBILE RETAIL STORE		1/200 SF	13 SPACES
STD ACCESSIBLE PARKING REQUIRED FOR 13 SPACES		---	1 SPACE
VAN ACCESSIBLE PARKING REQUIRED FOR 13 SPACES		---	1 SPACE
COMPACT PARKING ALLOWED FOR 61 SPACES = 15		---	6 SPACES
TOTAL			13 SPACES *61 SPACES

* 33 EXISTING STANDARD SPACES TO REMAIN
* 28 NEW STANDARD AND COMPACT SPACES PROVIDED
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= 61 PARKING SPACES PROVIDED

ADDITIONAL PARKING REQUIREMENTS:
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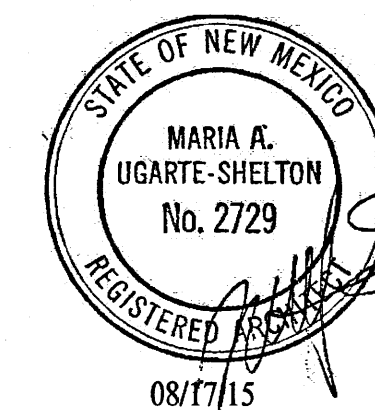
KEYED NOTES:

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- PROPOSED ACCESSIBLE PARKING SIGN - POST MOUNTED, SEE AS-102.
- PROPOSED 15' X 8' VAN ACCESSIBLE PARKING SIGN TO INCLUDE "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING" - WALL MOUNTED SEE AS-102.
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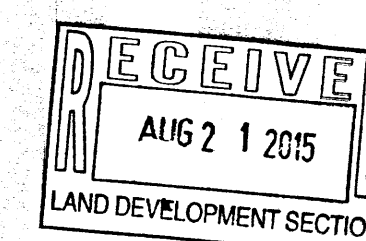
Darren Sowell
ARCHITECTS

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T-Mobile Store #288

5350 Academy Road NE
Albuquerque, New Mexico 87109



MOVED BUILDING WEST 5' FOR
ACCESS EASEMENT
CABQ COMMENT REVISIONS
Project Number 1513
Drawn By CC
Checked MS
Issue Date Aug 17, 2015

