CITY OF ALBUQUERQUE



Planning Department Transportation Development Services

September 9, 2015

Debra West DSA Architects 4700 Lincoln NE., Suite 111 Albuquerque, NM 87109

Re: T-Mobile Store # 288 - Revision 5350 Academy Rd., NW Traffic Circulation Layout Engineer's/Architect's Stamp dated 9-9-15 (E18-D030A)

Dear Ms. West,

The TCL submittal received 9-10-15 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed <u>Drainage and Transportation Information Sheet</u> to front counter personnel for log in and evaluation by Transportation.

New Mexico 87103

PO Box 1293

Albuquerque

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

www.cabq.gov

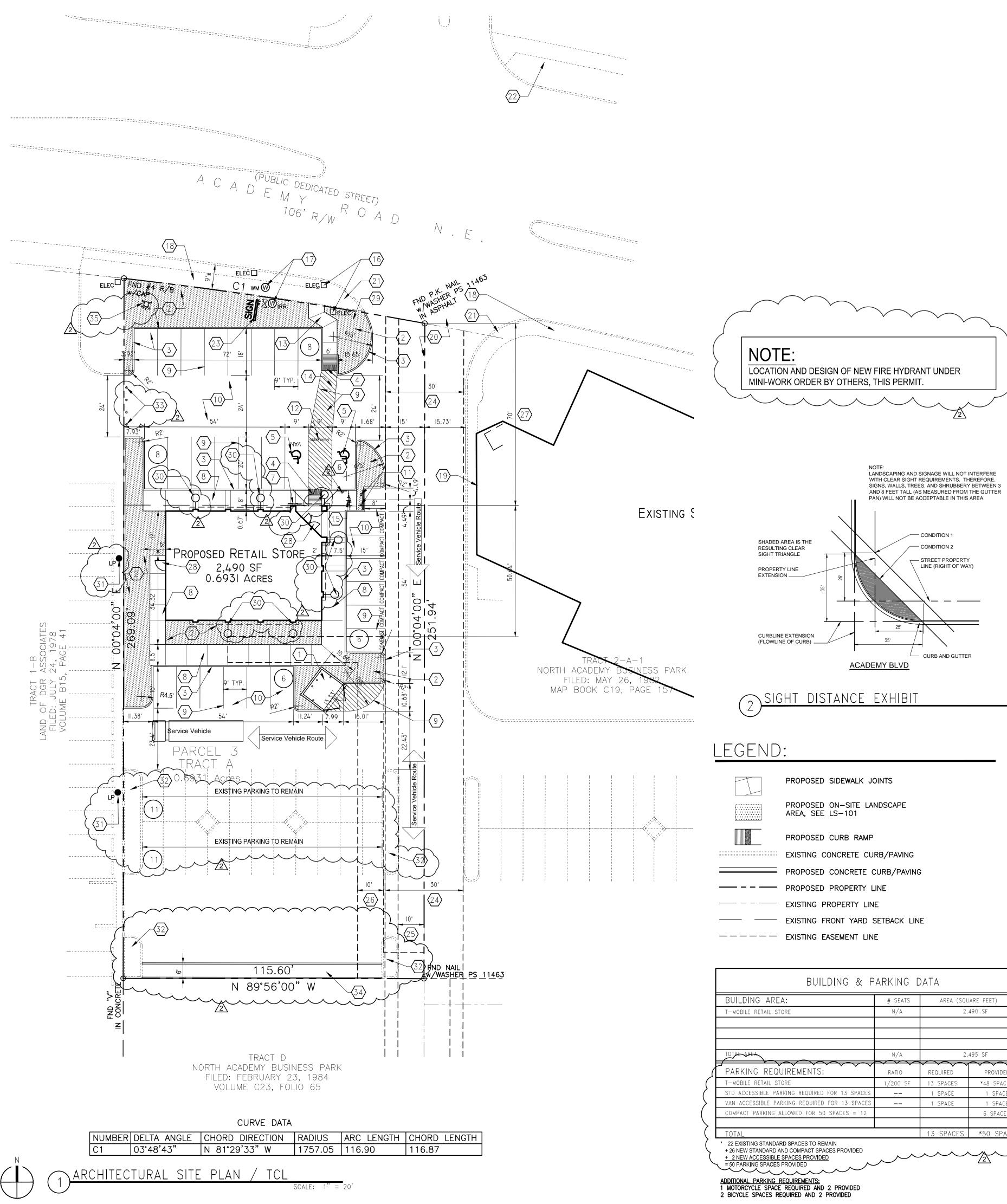
Sincerely,

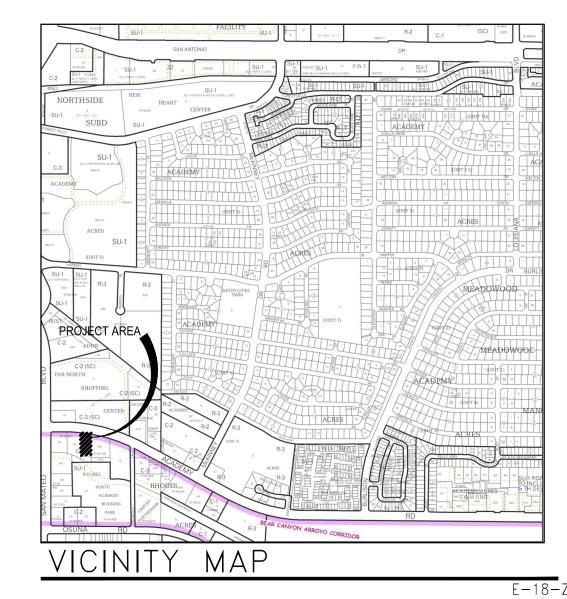
Racquel M. Michel, P.E. Traffic Engineer, Planning Dept. Development Review Services

