# CITY OF ALBUQUER



#### Planning Department Transportation Development Services

August 26, 2015

Debra West **DSA Architects** 4700 Lincoln NE., Suite 111 Albuquerque, NM 87109

Re:

T-Mobile Store # 288 5350 Academy Rd., NW **Traffic Circulation Layout** 

Engineer's/Architect's Stamp dated 8-17-15 (E18-D030A)

Dear Ms. West.

The TCL submittal received 8-21-15 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

Albuquerque

When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to New Mexico 87103 front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

www.cabq.gov

Sincerely.

Racquel M. Michel, P.E.

Traffic Engineer, Planning Dept. **Development Review Services** 

\gs

via: email

C:

CO Clerk, File



## City of Albuquerque

#### Planning Department

### Development & Building Services Division DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: New T-Mobile Store #288	Building Permit #:	City Drainage #: <u>E181\03</u> 0
DRB#: EPC#:		Work Order#:
Legal Description: Tract A. North Academy Busin	ness Park	
City Address: 5350 Academy Road NW		
Engineering Firm: Wooten Engineering		C I CCM
Address: 1368 Revnosa Loop SE, Rio Rancho.	NIM 97124	Contact: Jeff Wooten
Phone#: 505-980-3560 Fax#: N/A	Δ	E mails infficuentam and a mile
-		E-mail: ieffwooten.pe@gmail.com
Owner:		Contact:
Audress.		
Phone#: Fax#:		E-mail:
Architect: DSA Architects		Contact: Debra West
Address: 4700 Lincoln NE, Suite 111, ABO, N	M, 87109	Odnadi. Dobia Wost
		E-mail: debraw@dsaabq.com
Surveyor: Harris Surveying		
Address: 2412 Monroe NE. Suite D. 87110		Contact: 10ny Harris
Phone#: 505-889-8056 Fax#:		F -: 1 to
Contractor: Insight Construction		Contact: Damian Chimenti
Address: PO Box 6653, ABO, 87197		
Phone#: 505-888-7927 Fax#:		E-mail: damian@insightnm.com
TYPE OF SUBMITTAL:	CHECK TYPE OF APPROVA	L/ACCEPTANCE SOUGHT
DRAINAGE REPORT	SIA/FINANCIAL GUARANT PRELIMINARY PLAT APPR	ERECEASE CONCESSION
DRAINAGE PLAN 1st SUBMITTAL	PRELIMINARY PLAT APPR	WE GEIVEN
DRAINAGE PLAN RESUBMITTAL	S. DEV. PLAN FOR SUB'D A S. DEV. FOR BLDG. PERMI	PPROVALIC
CONCEPTUAL G & D PLAN		
GRADING PLAN	SECTOR PLAN APPROVAL	
EROSION & SEDIMENT CONTROL PLAN (ESC)	FINAL PLAT APPROVAL	LAND DEVELOPMENT SECTION
ENGINEER'S CERT (HYDROLOGY) CLOMR/LOMR	CERTIFICATE OF OCCUPA	NCY (PERM)
X TRAFFIC CIRCULATION LAYOUT (TCL)	CERTIFICATE OF OCCUPATION PERMITTED A PROPERTY AND A PROPERTY OF A PARTY OF THE PROPERTY OF TH	
ENGINEER'S CERT (TCL)	FOUNDATION PERMIT APP X BUILDING PERMIT APPRO	
ENGINEER'S CERT (DRB SITE PLAN)	GRADING PERMIT APPROV	
ENGINEER'S CERT (ESC)	PAVING PERMIT APPROVA	
SO-19	WORK ORDER APPROVAL	
OTHER (SPECIFY)	GRADING CERTIFICATION	
WAS A PRE-DESIGN CONFERENCE ATTENDED:	<del>-</del>	
DATE SUBMITTED: May 20, 2015	Yes X No Cop	by Provided
IVIAY ZU, ZUIJ	By: Craig Calvert	

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following

- Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
- Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres
- Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
- Erosion and Sediment Control Plan: Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