ARCHITECTURAL
SITE PLAN / TCL

Scale: AS SHOWN

AS-101

**ALL WHEELCHAIR RAMPS LOCATED
WITHIN THE PUBLIC RIGHT OF WAY
MUST HAVE TRUNCATED DOMES.**



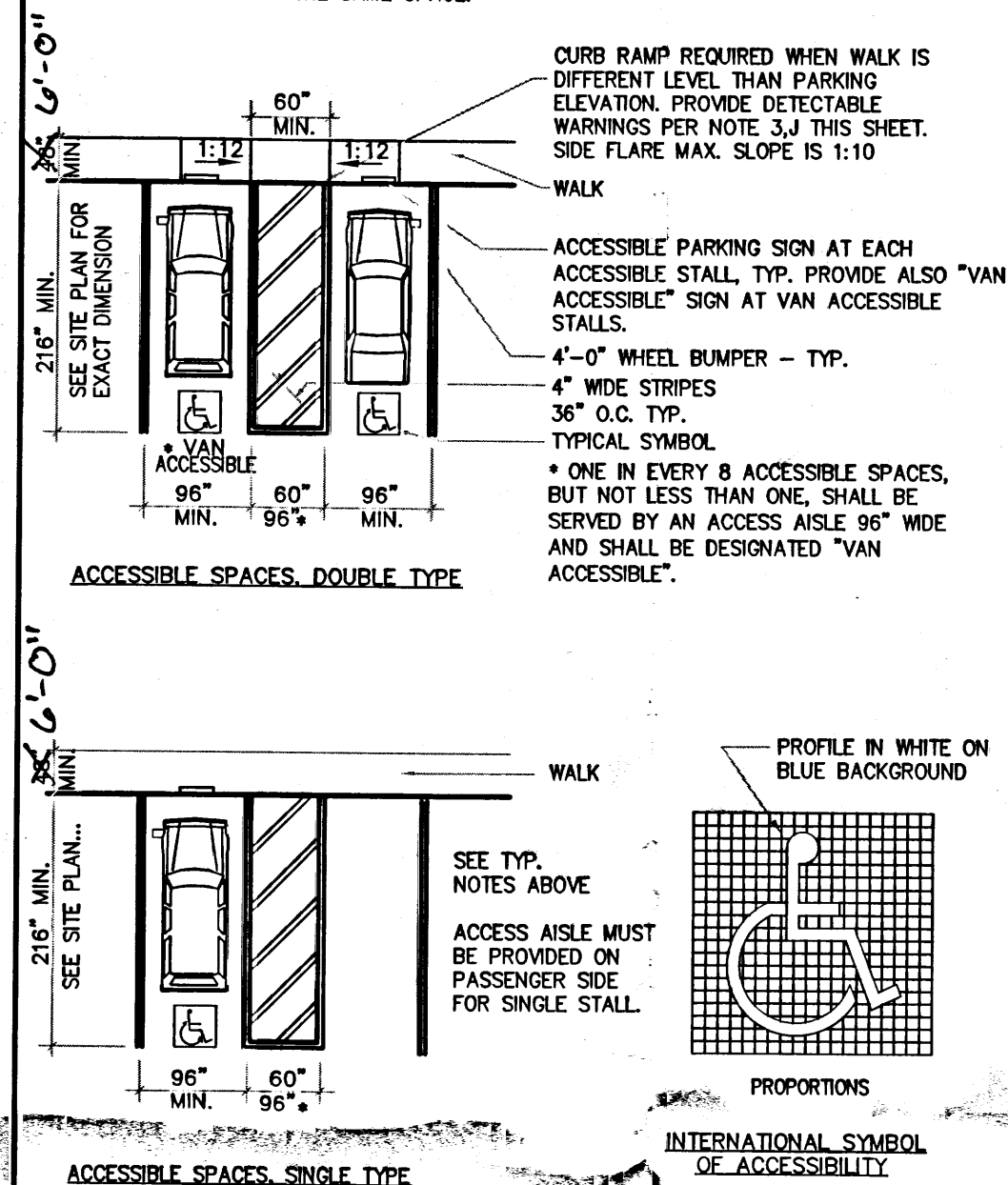
① SINGLE DUMPSTER ENCLOSURE

SCALE: $1/4" = 1'-0"$

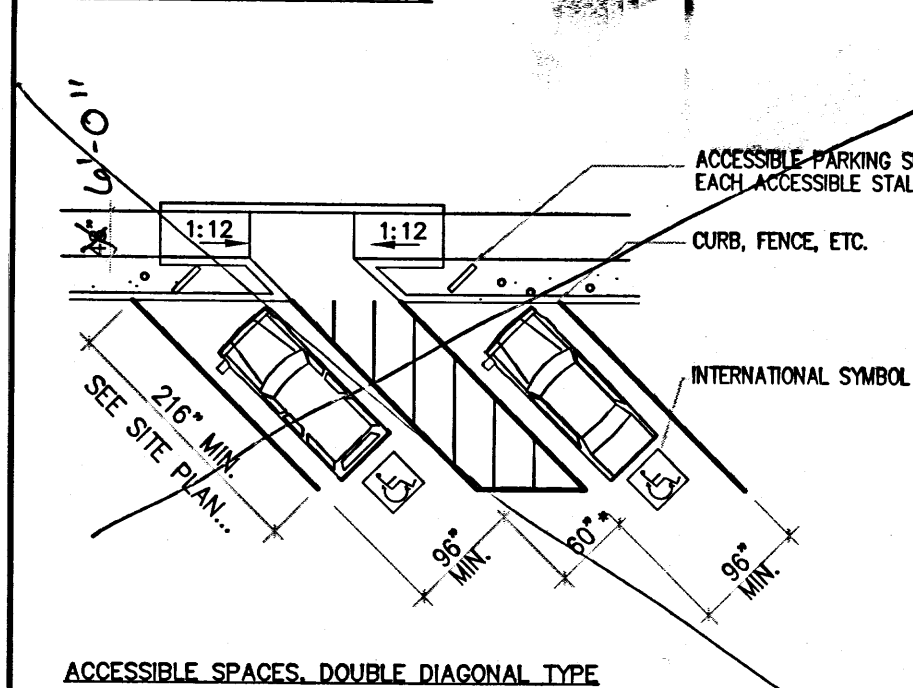
① PARKING

- A. THE FOLLOWING TABLE ESTABLISHES THE NUMBER OF ACCESSIBLE PARKING SPACES REQUIRED:
- | TOTAL NUMBER OF PARKING SPACES | NUMBER OF ACCESSIBLE PARKING SPACES REQUIRED |
|--------------------------------|--|
| 1 - 25 _____ | 1 |
| 26 - 50 _____ | 2 |
| 51 - 75 _____ | 3 |
| 76 - 100 _____ | 4 |
| 101 - 150 _____ | 5 |
| 151 - 200 _____ | 6 |
| 201 - 300 _____ | 7 |
| 301 - 400 _____ | 8 |
| 401 - 500 _____ | 9 |
| 501 - 1000 _____ | 2% OF TOTAL |
| + 1000 _____ | 20 + 1 FOR EACH 100 OVER 1000 |

IN ADDITION TO THE ABOVE REQUIREMENTS, THE SURFACE OF EACH PARKING SPACE SHALL HAVE A SURFACE IDENTIFICATION, 3 FEET SQUARE, DUPLICATING THE SYMBOL OF ACCESSIBILITY IN BLUE PAINT, LOCATED SO THAT THE SYMBOL CAN BE SEEN WHILE A VEHICLE IS PARKED IN THE SAME SPACE.