\gs via: email C: CO Clerk, File

(REV 02/2013) EIB-DOBOA. Itte: New T-Mobile Store #288 Building Permit #: City Drainage #: Sofiption: Tract A. North Academy Business Park Itte: Work Order#: Sofiption: Tract A. North Academy Business Park Itte: Work Order#: Work Order#: Sofie Academy Road NW Contact: Jeff Wooten 1368 Revnosa Loop SE, Rio Rancho, NM 87124 Sofie Academy Road NW Contact: Jeff Wooten Sofie Academy Road NW 87124 Sofie Academy Road NW 87109 Sofie Academy Road NW 87109 Sofie Academy Road NW 87109 Sofie Academy Road NW 87109 <td colspant<="" th=""><th>Development</th><th>nning Department & Building Services Divis</th><th></th></td>	<th>Development</th> <th>nning Department & Building Services Divis</th> <th></th>	Development	nning Department & Building Services Divis	
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Fax#: E-mail: #: DSA Architects Contact: Debra West 4700 Lincoln NE, Suite 111, ABQ, NM, 87109 505-453-5813 Fax#: E-mail: debraw@dsaabq.com r: Harris Surveying Contact: Tony Harris 2412 Monroe NE, Suite D, 87110 505-453-5813 Fax#: E-mail: tony@harrissurveying contact: Dong Marrissurveying 2412 Monroe NE, Suite D, 87110 Contact: Damian Chimenti 90 Box 6653, ABO, 87197 Contact: Damian Chimenti PO Box 6653, ABO, 87197 Contact: Damian Chimenti PO Box 6653, ABO, 87197 E-mail: damian@insightnm.cc 9F SUBMITTAL: CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT: RAINAGE PLAN Ist SUBMITTAL SIA/FINANCIAL GUARANTEE RIPLAY RAINAGE PLAN Ist SUBMITTAL S. DEV. PLAN FOR SUB'D APPR'OVAL SEP 1 9 2015 Socort Plan Resubmittal S. DEV. FOR BLDG, PERMIT APPROVAL Solow & SEDIMENT CONTROL PLAN (ESC) FINAL PLAT APPROVAL VGINEER'S CERT (HVDROLOGY) CERTIFICATE OF OCCUPANCY (PERM) LOMR/LOMR resubmittal GRADING PERMIT APPROVAL SO-19 APPROVAL GINEER'S CERT (CL) X GINEER'S CERT (CL) X <			E-mail: jeffwooten.pe@gmail.	
Fax#: E-mail: #: DSA Architects Contact: Debra West 4700 Lincoln NE, Suite 111, ABO, NM, 87109 505-453-5813 Fax#: E-mail: debraw@dsaabq.com r: Harris Surveying Contact: Tony Harris 2412 Monroe NE, Suite D, 87110 505-889-8056 Fax#: E-mail: tonv@harrissurveying for: Insight Construction Contact: Damian Chimenti PO Box 6653, ABO, 87197 505-888-7927 Fax#: E-mail: damian@insightnm.cc PF SUBMITTAL: CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT: RAINAGE PLAN Ist SUBMITTAL