

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services**

September 9, 2015

Debra West
DSA Architects
4700 Lincoln NE., Suite 111
Albuquerque, NM 87109

Re: T-Mobile Store # 288 - Revision
5350 Academy Rd., NW
Traffic Circulation Layout
Engineer's/Architect's Stamp dated 9-9-15 (E18-D030A)

Dear Ms. West,

The TCL submittal received 9-10-15 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

\gs via: email
C: CO Clerk, File

Title: New T-Mobile Store #288 Building Permit #: City Drainage #:

EPC#: _____ Work Order#: _____

Description: Tract A, North Academy Business Park

Address: 5350 Academy Road NW

Design Firm: Wooten Engineering **Contact:** Jeff Wooten

1368 Reynosa Loop SE, Rio Rancho, NM 87124

505-980-3560 Fax#: N/A E-mail: jeffwooten.pe@gmail.com

Contact: _____

Fax#: _____ E-mail: _____

Project: DSA Architects Contact: Debra West

4700 Lincoln NE, Suite 111, ABO, NM, 87109

505-453-5813 Fax#: E-mail: debraw@dsaabq.com

r: Harris Surveying Contact: Tony Harris

2412 Monroe NE, Suite D, 87110

505-889-8056 Fax#: E-mail: tony@harrissurveying.com

tor: Insight Construction

PO Box 6653, ABQ, 87197

505-888-7927 Fax#: E-mail: damian@insightnm.com

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

SIA/FINANCIAL GUARANTEE RELEASE @ FIVE

PRELIMINARY PLAT APPROVAL RECEIVED

S. DEV. PLAN FOR SUB'D APPROVAL SEP 10 2015

S. DEV. FOR BLDG. PERMIT APPROVAL

SECTOR PLAN APPROVAL

FINAL PLAT APPROVAL

CERTIFICATE OF OCCUPANCY (PERM)