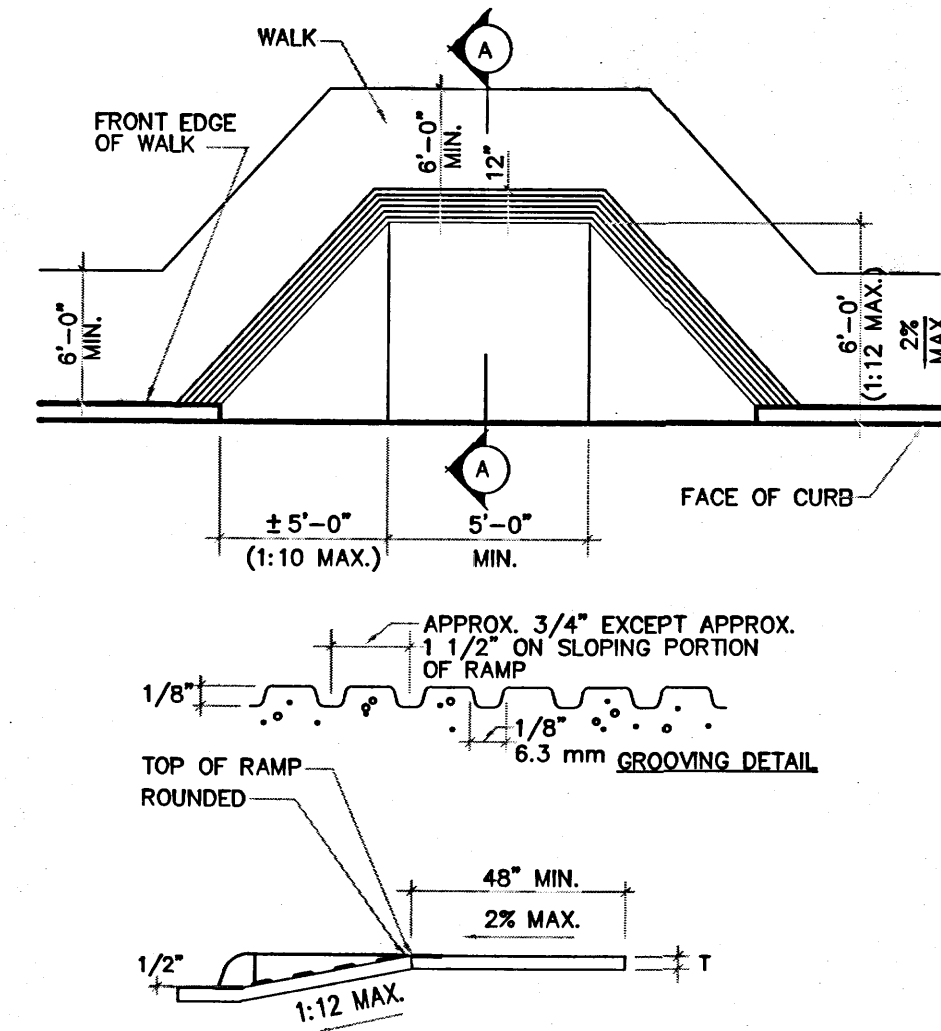


ACCESSIBLE SPACES, SINGLE TYPE



② CURB RAMPS

- A. CURB RAMPS SHALL BE CONSTRUCTED AT EACH CORNER OF STREET INTERSECTIONS AND WHERE A PEDESTRIAN WAY CROSSES A CURB. THE PREFERRED AND RECOMMENDED LOCATION FOR CURB RAMPS IS IN THE CENTER OF THE CROSSWALK OF EACH STREET CORNER. WHERE IT IS NECESSARY TO LOCATE A CURB RAMP IN THE CENTER OF THE CURB RETURN AND THE STREET SURFACES ARE MARKED TO IDENTIFY PEDESTRIAN CROSSWALKS, THE LOWER END OF THE CURB RAMPS SHALL TERMINATE WITHIN SUCH CROSSWALKS.
- B. CURB RAMPS SHALL BE A MINIMUM OF 3 FEET IN WIDTH AND SHALL LIE, GENERALLY, IN A SINGLE SLOPED PLANE WITH A MINIMUM OF SURFACE WARPING AND CROSS SLOPE.
- C. BUILT-UP CURB RAMPS SHALL BE LOCATED SO THAT THEY DO NOT PROJECT INTO VEHICULAR TRAFFIC LANES.
- D. CURB RAMPS AT MARKED CROSSINGS SHALL BE WHOLLY CONTAINED WITHIN THE MARKINGS EXCLUDING ANY FLARED SIDES.
- E. THE SLOPE OF CURB RAMPS SHALL NOT EXCEED 1 VERTICAL TO 12 HORIZONTAL. THE SLOPE OF THE FANNED OR FLARED SIDES OF CURB RAMPS SHALL NOT EXCEED 1 VERTICAL TO 10 HORIZONTAL.
- F. A LEVEL LANDING 4 FEET DEEP SHALL BE PROVIDED AT THE UPPER END OF EACH CURB RAMP OVER ITS FULL WIDTH TO PERMIT SAFE EGRESS FROM THE RAMP SURFACE, OR THE SLOPE OF THE FANNED OR FLARED SIDES OF THE CURB RAMP SHALL NOT EXCEED 1 VERTICAL TO 12 HORIZONTAL.
- G. THE LOWER END OF EACH CURB RAMP SHALL BE FLUSH WITH ADJACENT SURFACE.
- H. THE SURFACE OF EACH CURB RAMP AND ITS FLARED SIDES SHALL BE STABLE, FIRM AND SLIP RESISTANT AND SHALL BE OF A CONTRASTING FINISH FROM THAT OF ADJACENT SIDEWALK.
- I. CURB RAMPS SHALL BE LOCATED OR PROTECTED TO PREVENT THEIR OBSTRUCTION BY PARKED CARS.
- J. IF DIAGONAL CURB RAMPS HAVE RETURNED CURBS OR OTHER WELL-DEFINED EDGES, SUCH EDGES SHALL BE PARALLEL TO THE DIRECTION OF PEDESTRIAN FLOW. THE BOTTOM OF DIAGONAL CURB RAMPS SHALL HAVE 48 INCHES MINIMUM CLEAR SPACE. IF DIAGONAL CURB RAMPS ARE PROVIDED AT UNKEEPT CROSSINGS, THE SLOPE OF THE FANNED SIDES SHALL BE WITHIN THE MARKINGS. IF DIAGONAL CURB RAMPS HAVE FLARED SIDES, THEY SHALL ALSO HAVE AT LEAST A 24 INCH LONG SEGMENT OF STRAIGHT CURB LOCATED ON EACH SIDE OF THE CURB RAMP AND WITHIN THE MARKED CROSSING.