VICINITY MAP

LEGAL DESCRIPTION: TRACT "A", NORTH ACADEMY BUSINESS PARK

UPC: 101806204807730121

ADDRESS: 5350 ACADEMY RD NE

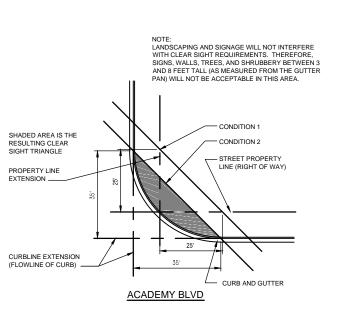
PROPERTY AREA: 0.6931 ACRES

CURRENT ZONING: C-3

**BUILDING AREA:** PROPOSED T-MOBILE RETAIL BUILDING = 2,490 SF

## **KEYED NOTES:**

- 1. PROPOSED REFUSE ENCLOSURE, SEE 1/AS-102.
- 2. PROPOSED LANDSCAPE AREA, SEE LANDSCAPE PLAN LS-101.
- 3. PROPOSED 6" HIGH CONCRETE CURB.
- 4. PROPOSED ACCESSIBLE CURB RAMP, SEE AS-102.
- 5. PROPOSED ACCESSIBLE PARKING SYMBOL PAVEMENT MARKING.
- 6. PROPOSED ACCESSIBLE PARKING SIGN POST MOUNTED, SEE
- 7. PROPOSED VAN ACCESSIBLE PARKING SIGN TO INCLUDE "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING" - WALL MOUNTED SEE AS-102.
- 8. PROPOSED CONCRETE SIDEWALK.
- 9. PROPOSED 4" WIDE PAVEMENT STRIPING.
- 10. PROPOSED ASPHALT PAVEMENT.
- 11. PROPOSED MOTORCYCLE PARKING SIGN.
- 12. PROPOSED "NO PARKING" PAVEMENT MARKING IN CAPITAL LETTERS, EACH OF WHICH SHALL BE 12" HIGH AND 2" WIDE MINIMUM.
- 13. PROPOSED 6' WIDE CONCRETE PEDESTRIAN CONNECTION.
- 14. 6' WIDE INCREASING TO 9' WIDE ADA ACCESSIBLE PEDESTRIAN PATHWAY FROM PUBLIC SIDEWALK.
- 15. PROPOSED 2-BIKE CAPACITY HOOP RACK BY DERCO OR APPROVED EQUAL.
- 16. EXISTING TRAFFIC SIGNAL ARM & ASSOCIATED EQUIPMENT TO REMAIN.
- 17. EXISTING WATER & IRRIGATION METERS TO REMAIN.
- 18. EXISTING SIDEWALK TO REMAIN.
- 19. EXISTING PATIO WALL ON ADJACENT PROPERTY.
- 20. EXISTING FULL ACCESS INTERSECTION TO REMAIN.
- 21. EXISTING ACCESSIBLE CURB RAMP TO REMAIN.
- 22. EXISTING FIRE HYDRANT TO REMAIN.
- 23. EXISTING FREE-STANDING SIGN TO RECEIVE NEW SIGN FACE UNDER A SEPARATE BUILDING PERMIT.
- 24. EXISTING 30' PRIVATE COMMON ACCESS EASEMENT; BOOK C19, FOLIO 42, BOOK C19, FOLIO 157, BOOK C20, FOLIO 168 & BOOK C23,
- 25. EXISTING 10' WATERLINE EASEMENT; BOOK C19, FOLIO 157, BOOK C20, FOLIO 168 & BOOK C23, FOLIO 65.
- 26. EXISTING 10' PUBLIC UTILITY EASEMENT; BOOK MISC. 255A, PAGE
- 27. EXISTING FRONT YARD BUILDING SETBACK LINE; BOOK C19, FOLIO
- 28. BUILDING ENTRANCE/EXIT DOOR.
- 29. PROVIDE LINE SIGHT DISTANCE, SEE DETAIL 2/AS-101. 30. EXTERIOR LOT LIGHTING ON BUILDING, SEE E-1.1.
- 31. EXISTING LIGHT POLE TO REMAIN.
- 32. EXISTING CURB AND LANDSCAPING TO REMAIN.
- 33. 6" DIA x 36" AFF BOLLARD AT 5'-0" ± OC, BURY 18" IN 12" DIA