CERTIFICATE OF OCCUPANCY (TCL TEMP) /

FOUNDATION PERMIT APPROVAL

X BUILDING PERMIT APPROVAL

GRADING PERMIT APPROVAL _____ SO-19 APPROVAL _____

PAVING PERMIT APPROVAL ESC PERMIT APPROVAL

WORK ORDER APPROVAL _____ ESC CERT ACCEPTANCE _____

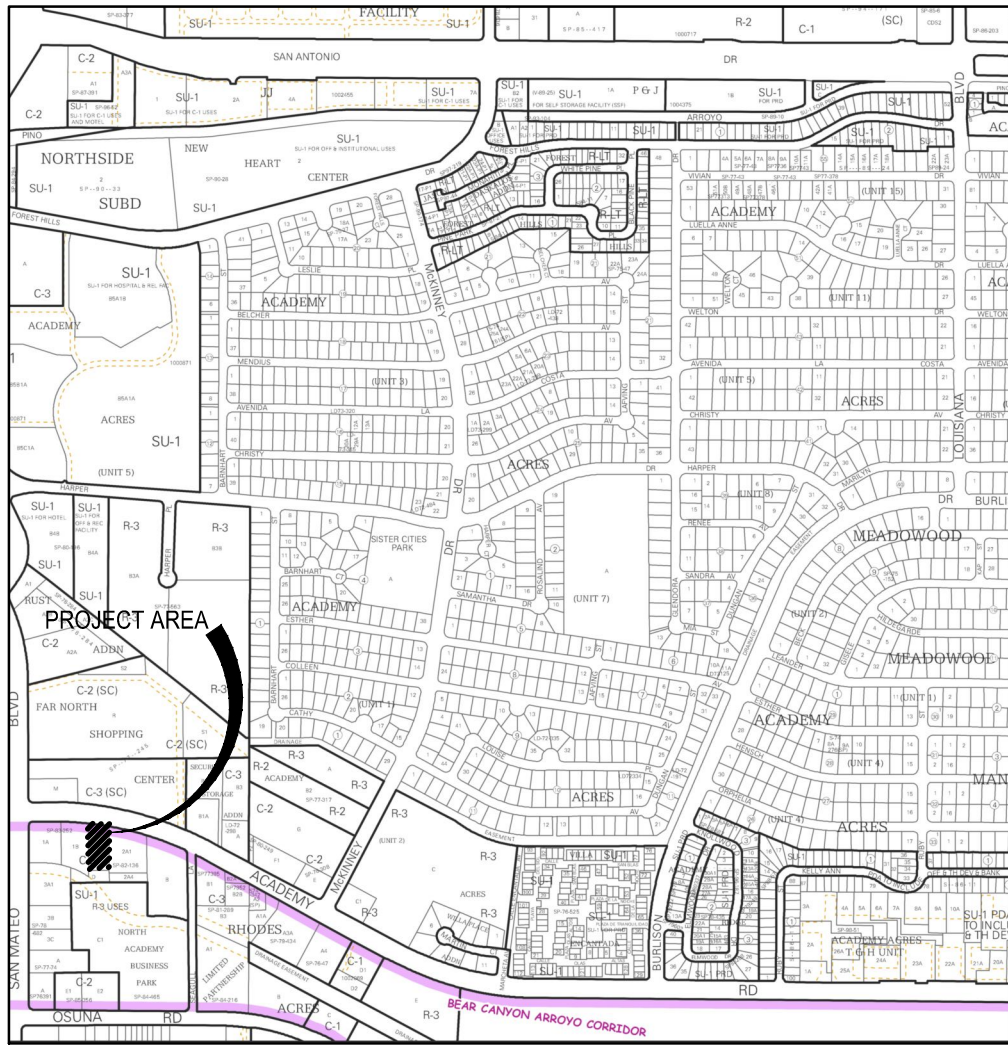
_____ GRADING CERTIFICATION _____ OTHER (SPECIFY) _____

PRE-DESIGN CONFERENCE ATTENDED: Yes ☒ No ☐ Copy Provided

UBMITTED: Sept 9, 2015 By: Debra West

for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and extent of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the type of project:

<p>a. Conceptual Grading and Drainage Plan, Required for projects with a total area less than 1 acre.</p>	<p>b. Site Development Plan, Required for projects with a total area between 1 and 5 acres.</p>
<p>c. Subdivision Plat, Required for all subdivisions.</p>	<p>d. Drainage Study, Required for projects with a total area greater than 5 acres.</p>



VICINITY MAP
E-18-Z

SITE DATA:

LEGAL DESCRIPTION: TRACT 'A', NORTH ACADEMY BUSINESS PARK

UPC: 101806204807730121

ADDRESS: 5350 ACADEMY RD NE

PROPERTY AREA: 0.6931 ACRES

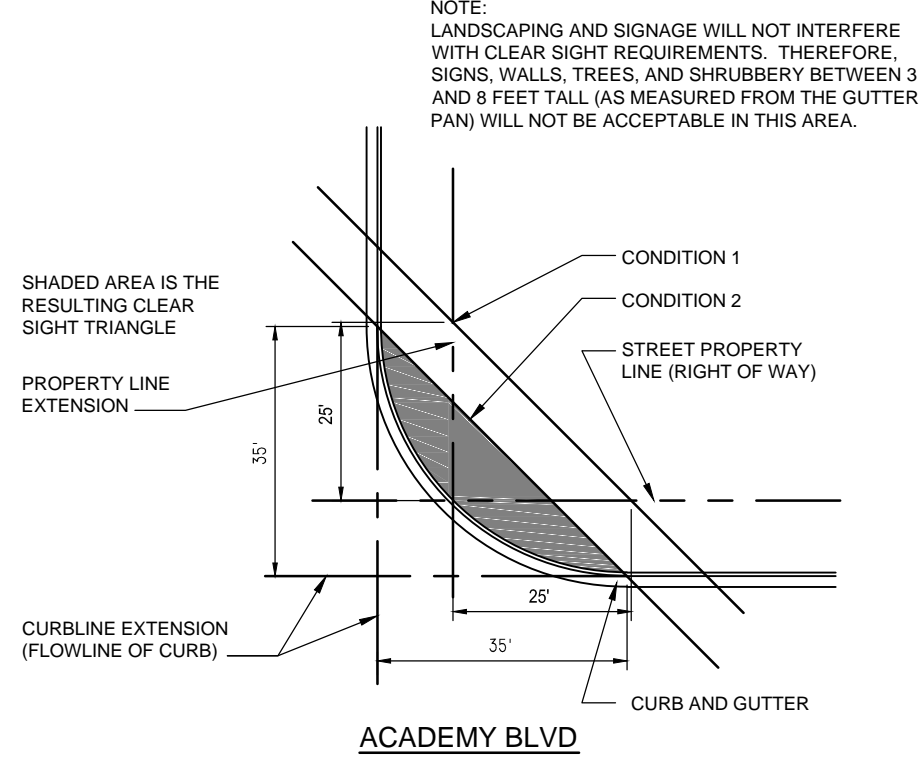
CURRENT ZONING: C-3

BUILDING AREA:
PROPOSED T-MOBILE RETAIL BUILDING = 2,490 SF

KEYED NOTES:

- PROPOSED REFUSE ENCLOSURE, SEE 1/AS-102.
- PROPOSED LANDSCAPE AREA, SEE LANDSCAPE PLAN LS-101.
- PROPOSED 6" HIGH CONCRETE CURB.
- PROPOSED ACCESSIBLE CURB RAMP, SEE AS-102.
- PROPOSED ACCESSIBLE PARKING SYMBOL PAVEMENT MARKING.
- PROPOSED ACCESSIBLE PARKING SIGN - POST MOUNTED, SEE AS-102.
- PROPOSED VAN ACCESSIBLE PARKING SIGN TO INCLUDE "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING" - WALL MOUNTED SEE AS-102.
- PROPOSED CONCRETE SIDEWALK.
- PROPOSED 4" WIDE PAVEMENT STRIPING.
- PROPOSED ASPHALT PAVEMENT.
- PROPOSED MOTORCYCLE PARKING SIGN.
- PROPOSED "NO PARKING" PAVEMENT MARKING IN CAPITAL LETTERS, EACH OF WHICH SHALL BE 12" HIGH AND 2" WIDE MINIMUM.
- PROPOSED 6" WIDE CONCRETE PEDESTRIAN CONNECTION.
- 6" WIDE INCREASING TO 9" WIDE ADA ACCESSIBLE PEDESTRIAN PATHWAY FROM PUBLIC SIDEWALK.
- PROPOSED 2-BIKE CAPACITY HOOP RACK BY DERCO OR APPROVED EQUAL.
- EXISTING TRAFFIC SIGNAL ARM & ASSOCIATED EQUIPMENT TO REMAIN.
- EXISTING WATER & IRRIGATION METERS TO REMAIN.
- EXISTING SIDEWALK TO REMAIN.
- EXISTING PATIO WALL ON ADJACENT PROPERTY.
- EXISTING FULL ACCESS INTERSECTION TO REMAIN.
- EXISTING ACCESSIBLE CURB RAMP TO REMAIN.
- EXISTING FIRE HYDRANT TO REMAIN.
- EXISTING FREE-STANDING SIGN TO RECEIVE NEW SIGN FACE UNDER A SEPARATE BUILDING PERMIT.
- EXISTING 30' PRIVATE COMMON ACCESS EASEMENT; BOOK C19, FOLIO 42, BOOK C19, FOLIO 157, BOOK C20, FOLIO 168 & BOOK C23, FOLIO 65.
- EXISTING 10' WATERLINE EASEMENT; BOOK C19, FOLIO 157, BOOK C20, FOLIO 168 & BOOK C23, FOLIO 65.
- EXISTING 10' PUBLIC UTILITY EASEMENT; BOOK MISC. 255A, PAGE 794.
- EXISTING FRONT YARD BUILDING SETBACK LINE; BOOK C19, FOLIO 157.
- BUILDING ENTRANCE/EXIT DOOR.
- PROVIDE LINE SIGHT DISTANCE, SEE DETAIL 2/AS-101.
- EXTERIOR LOT LIGHTING ON BUILDING, SEE E-1.1.
- EXISTING LIGHT POLE TO REMAIN.
- EXISTING CURB AND LANDSCAPING TO REMAIN.
- 6" DIA x 36" AFF BOLLARD AT 5'-0" ± OC, BURY 18" IN 12" DIA CONC.
- 6" LANDSCAPE BUFFER, SEE LS101.
- NEW FIRE HYDRANT UNDER SEPARATE MINI-WORK ORDER, THIS PERMIT.