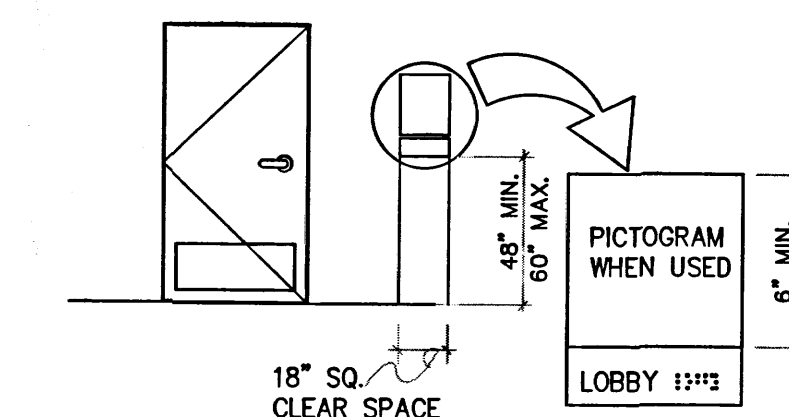


③ WALKS AND SIDEWALKS

- A. WALKS AND SIDEWALKS SHALL HAVE A CONTINUOUS CURB GRADE INTERRUPTED BY STEPS OR BY ABRUPT CHANGES IN LEVEL EXCEEDING 1/4" INCH, AND SHALL BE A MINIMUM OF 4 FEET IN WIDTH.
- B. SURFACES WITH A SLOPE OF LESS THAN 6 PERCENT GRADIENT SHALL BE AT LEAST AS SLIP RESISTANT AS THAT DESCRIBED AS A MEDIUM SALTED FINISH.
- C. SURFACES WITH A SLOPE OF 6 PERCENT GRADIENT OR GREATER SHALL BE SLIP-RESISTANT.
- D. SURFACE CROSS SLOPES SHALL NOT EXCEED 1/4" INCH PER FOOT.
- E. WALKS, SIDEWALKS AND PEDESTRIAN WAYS SHALL BE FREE OF GRATING WHENEVER POSSIBLE. FOR GRATINGS LOCATED IN THE SURFACE OF ANY OF THESE AREAS, GRID OPENINGS IN GRATINGS SHALL BE PERPENDICULAR TO THE DOMINANT DIRECTION OF TRAVEL, AND A MAXIMUM OF 1/2" IN SIZE.
- F. WHEN THE SLOPE IN THE DIRECTION OF TRAVEL OF ANY WALK EXCEEDS 1 VERTICAL TO 20 HORIZONTAL IT SHALL COMPLY WITH THE PROVISIONS FOR PEDESTRIAN RAMPS.
- G. ABRUPT CHANGES IN LEVEL ALONG ANY ACCESSIBLE ROUTE SHALL NOT EXCEED 1/2" INCH. WHEN CHANGES IN LEVEL DO OCCUR, THEY SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1:2 EXCEPT THAT LEVEL CHANGES NOT EXCEEDING 1/4" INCH MAY BE VERTICAL. WHEN CHANGES IN LEVEL GREATER THAN 1/2" INCH ARE NECESSARY COMPLY WITH THE REQUIREMENTS FOR CURB RAMPS.
- H. WALKS SHALL BE PROVIDED WITH A LEVEL AREA NOT LESS THAN 60 INCHES BY 60 INCHES AT A DOOR OR GATE THAT SWINGS TOWARD THE WALK, AND NOT LESS THAN 48 INCHES WIDE BY 44 INCHES DEEP THAT A DOOR OR GATE THAT SWINGS AWAY FROM THE WALK. EACH WALKWAY SHALL BE MINIMUM 24 INCHES TO THE SIDE OF THE STRIKE EDGE OF A DOOR OR GATE THAT SWINGS TOWARD THE WALK.
- I. ALL WALKS WITH CONTINUOUS GRADIENTS SHALL HAVE LEVEL AREAS OF AT LEAST 5 FEET IN LENGTH AT INTERVALS OF AT LEAST EVERY 400 FEET.
- J. IF A WALK CROSSES OR ADJAINS A VEHICULAR WAY, AND THE WALKING SURFACES ARE NOT SEPARATED BY CURBS, RAILINGS OR OTHER ELEMENTS BETWEEN THE PEDESTRIAN AREAS AND VEHICULAR AREAS, THE BOUNDARY BETWEEN THE AREAS SHALL BE DEFINED BY A CONTINUOUS DETECTABLE WARNING STRIP 18 TO 36 INCHES WIDE. SEE DETECTABLE WARNING TEXTURE DETAIL.

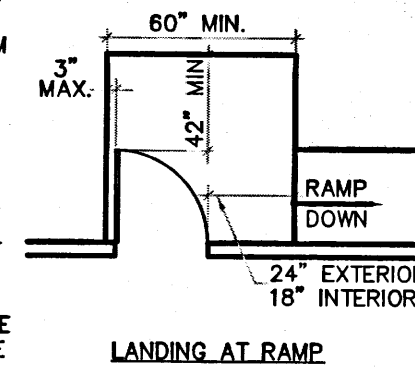
④ TACTILE SIGNAGE

- A. WHEN SIGNS IDENTIFY A PERMANENT ROOM OR SPACE OF A BUILDING OR COR. SIGN, OR WHEN SIGNS DIRECT OR GIVE INFORMATION ABOUT A PERMANENT ROOM OR SPACE OF A BUILDING OR COR. CORRESPONDING TACTILE SIGNAGE SHALL BE INSTALLED.
- B. WHEN SIGNS IDENTIFY, OR GIVE INFORMATION ABOUT ACCESSIBLE ELEMENTS AND FEATURE OF A BUILDING OR SITE, THEY SHALL INCLUDE THE APPROXIMATE SYMBOL, OR PICTURE, OF THE ELEMENT OR FEATURE. THE EQUIVALENT VISUAL AND TACTILE DESCRIPTION PLACED DIRECTLY BELOW THE PICTURE. THE OUTSIDE BORDER OF THE PICTURE SHALL BE MINIMUM 6" IN HEIGHT.
- C. VISUAL CHARACTERS SHALL BE UPPERCASE, STANDARD SANS SERIF FONT. THE HEIGHT OF VISUAL CHARACTERS SHALL BE A MINIMUM 5/8" PLUS 1/8" PER INCH OF VIEWING DISTANCE OVER SIX FEET. CHARACTER WIDTH SHALL BE 55% MINIMUM AND 110% MAXIMUM OF THE HEIGHT OF THE CHARACTER. CHARACTER STROKE WIDTH OF VISUAL ONLY CHARACTERS SHALL BE A MINIMUM OF 0.06 OF THE CHARACTER HEIGHT. CHARACTER STROKE WIDTH OF TACTILE SIGNAGE Duplicating THE INFORMATION SHALL BE PROVIDED, EITHER AS PART OF THE VISUAL SIGN OR A SEPARATE TACTILE SIGN PROVIDED.
- D. TACTILE CHARACTERS SHALL BE UPPERCASE, STANDARD SANS SERIF FONT, RAISED 1/32" OFF THE BACKGROUND. THE HEIGHT OF TACTILE CHARACTERS SHALL BE BETWEEN 5/8" AND 2". CHARACTER WIDTH SHALL BE 55% MINIMUM AND 110% MAXIMUM OF THE HEIGHT OF THE CHARACTER. CHARACTER STROKE WIDTH SHALL BE A MINIMUM OF 10% OF THE CHARACTER HEIGHT, AND A MAXIMUM OF 15% CHARACTER HEIGHT. TACTILE SHALL BE ACCOMPANIED BY GRADE 2 BRAILLE.
- E. GRADE 2 BRAILLE SHALL HAVE DOMED OR ROUNDED DOTS RAISED 1/40" OFF THE BACKGROUND, WITH DOTS SPACED 1/10" WITH-IN CELLS, AND 1/4" BETWEEN CELLS, (OR SPACED PER ANSI TABLE 703.5)
- F. TACTILE SIGNS SHALL BE MOUNTED 48" MINIMUM, AND 60" MAXIMUM ABOVE THE FLOOR TO THE CENTERLINE OF THE SIGN. AN 18" X 18" CLEAR SPACE IS REQUIRED IN FRONT OF THE TACTILE SIGN, BEYOND THE CORNER OF ANY DOOR SWING. WHERE SIGNS ARE MOUNTED AT DOORS, THE SIGN SHALL BE ON THE LATCH SIDE OF THE DOOR. WHERE SIGNS ARE MOUNTED AT DOUBLE DOORS, OR WHERE THERE IS NO WALL SPACE, THE SIGN SHALL BE MOUNTED ON THE NEAREST ADJACENT WALL, PREFERABLY THE RIGHT SIDE.
- G. CHARACTERS AND SYMBOLS SHALL CONTRAST WITH THEIR BACKGROUND. CHARACTERS, SYMBOLS AND BACKGROUNDS SHALL HAVE A NON-GLARE FINISH.