SIA/FINANCIAL GUARANTEER RIPLECE SOUGHT: RAINAGE PLAN RESUBMITTAL SIA/FINANCIAL GUARANTEER RIPLECE SOUGHT: SIA/FINANCIAL GUARANTEER RIPLECE SOUGHT: SIA/FINANCIAL GUARANTEER RIPLECE SOUGHT: SIA/FINANCIAL GUARANTEER RIPLECE SOUGHT: SIA/FINANCIAL GUARANTEER RIPLECE SOUGHT: SIA/FINANCIAL GUARANTEER RIPLECE SOUGHT: SIA/FINANCIAL GUARANTEER RIPLECE SOUGHT: SOUND SEEDTIMENT CONTROL PLAN (ESC) SDEV. FOR BLDG. PERMIT APPROVAL VGINEER'S CERT (HYDROLOGY) CERTIFICATE OF OCCUPANCY (PERM) LOMR/LOMR resubmittal GRADING PERMIT APPROVAL GINEER'S CERT (TCL) X BUILDING PERMIT APPROVAL <td></td> <td></td> <td>Contacti</td>			Contacti	
st: DSA Architects Contact: Debra West 4700 Lincoln NE, Suite 111, ABO, NM, 87109 505-453-5813 Fax#: E-mail: debraw@dsaabq.com r: Harris Surveving Contact: Tony Harris 2412 Monroe NE, Suite D, 87110 505-889-8056 Fax#: E-mail: tony@harrissurveying 505-889-8056 Fax#: E-mail: tony@harrissurveying for: Insight Construction Contact: Damian Chimenti PO Box 6653, ABO, 87197 505-888-7927 Fax#: E-mail: damian@insightnm.cc 505-888-7927 Fax#: E-mail: damian@insightnm.cc FSUBMITTAL: CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT: RAINAGE PLAN Ist SUBMITTAL SIA/FINANCIAL GUARANTEE R EINE EINE EINE EINE EINE EINE EINE EINE				
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505-453-5813 Fax#: E-mail: debraw@dsaabq.com r: Harris Surveving Contact: Tony Harris 2412 Monroe NE, Suite D, 87110 Contact: Tony Harris 505-889-8056 Fax#: E-mail: tony@harrissurveving tor: Insight Construction Contact: Damian Chimenti PO Box 6653, ABQ, 87197 So5-888-7927 Fax#: E-mail: damian@insightnm.cc F SUBMITTAL: CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT: RAINAGE PLAN Is SUBMITTAL SIA/FINANCIAL GUARANTER REFERENCE SOUGHT: RAINAGE PLAN RESUBMITTAL SIA/FINANCIAL GUARANTER REFERENCE SOUGHT: SOSON & SEDIMENT CONTROL PLAN (ESC) PRELIMINARY PLAT APPROVAL SECTOR PLAN APPROVAL SOSON & SEDIMENT CONTROL PLAN (ESC) FINAL PLAT APPROVAL AND DEVELOPMENT SECTION VGINEER'S CERT (HYDROLOGY) CERTIFICATE OF OCCUPANCY (PERM) CERTIFICATE OF OCCUPANCY (PERM) LOMR/LOMR resubmittal RAFIC CIRCULATION LAYOUT (TCL) FOUNDATION PERMIT APPROVAL VGINEER'S CERT (DRB SITE PLAN) GRADING PERMIT APPROVAL SO-19 APPROVAL VGINEER'S CERT (DRB SITE PLAN) GRADING PERMIT APPROVAL ESC PERMIT APPROVAL VGINEER'S CERT (DRB SITE PLAN) GRADING PERMIT APPROVAL ESC CERT. ACCEPTA		for the state of t	Contact: Debra West	