NOTE:
LOCATION AND DESIGN OF NEW FIRE HYDRANT UNDER MINI-WORK ORDER BY OTHERS, THIS PERMIT.



2 SIGHT DISTANCE EXHIBIT

LEGEND:

- PROPOSED SIDEWALK JOINTS
- PROPOSED ON-SITE LANDSCAPE AREA, SEE LS-101
- PROPOSED CURB RAMP
- EXISTING CONCRETE CURB/PAVING
- PROPOSED CONCRETE CURB/PAVING
- PROPOSED PROPERTY LINE
- EXISTING PROPERTY LINE
- EXISTING FRONT YARD SETBACK LINE
- EXISTING EASEMENT LINE

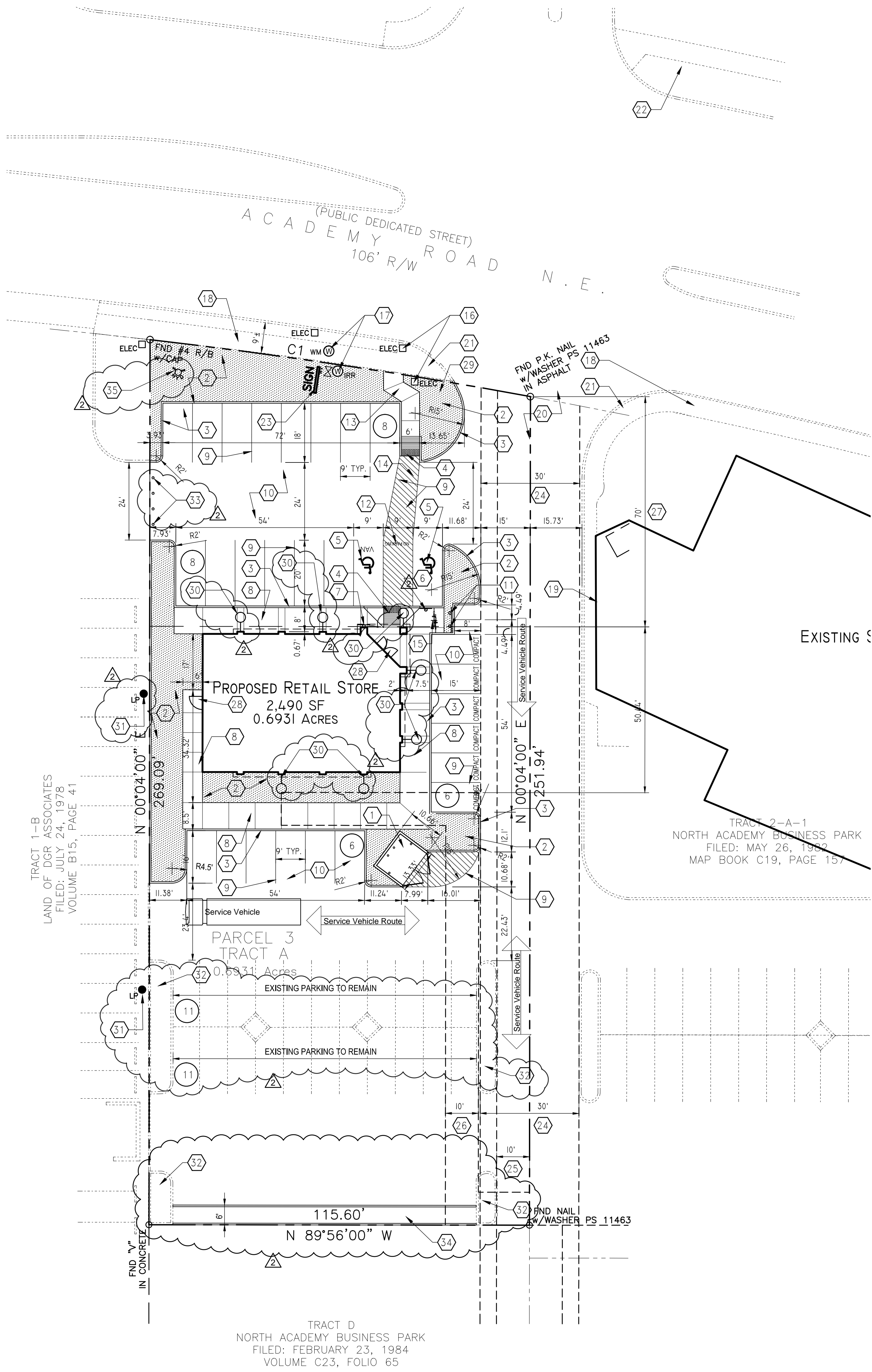
BUILDING & PARKING DATA

BUILDING AREA:	# SEATS	AREA (SQUARE FEET)
T-MOBILE RETAIL STORE	N/A	2,490 SF
TOTAL AREA	N/A	2,495 SF

PARKING REQUIREMENTS:	RATIO	REQUIRED	PROVIDED
T-MOBILE RETAIL STORE	1/200 SF	13 SPACES	*48 SPACES
STD ACCESSIBLE PARKING REQUIRED FOR 13 SPACES	--	1 SPACE	1 SPACE
VAN ACCESSIBLE PARKING REQUIRED FOR 13 SPACES	--	1 SPACE	1 SPACE