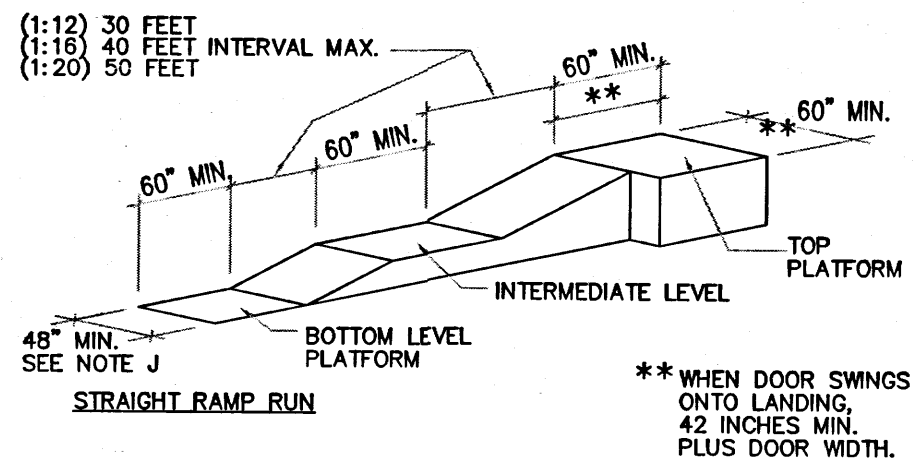


⑤ RAMPS

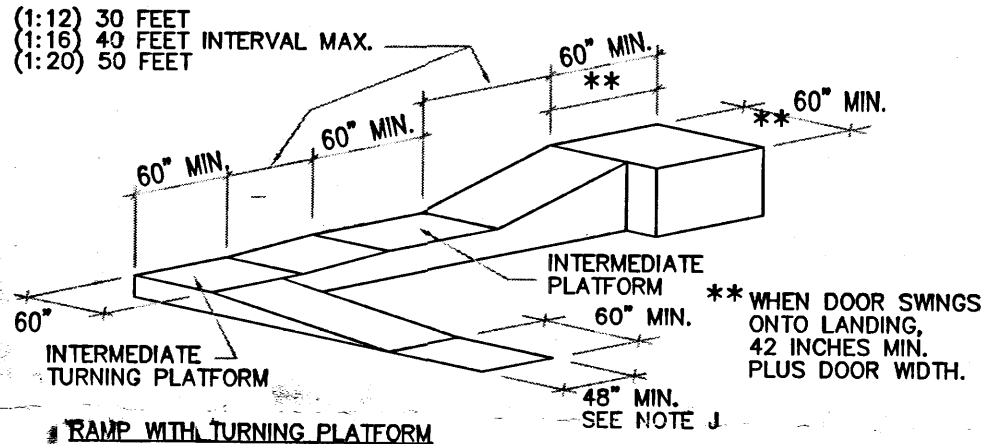
- A. ANY PATH OF TRAVEL SHALL BE CONSIDERED A RAMP IF ITS SLOPE IS GREATER THAN 1:20 (1:12 MAXIMUM)
- B. 1:12 SLOPED RAMPS WITH LENGTH GREATER THAN 72" SHALL HAVE HANDRAILS ON BOTH SIDES.
- C. THE TOP LANDINGS ON A RAMP MUST BE AT LEAST 60 INCHES IN DEPTH.
- D. IF A DOOR SWINGS ONTO A TOP LANDING, THE MIN. LANDING DIMENSION SHALL BE NOT LESS THAN 42 INCHES CLEAR PLUS THE WIDTH OF THE DOOR.
- E. THE TOP LANDING SHALL HAVE A WIDTH NOT LESS THAN ITS DEPTH.
- F. THE TOP LANDING SHALL EXTEND NOT LESS THAN 24-INCHES BEYOND THE STRIKE SIDE OF THE DOOR AT EXTERIOR RAMPS AND 18-INCHES AT INTERIOR RAMPS.
- G. THE BOTTOM LANDING SHALL BE NOT LESS THAN 60 INCHES DEEP
- H. INTERMEDIATE LANDINGS SHALL BE PROVIDED AT TURNS AND WHENEVER THE CHANGE IN LEVEL EXCEEDS 30 INCHES.
- INTERMEDIATE LANDINGS ON RAMPS SHALL HAVE A DEPTH OF NOT LESS THAN 60 INCHES. IF A CHANGE IN RAMP DIRECTION OCCURS, A MINIMUM 60" BY 60" LANDING SHALL BE PROVIDED.
- J. RAMPS SHALL BE NOT LESS THAN 4'-0" WIDE. RAMPS SERVING A PRIMARY ENTRANCE FOR AN OCCUPANT LOAD OF 300 OR MORE PEOPLE SHALL BE NOT LESS THAN 5'-0" WIDE.
- K. HANDRAILS SHALL BE PLACED ON EACH SIDE OF EACH RAMP AND SHALL CONTINUE THE FULL LENGTH OF THE RAMP. HANDRAILS SHALL BE 34 TO 38 INCHES ABOVE THE RAMP SURFACE AND EXTEND A MINIMUM OF 1 FOOT BEYOND THE TOP AND BOTTOM OF THE RAMP.
- L. SURFACES OF RAMPS SHALL BE SLIP-RESISTANT.
- M. RAMPS' LANDINGS WITH DROP OFF SHALL HAVE CURBS, WALLS, RAILING OR PROJECTING SURFACES TO STOP PEOPLE FROM SLIPPING OFF THE RAMP. CURB SHALL BE A MIN. 2" IN HEIGHT
-
- The diagram shows a cross-section of a ramp landing. The ramp surface is sloped and labeled 'RAMP'. The landing is a flat rectangular area labeled 'LANDING AT RAMP'. The width of the landing is labeled '60" MIN.' and '3" MAX.'. The depth of the landing is labeled '42" MIN.' and '18"'. A door is shown swinging into the landing from the left. The door is labeled 'D'. The landing is labeled 'LANDING AT RAMP'.