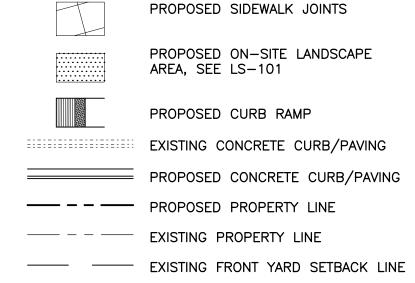
# SIGHT DISTANCE EXHIBIT

EXISTING S

NORTH ACADEMY

FILED: MAY 26,

MAP BOOK C19, PAGE



———— EXISTING EASEMENT LINE

BUILDING & PARKING DATA				
BUILDING AREA:	# SEATS	AREA (SQUARE FEET)		
T-MOBILE RETAIL STORE	N/A	2,-	490 SF	
TOTAL AREA	N/A	2,495 SF		
PARKING REQUIREMENTS:	RATIO	REQUIRED	PROVIDED	
T-MOBILE RETAIL STORE	1/200 SF	13 SPACES	*53 SPACES	
STD ACCESSIBLE PARKING REQUIRED FOR 13 SPACES		1 SPACE	1 SPACE	
VAN ACCESSIBLE PARKING REQUIRED FOR 13 SPACES		1 SPACE	1 SPACE	
COMPACT PARKING ALLOWED FOR 61 SPACES = 15			6 SPACES	
TOTAL		13 SPACES	*61 SPACES	
00 EVICTING OTANDADD ODAGEG TO DEMAIN				

\* 33 EXISTING STANDARD SPACES TO REMAIN + 26 NEW STANDARD AND COMPACT SPACES PROVIDED + 2 NEW ACCESSIBLE SPACES PROVIDED = 61 PARKING SPACES PROVIDED

ADDITIONAL PARKING REQUIREMENTS:

1 MOTORCYCLE SPACE REQUIRED AND 2 PROVIDED
2 BICYCLE SPACES REQUIRED AND 2 PROVIDED

ARCHITECTURAL SITE PLAN / TCL

PROPOSED RETAIL STORE

0.6931 ACRES

Service Vehicle Route

EXISTING PARKING TO REMAIN

EXISTING PARKING TO REMAIN

EXISTING PARKING TO REMAIN

N 89°56'00" W

TRACT D

NORTH ACADEMY BUSINESS PARK

FILED: FEBRUARY 23, 1984

CURVE DATA

03°48'43" N 81°29'33" W 1757.05 116.90

NUMBER DELTA ANGLE CHORD DIRECTION RADIUS ARC LENGTH CHORD LENGTH

VOLUME C23, FOLIO 65

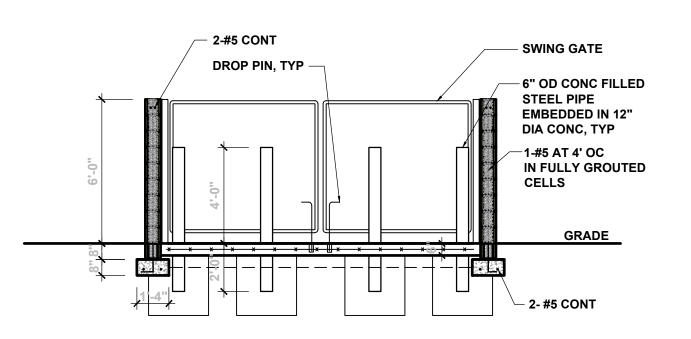
-(32) FND NAIL I

WASHER PS 11463

\$ervice Vehicle

Checked Aug 17, 2015 Issue Date ARCHITECTURAL SITE PLAN / TCL

Scale: AS SHOWN



SINGLE DUMPSTER ENCLOSURE SCALE: 1/4" = 1'-0"

A-A ELEVATION

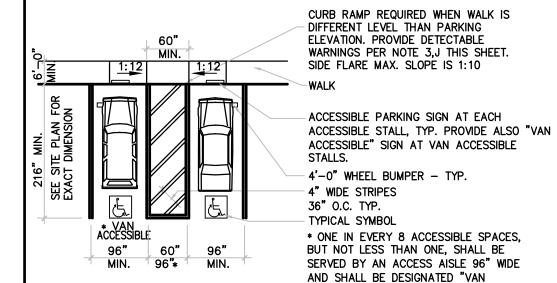
(1) PARKING A. THE FOLLOWING TABLE ESTABLISHES THE NUMBER OF

ACCESSIBLE PARKING SPACES REQUIRED:

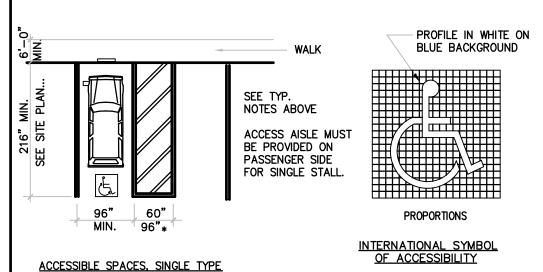
NUMBER OF ACCESSIBLE TOTAL NUMBER OF PARKING SPACES PARKING SPACES REQUIRED 1- 25 51- 75 76- 100 101- 150 151- 200 201 - 300301- 400 401- 500 501- 1000 \_ + 1000 \_\_\_\_\_ 20 + 1 FOR EACH 100 OVER 1000

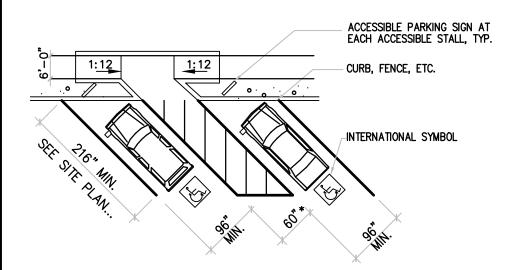
- B. SURFACE SLOPES OF PARKING SPACES FOR PERSONS WITH PHYSICAL DISABILITIES SHALL BE THE MINIMUM POSSIBLE AND SHALL NOT EXCEED 1/4 INCH PER FOOT (2 % GRADIENT) IN ANY DIRECTION.
- C. EACH PARKING SPACE RESERVED FOR PERSONS WITH PHYSICAL DISABILITIES SHALL BE IDENTIFIED BY A PERMANENTLY AFFIXED REFLECTORIZED SIGN CONSTRUCTED OF PORCELAIN ON STEEL, OF BEADED TEXT, OR EQUAL, DISPLAYING THE INTERNATIONAL SYMBOL ACCESSIBILITY. THE SIGN SHALL BE CENTERED AT THE INTERIOR END OF THE PARKING SPACE AT A MINIMUM HEIGHT OF 60 INCHES FROM THE BOTTOM OF THE SIGN TO THE PARKING SPACE FINISHED GRADE.

IN ADDITION TO THE ABOVE REQUIREMENTS, THE SURFACE OF EACH PARKING SPACE SHALL HAVE A SURFACE IDENTIFICATION, 3 FEET SQUARE, DUPLICATING THE SYMBOL OF ACCESSIBILITY IN BLUE PAINT. LOCATED SO THAT THE SYMBOL CAN BE SEEN WHILE A VEHICLE IS PARKED IN THE SAME SPACE.