COMPACT PARKING ALLOWED FOR 50 SPACES = 12			6 SPACES
TOTAL		13 SPACES	*50 SPACES

* 22 EXISTING STANDARD SPACES TO REMAIN
* 26 NEW STANDARD AND COMPACT SPACES PROVIDED
* 2 NEW ACCESSIBLE SPACES PROVIDED
* 50 PARKING SPACES PROVIDED

ADDITIONAL PARKING REQUIREMENTS:
1 MOTORCYCLE SPACE REQUIRED AND 2 PROVIDED
2 BICYCLE SPACES REQUIRED AND 2 PROVIDED



CURVE DATA

NUMBER	DELTA ANGLE	CHORD DIRECTION	RADIUS	ARC LENGTH	CHORD LENGTH
C1	03°48'43"	N 81°29'33" W	1757.05	116.90	116.87

1 ARCHITECTURAL SITE PLAN / TCL

SCALE: 1" = 20'

T-Mobile Store #288
5350 Academy Road NE
Albuquerque, New Mexico 87109

MOVED BUILDING WEST 5' FOR ACCESS EASEMENT
CABQ COMMENT REVISIONS
Project Number 1513
Drawn By CC
Checked MS
Issue Date Sept 9, 2015

ARCHITECTURAL
SITE PLAN / TCL

Scale: AS SHOWN

AS-101