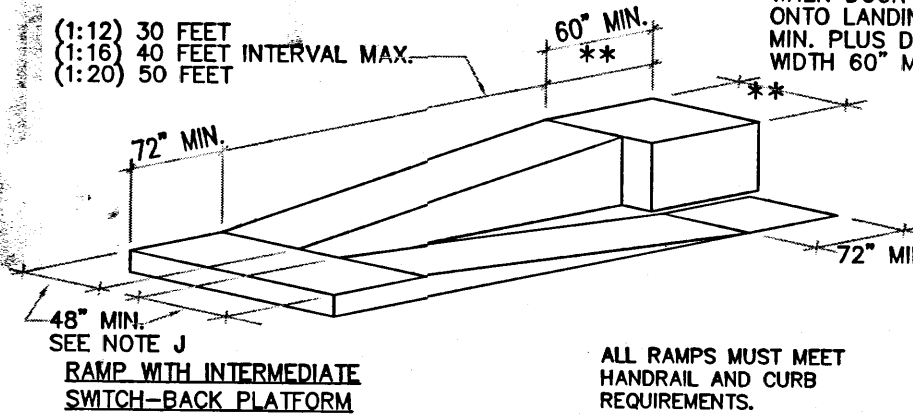
MAXIMUM ELEVATION CHANGE BETWEEN LANDINGS IS 30"



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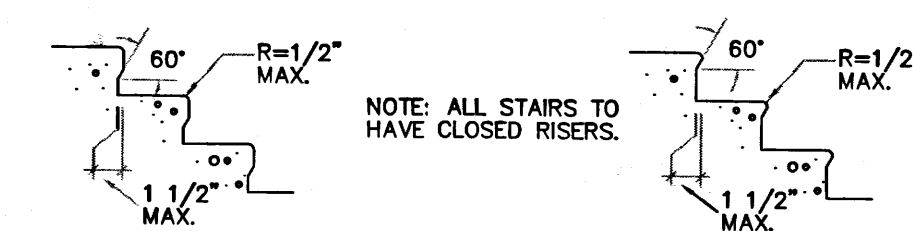


MAXIMUM ELEVATION CHANGE BETWEEN LANDINGS IS 30° ** WHEN DOOR SWING

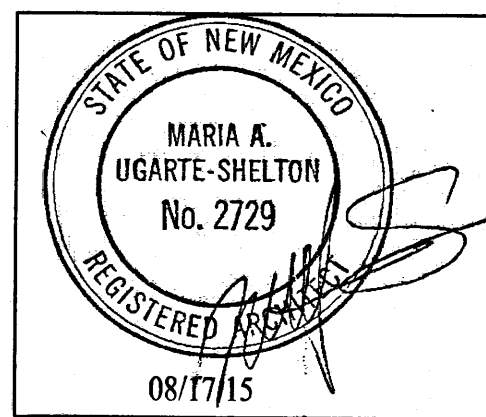
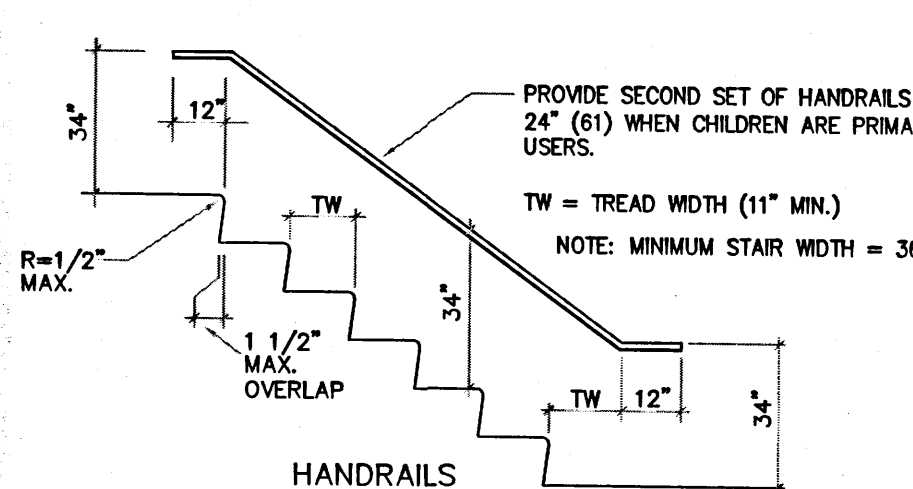


⑥ STAIRS

- A. STAIRWAYS SHALL HAVE HANDRAILS ON EACH SIDE. HANDRAILS MUST BE 1 1/4" HIGHS TO 2" HIGHS IN EITHER CROSS SECTIONAL DIMENSION AND 1 1/2" HIGHS CLEAR FROM THE WALL EDGES SHALL HAVE A MINIMUM GAUGE OF 1/8" HIGHS. HANDRAILS SHALL NOT ROTATE IN THEIR FITTINGS.
- B. EXTERIOR STAIRS: CAST IRON (NON-SKID) STAIR NOSINGS MIN. 2" WIDE CONTRASTING COLOR STRIPE AT UPPER APPROACH AND AT EVERY TREAD.
- C. INTERIOR STAIRS: MINIMUM 2" HIGHS WIDE CONTRASTING COLOR STRIPE AT UPPER APPROACH AND LOWER TREAD OF EACH FLIGHT OF STAIRS TO BE LOCATED 1" TREAD FROM NOSING. STRIPE TO BE AS SLIP-RESISTANT AS STAIR TREADS.