ACCESSIBLE SPACES, DOUBLE TYPE

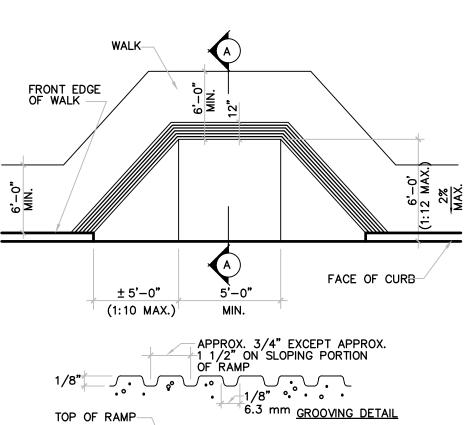




## ACCESSIBLE SPACES, DOUBLE DIAGONAL TYPE

## (2) <u>CURB\_RAMPS</u>

- A. CURB RAMPS SHALL BE CONSTRUCTED AT EACH CORNER OF STREET INTERSECTIONS AND WHERE A PEDESTRIAN WAY CROSSES A CURB. THE PREFERRED AND RECOMMENDED LOCATION FOR CURB RAMPS IS IN THE CENTER OF THE CROSSWALK OF EACH STREET CORNER. WHERE IT IS NECESSARY TO LOCATE A CURB RAMP IN THE CENTER OF THE CURB RETURN AND THE STREET SURFACES ARE MARKED TO IDENTIFY PEDESTRIAN CROSSWALKS, THE LOWER END OF THE CURB RAMPS SHALL TERMINATE WITHIN SUCH CROSSWALKS.
- B. CURB RAMPS SHALL BE A MINIMUM OF 3 FEET IN WIDTH AND SHALL LIE, GENERALLY, IN A SINGLE SLOPED PLANE WITH A MINIMUM OF SURFACE WARPING AND CROSS SLOPE.
- C. BUILT-UP CURB RAMPS SHALL BE LOCATED SO THAT THEY DO NOT PROJECT INTO VEHICULAR TRAFFIC LANES.
- D. CURB RAMPS AT MARKED CROSSINGS SHALL BE WHOLLY CONTAINED WITHIN HE MARKINGS EXCLUDING ANY FLARED SIDES.
- E. THE SLOPE OF CURB RAMPS SHALL NOT EXCEED 1 VERTICAL TO 12 HORIZONTAL. THE SLOPE OF THE FANNED OR FLARED SIDES OF CURB RAMPS SHALL NOT EXCEED 1 VERTICAL TO 10 HORIZONTAL.
- F. A LEVEL LANDING 4 FEET DEEP SHALL BE PROVIDED AT THE UPPER END OF EACH CURB RAMP OVER ITS FULL WIDTH TO PERMIT SAFE EGRESS FROM THE RAMP SURFACE. OR THE SLOPE OF THE FANNED OR FLARED SIDES OF THE CURB RAMP SHALL NOT EXCEED 1 VERTICAL TO 12 HORIZONTAL.
- G. THE LOWER END OF EACH CURB RAMP SHALL BE FLUSH WITH ADJACENT
- H. THE SURFACE OF EACH CURB RAMP AND ITS FLARED SIDES SHALL BE STABLE, FIRM AND SLIP RESISTANT AND SHALL BE OF A CONTRASTING FINISH FROM THAT OF THE ADJACENT SIDEWALK.
- CURB RAMPS SHALL BE LOCATED OR PROTECTED TO PREVENT THEIR OBSTRUCTION BY PARKED CARS.
- J. IF DIAGONAL CURB RAMPS HAVE RETURNED CURBS OR OTHER WELL-DEFINED EDGES, SUCH EDGES SHALL BE PARALLEL TO THE DIRECTION OF PEDESTRIAN FLOW.. THE BOTTOM OF DIAGONAL CURB RAMPS SHALL HAVE 48 INCHES MINIMUM CLEAR SPACE. IF DIAGONAL CURB RAMPS ARE PROVIDED AT MARKED CROSSINGS, THE 48 INCH CLEAR SPACE SHALL BE WITHIN THE MARKINGS, IF DIAGONAL CURB RAMPS HAVE FLARED SIDES, THEY SHALL ALSO HAVE AT LEAST A 24 INCH LONG SEGMENT OF STRAIGHT CURB LOCATED ON EACH SIDE OF THE CURB RAMP AND WITHIN THE MARKED CROSSING.



ROUNDED-48" MIN. 2% MAX.

(3) WALKS AND SIDEWALKS

WALKS AND SIDEWALKS SHALL HAVE A CONTINUOUS COMMON SURFACE NOT INTERRUPTED BY STEPS OR BY ABRUPT CHANGES IN LEVEL EXCEEDING 1/4 INCH, AND SHALL BE A MINIMUM OF 4 FEET IN WIDTH.

SECTION A-A

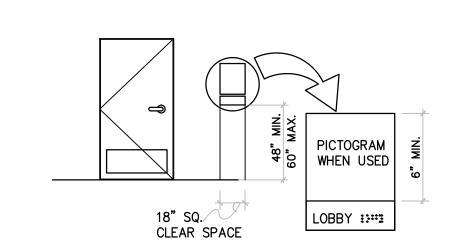
- SURFACES WITH A SLOPE OF LESS THAN 6 PERCENT GRADIENT SHALL BE AT LEAST AS SLIP RESISTANT AS THAT DESCRIBED AS
- C. SURFACES WITH A SLOPE OF 6 PERCENT GRADIENT OR GREATER SHALL BE SLIP-RESISTANT.

TRAVEL, AND A MAXIMUM OF 1/2" IN SIZE.

- D. SURFACE CROSS SLOPES SHALL NOT EXCEED 1/4 INCH PER FOOT. WALKS, SIDEWALKS AND PEDESTRIAN WAYS SHALL BE FREE OF GRATING WHENEVER POSSIBLE. FOR GRATINGS LOCATED IN THE SURFACE OF ANY OF THESE AREAS, GRID OPENINGS IN GRATINGS SHALL BE PERPENDICULAR TO THE PROMINENT DIRECTION OF
- WHEN THE SLOPE IN THE DIRECTION OF TRAVEL OF ANY WALK EXCEEDS 1 VERTICAL TO 20 HORIZONTAL IT SHALL COMPLY WITH THE PROVISIONS FOR PEDESTRIAN RAMPS.
- ABRUPT CHANGES IN LEVEL ALONG ANY ACCESSIBLE ROUTE SHALL NOT EXCEED 1/2 INCH. WHEN CHANGES IN LEVEL DO OCCUR, THEY SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1:2 EXCEPT THAT LEVEL CHANGES NOT EXCEEDING 1/4 INCH MAY BE VERTICAL. WHEN CHANGES IN LEVEL GREATER THAN 1/2 INCH ARE NECESSARY COMPLY WITH THE REQUIREMENTS FOR CURB RAMPS.
- WALKS SHALL BE PROVIDED WITH A LEVEL AREA NOT LESS THAN 60 INCHES BY 60 INCHES AT A DOOR OR GATE THAT SWINGS TOWARD THE WALK. AND NOT LESS THAN 48 INCHES WIDE BY 44 INCHES DEEP THAT A DOOR OR GATE THAT SWINGS AWAY FROM THE WALK. SUCH WALKS SHALL EXTEND 24 INCHES TO THE SIDE OF THE STRIKE EDGE OF A DOOR OR GATE THAT SWINGS TOWARD
- ALL WALKS WITH CONTINUOUS GRADIENTS SHALL HAVE LEVEL AREAS OF AT LEAST 5 FEET IN LENGTH AT INTERVALS OF AT LEAST EVERY
- J. IF A WALK CROSSES OR ADJOINS A VEHICULAR WAY, AND THE WALKING SURFACES ARE NOT SEPARATED BY CURBS, RAILINGS OR OTHER ELEMENTS BETWEEN THE PEDESTRIAN AREAS AND VEHICULAR AREAS, THE BOUNDARY BETWEEN THE AREAS SHALL BE DEFINED BY A CONTINUOUS DETECTABLE WARNING WHICH IS 36 INCHES WIDE. SEE DETECTABLE WARNING TEXTURE DETAIL.