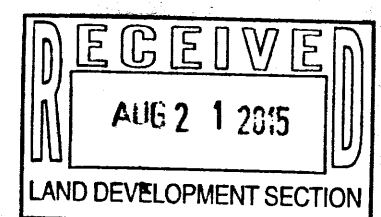


STAIRS



T-Mobile Store #288

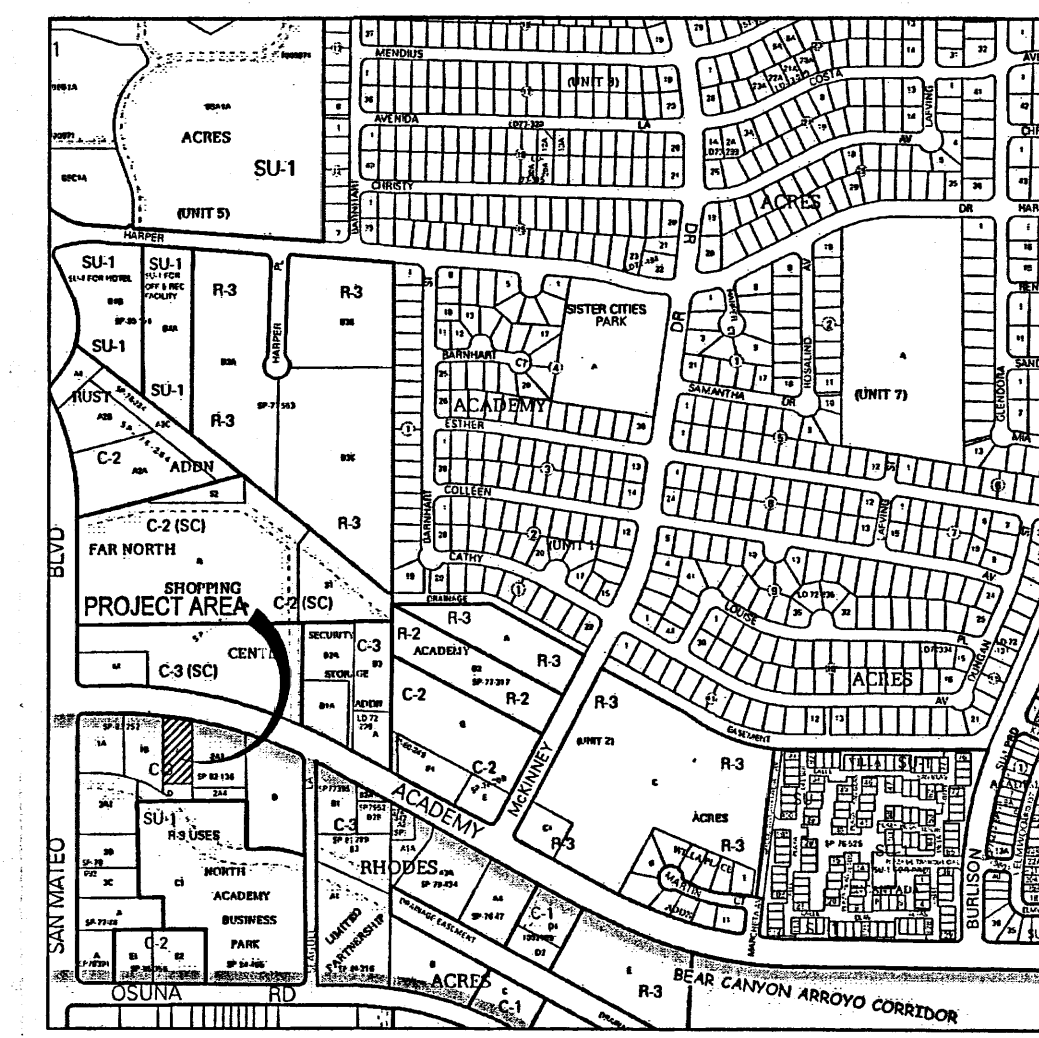
5350 Academy Road NE
Albuquerque, New Mexico 87109



Project Number	1513
Drawn By	CC
Checked	MS
Issue Date	Aug 17, 2015

TYPICAL SITE ACCESSIBILITY STANDARDS & DETAILS

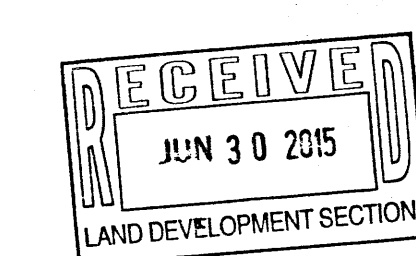
Scale: AS SHOWN



VICINITY MAP

SITE DATA:

LEGAL DESCRIPTION: TRACT "A", NORTH ACADEMY BUSINESS PARK
UPC: 10180620480TT30121
ADDRESS: 5350 ACADEMY RD NE
PROPERTY AREA: 0.6931 ACRES
CURRENT ZONING: C-3
BUILDING AREA:
PROPOSED T-MOBILE RETAIL BUILDING = 2,490 SF



KEYED NOTES:

1. PROPOSED REFUSE ENCLOSURE, SEE SITE DETAIL SHEET.
2. PROPOSED LANDSCAPE AREA, SEE LANDSCAPE PLAN.
3. PROPOSED 6" HIGH CONCRETE CURB.
4. PROPOSED ACCESSIBLE CURB RAMP, SEE SITE DETAIL SHEET.
5. PROPOSED ACCESSIBLE PARKING SYMBOL PAVEMENT MARKING.
6. PROPOSED ACCESSIBLE PARKING SIGN - POST MOUNTED.
7. PROPOSED VAN ACCESSIBLE PARKING SIGN TO INCLUDE VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING - WALL MOUNTED.
8. PROPOSED CONCRETE SIDEWALK.
9. PROPOSED 4" WIDE PAVEMENT STRIPING.
10. PROPOSED ASPHALT PAVEMENT.
11. PROPOSED MOTORCYCLE PARKING SIGN.
12. PROPOSED "NO PARKING" PAVEMENT MARKING IN CAPITAL LETTERS, EACH OF WHICH SHALL BE 12" HIGH AND 2" WIDE MINIMUM.
13. PROPOSED 6" WIDE CONCRETE PEDESTRIAN CONNECTION.
14. NOT USED.
15. PROPOSED 2-BIKE CAPACITY HOOP RACK BY DERCO OR APPROVED EQUAL.
16. EXISTING TRAFFIC SIGNAL ARM & ASSOCIATED EQUIPMENT TO REMAIN.
17. EXISTING WATER & IRRIGATION METERS TO REMAIN.
18. EXISTING SIDEWALK TO REMAIN.
19. EXISTING PATIO WALL ON ADJACENT PROPERTY.
20. EXISTING FULL ACCESS INTERSECTION TO REMAIN.
21. EXISTING ACCESSIBLE CURB RAMP TO REMAIN.
22. EXISTING FIRE HYDRANT TO REMAIN.
23. EXISTING FREE-STANDING SIGN TO RECEIVE NEW SIGN FACE UNDER A SEPARATE BUILDING PERMIT.
24. EXISTING 90' PRIVATE COMMON ACCESS EASEMENT; BOOK C19, FOLIO 42, BOOK C19, FOLIO 151, BOOK C20, FOLIO 168 & BOOK C23, FOLIO 65.
25. EXISTING 10' WATERLINE EASEMENT; BOOK C19, FOLIO 151, BOOK C20, FOLIO 168 & BOOK C23, FOLIO 65.
26. EXISTING 10' PUBLIC UTILITY EASEMENT; BOOK MISC. 255A, PAGE 794.
27. EXISTING FRONT YARD BUILDING SETBACK LINE; BOOK C19, FOLIO 151.