## (4) TACTILE SIGNAGE

- A. WHEN SIGNS IDENTIFY A PERMANENT ROOM OR SPACE OF A BUILDING OR SITE, OR WHEN SIGNS DIRECT OR GIVE INFORMATION ABOUT A PERMANENT ROOM OR SPACE OF A BUILDING OR SITE, CORRESPONDING TACTILE SIGNAGE SHALL BE INSTALLED.
- WHEN SIGNS IDENTIFY, OR GIVE INFORMATION ABOUT ACCESSIBLE ELEMENTS AND FEATURE OF A BUILDING OR SITE, THEY SHALL INCLUDE THE APPROPRIATE SYMBOL OF ACCESSIBILITY OR PICTOGRAM, WITH THE EQUIVALENT VISUAL AND TACTILE DESCRIPTION PLACED DIRECTLY BELOW THE PICTOGRAM. THE OUTSIDE BORDER OF THE PICTOGRAM SHALL BE MINIMUM 6"
- VISUAL CHARACTERS SHALL BE UPPERCASE, STANDARD SANS SERIF FONT. THE HEIGHT OF VISUAL CHARACTERS SHALL BE A MINIMUM 5/8" PLUS 1/8" PER FOOT OF VIEWING DISTANCE OVER SIX FEET. CHARACTER WIDTH SHALL BE 55% MINIMUM AND 110% MAXIMUM OF THE HEIGHT OF THE CHARACTER. CHARACTER STROKE WIDTH OF VISUAL ONLY CHARACTERS SHALL BE A MINIMUM OF 10% OF THE CHARACTER HEIGHT, AND A MAXIMUM OF 30%. TACTILE SIGNAGE DUPLICATING THE INFORMATION SHALL BE PROVIDED, EITHER AS PART OF THE VISUAL SIGN OR A SEPARATE TACTILE SIGN
- D. TACTILE CHARACTERS SHALL BE UPPERCASE, STANDARD SANS SERIF FONT, RAISED 1/32" OFF THE BACKGROUND. THE HEIGHT OF TACTILE CHARACTERS SHALL BE BETWEEN 5/8" AND 2". CHARACTER WIDTH SHALL BE 55% MINIMUM AND 110% MAXIMUM OF THE HEIGHT OF THE CHARACTER. CHARACTER STROKE WIDTH SHALL BE A MINIMUM OF 10% OF THE CHARACTER HEIGHT, AND A MAXIMUM OF 15%. CHARACTERS SHALL BE ACCOMPANIED BY GRADE 2 BRAILLE.
- E. GRADE 2 BRAILLE SHALL HAVE DOMED OR ROUNDED DOTS RAISED 1/40" OFF THE BACKGROUND, WITH DOTS SPACED 1/10" WITH-IN CELLS, AND 1/4" BETWEEN CELLS. (OR SPACED PER ANSI TABLE 703.5)
- F. TACTILE SIGNS SHALL BE MOUNTED 48" MINIMUM, AND 60" MAXIMUM ABOVE THE FLOOR TO THE CENTERLINE OF THE SIGN. AN 18" X 18" CLEAR SPACE IS REQUIRED IN FRONT OF THE TACTILE SIGN, BEYOND THE ARC OF ANY DOOR SWING. WHERE SIGNS ARE MOUNTED AT DOORS, THE SIGN SHALL BE ON THE LATCH SIDE OF THE DOOR. WHERE SIGNS ARE MOUNTED AT DOUBLE DOORS, OR WHERE THERE IS NO WALL SPACE, THE SIGN SHALL BE MOUNTED ON THE NEAREST ADJACENT WALL, PREFERABLY THE RIGHT SIDE.
- CHARACTERS AND SYMBOLS SHALL CONTRAST WITH THEIR BACKGROUND. CHARACTERS, SYMBOLS AND BACKGROUNDS SHALL HAVE A NON-GLARE

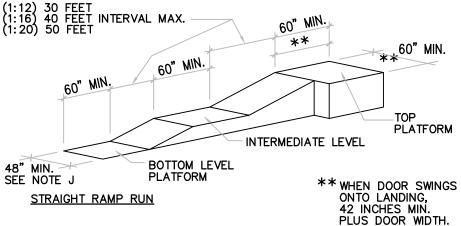


(5) RAMPS

- A. ANY PATH OF TRAVEL SHALL BE CONSIDERED A RAMP IF ITS
- SLOPE IS GREATER THAN 1:20 (1:12 MAXIMUM) B. 1:12 SLOPED RAMPS WITH LENGTH GREATER THAN 72" SHALL HAVE
- HANDRAILS ON BOTH SIDES. C. THE TOP LANDINGS ON A RAMP MUST BE AT LEAST 60
- D. IF A DOOR SWINGS ONTO A TOP LANDING, THE MIN. LANDING DIMENSION SHALL BE NOT LESS THAN 42 INCHES CLEAR PLUS THE WIDTH OF THE
- E. THE TOP LANDING SHALL HAVE A WIDTH NOT LESS THAN ITS DEPTH.
- THE TOP LANDING SHALL EXTEND NOT LESS THAN 24-INCHES
- BEYOND THE STRIKE SIDE OF THE DOOR AT EXTERIOR RAMPS AND 18-INCHES AT INTERIOR RAMPS.
- G. THE BOTTOM LANDING SHALL BE NOT LESS THAN 60 INCHES DEEP
- H. INTERMEDIATE LANDINGS SHALL BE PROVIDED AT TURNS AND WHENEVER THE CHANGE IN LEVEL EXCEEDS 30 INCHES.
- INTERMEDIATE LANDINGS ON RAMPS SHALL HAVE A DEPTH OF NOT LESS THAN 5'-0". WHERE A 60" MIN. CHANGE IN RAMP DIRECTION OCCURS, A MINIMUM 60" BY 60" LANDING SHALL BE PROVIDED. RAMPS SHALL BE NOT LESS THAN 4'-0" WIDE.
- RAMPS SERVING A PRIMARY ENTRANCE FOR AN OCCUPANT LOAD OF 300 OR MORE PEOPLE SHALL BE NOT LESS THAN 5'-0" WIDE. HANDRAILS SHALL BE PLACED ON EACH SIDE OF
- EACH RAMP AND SHALL BE CONTINUOUS THE FULL LENGTH OF THE RAMP, HANDRAILS SHALL BE 34 TO 38 INCHES ABOVE THE RAMP SURFACE AND EXTEND A MINIMUM OF 1 FOOT BEYOND THE LANDING AT RAMP TOP AND BOTTOM OF THE RAMP.
- L. SURFACES OF RAMPS SHALL BE SLIP-RESISTANT.
- M. RAMPS & LANDINGS WITH DROP OFFS SHALL HAVE CURBS, WALLS, RAILING OR PROJECTING SURFACES THAT PREVENT PEOPLE FROM SLIPPING OFF THE RAMP. CURB SHALL BE A MIN. 2" IN HEIGHT