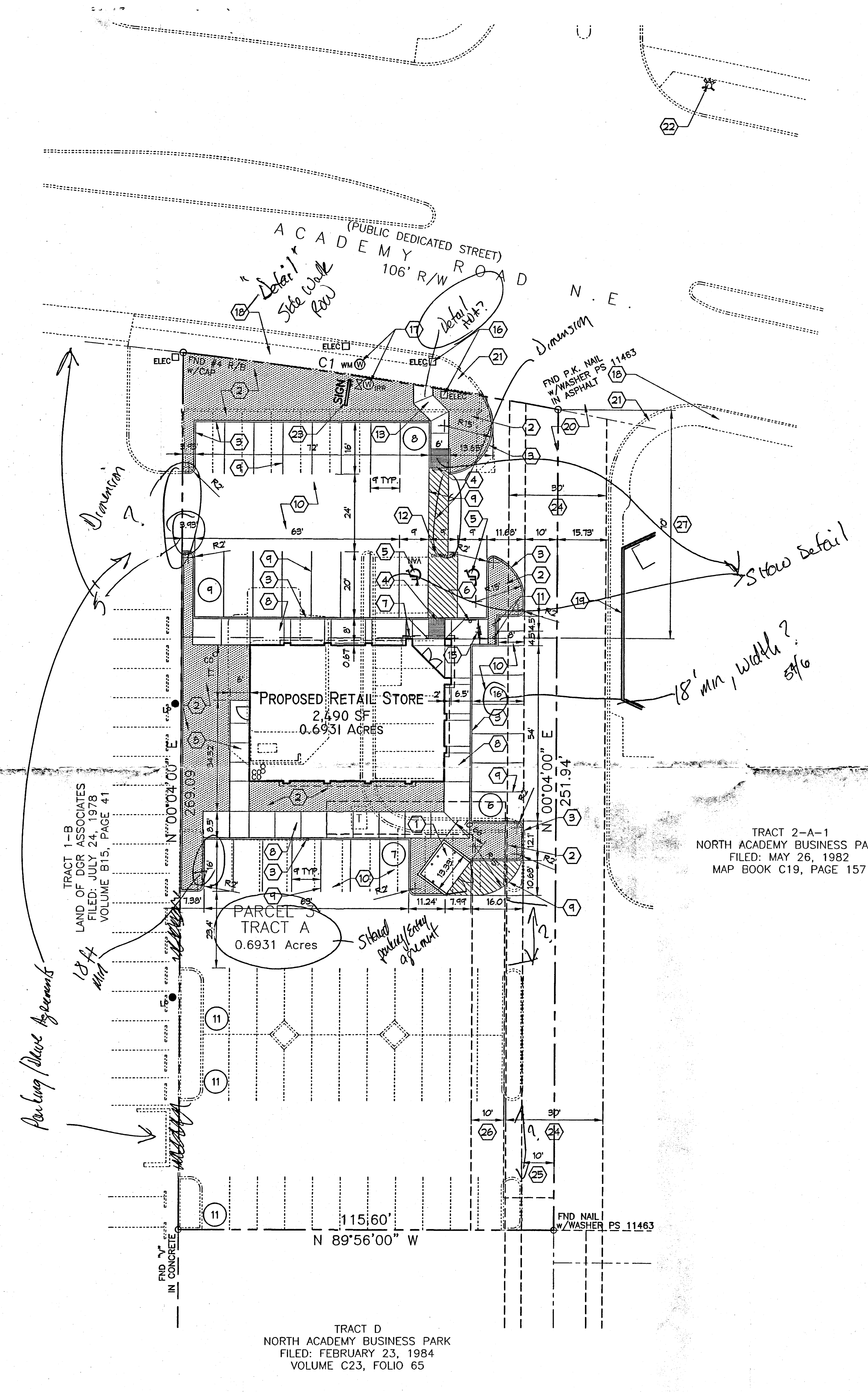
LEGEND:

- PROPOSED SIDEWALK JOINTS
- PROPOSED ON-SITE LANDSCAPE AREA, SEE LS-101
- PROPOSED CURB RAMP
- EXISTING CONCRETE CURB/PAVING
- PROPOSED CONCRETE CURB/PAVING
- PROPOSED PROPERTY LINE
- EXISTING PROPERTY LINE
- EXISTING FRONT YARD SETBACK LINE
- EXISTING EASEMENT LINE

BUILDING & PARKING DATA

BUILDING AREA:		# SEATS	AREA (SQUARE FEET)	
T-MOBILE RETAIL STORE		N/A	2,490 SF	
TOTAL AREA		N/A	2,490 SF	
PARKING REQUIREMENTS:		RATIO	REQUIRED	PROVIDED
T-MOBILE RETAIL STORE		1/200 SF	13 SPACES	*61 SPACES
STD ACCESSIBLE PARKING REQUIRED FOR 13 SPACES		—	1 SPACE	1 SPACE
VAN ACCESSIBLE PARKING REQUIRED FOR 13 SPACES		—	1 SPACE	1 SPACE
TOTAL			13 SPACES	*63 SPACES

* 58 EXISTING STANDARD SPACES TO REMAIN
+ 20 NEW STANDARD SPACES PROVIDED
+ 2 NEW ACCESSIBLE SPACES PROVIDED
= 80 PARKING SPACES PROVIDED
ADDITIONAL PARKING REQUIREMENTS:
1 MOTORCYCLE SPACE REQUIRED AND 2 PROVIDED
2 BICYCLE SPACES REQUIRED AND 2 PROVIDED



CURVE DATA

NUMBER	DELTA ANGLE	CHORD DIRECTION	RADIUS	ARC LENGTH	CHORD LENGTH
C1	03°48'43"	N 81°29'33" W	1757.05	116.90	116.87

1 ARCHITECTURAL SITE PLAN / TCL

SCALE: 1" = 20'

T-Mobile Store #288
5350 Academy Road NE
Albuquerque, New Mexico 87109

Project Number 1513
Drawn By CC
Checked DS
Issue Date May 12, 2015

ARCHITECTURAL
SITE PLAN / TCL

Scale: AS SHOWN

AS101