18" INTERIOR

MAXIMUM ELEVATION CHANGE BETWEEN LANDINGS IS 30"

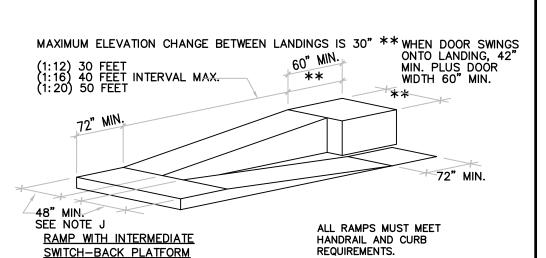


MAXIMUM ELEVATION CHANGE BETWEEN LANDINGS IS 30" 1:16) 40 FEET INTERVAL MAX. 1:20) 50 FEET PLATFORM \*\* WHEN DOOR SWINGS

60" MIN. ONTO LANDING,

42 INCHES MIN.

PLUS DOOR WIDTH. INTERMEDIATE TURNING PLATFORM



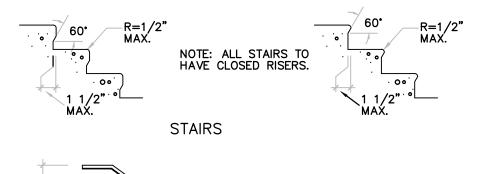
(6) <u>STAIRS</u>

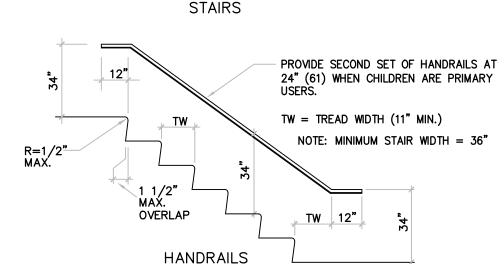
RAMP WITH TURNING PLATFORM

A. STAIRWAYS SHALL HAVE HANDRAILS ON EACH SIDE. HANDRAILS MUST BE 1 1/4 INCHES TO 2 INCHES IN EITHER CROSS SECTIONAL DIMENSION AND 1 1/2 INCHES CLEAR FROM THE WALL. EDGES SHALL HAVE A MINIMUM RADIUS OF 1/8 INCH. HANDRAILS SHALL NOT ROTATE IN THEIR FITTINGS.

RAMPS

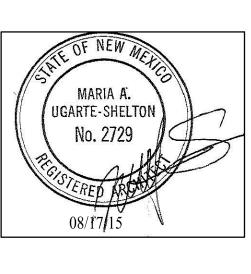
- B. EXTERIOR STAIRS: CAST IRON (NON-SKID) STAIR NOSINGS MIN. 2" WIDE CONTRASTING COLOR STRIPE AT UPPER APPROACH AND AT
- C. INTERIOR STAIRS: MINIMUM 2 INCH WIDE CONTRASTING COLOR STRIPE AT UPPER APPROACH AND LOWER TREAD OF EACH FLIGHT OF STAIRS TO BE LOCATED 1 INCH FROM NOSING. STRIPE TO BE AS SLIP-RESISTANT AS STAIR TREADS.





Darren Sowell ARCHITECTS

4700 Lincoln N.E., Suite 111 Albuquerque, N.M. 87109 Phone: (505) 342-6200 Fax: (505) 342-6201



NE o 8

0

**V** 

• op

Project Number Drawn By

Checked Aug 17, 2015 Issue Date TYPICAL SITE

ACCESSIBILITY STANDARDS & DETAILS

Scale: AS SHOWN