r: Harris Surveying Contact: Tony Harris 2412 Monroe NE, Suite D, 87110 505-889-8056 Fax#: E-mail: tony@harrissurveying for: Insight Construction Contact: Damian Chimenti PO Box 6653, ABO, 87197 505-888-7927 Fax#: E-mail: damian@insightnm.cc JF SUBMITTAL: CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT: RAINAGE PLAN Ist SUBMITTAL SIA/FINANCIAL GUARANTEE R DIE DE	4700 Lincoln NE, Suite 111, ABO, N	M, 87109		
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2412 Monroe NE, Suite D, 87110 505-889-8056 Fax#: E-mail: tonv@harrissurveving tor: Insight Construction Contact: Damian Chimenti PO Box 6653, ABO, 87197 505-888-7927 505-888-7927 Fax#: F SUBMITTAL: E-mail: damian@insightnm.cc NF SUBMITTAL: CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT: RAINAGE PLAN 1st SUBMITTAL SIA/FINANCIAL GUARANTEE R RAINAGE PLAN 1st SUBMITTAL S. DEV. PLAN FOR SUB'D APPROVAL S. DEV. PLAN FOR SUB'D APPROVAL SECTOR PLAN APPROVAL SOSION & SEDIMENT CONTROL PLAN (ESC) FINAL PLAT APPROVAL VGINEER'S CERT (HYDROLOGY) CERTIFICATE OF OCCUPANCY (PERM) LOMR/LOMR resubmittal CAFFIC CIRCULATION LAYOUT (TCL) FOUNDATION PERMIT APPROVAL VGINEER'S CERT (ICL) X WGINEER'S CERT (CL) X BUILDING PERMIT APPROVAL SO-19 APPROVAL VGINEER'S CERT (CRC) PAVING PERMIT APPROVAL VGINEER'S CERT (CL) X BUILDING PERMIT APPROVAL VGINEER'S CERT (SC) PAVING PERMIT APPROVAL SO-19 APPROVAL VGINEER'S CERT (SC) PAVING PERMIT APPROVAL ESC CERT. ACCEPTA	r: Harris Surveying	8	Contact: Tony Harris	
tor: Insight Construction Contact: Damian Chimenti PO Box 6653, ABQ, 87197 505-888-7927 Fax#: E-mail: damian@insightnm.cc 505-888-7927 Fax#: E-mail: damian@insightnm.cc JF SUBMITTAL: CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT: RAINAGE REPORT SIA/FINANCIAL GUARANTEE R SIA/FINANCIAL GUARANTEE R RAINAGE PLAN Ist SUBMITTAL PRELIMINARY PLAT APPROVAL SECTOR PLAN FOR SUB'D APPROVAL SOSION & SEDIMENT CONTROL PLAN (ESC) S. DEV. FOR BLDG. PERMIT APPROVAL SECTOR PLAN APPROVAL GINEER'S CERT (HYDROLOGY) CERTIFICATE OF OCCUPANCY (PERM) GUARANTE OF OCCUPANCY (TCL TEMP) LOMR/LOMR resubmittal CERTIFICATE OF OCCUPANCY (TCL TEMP) GINEER'S CERT (TCL) Yes X SO-19 APPROVAL VGINEER'S CERT (DRB SITE PLAN) GRADING PERMIT APPROVAL SO-19 APPROVAL VGINEER'S CERT (ESC) PAVING PERMIT APPROVAL ESC PERMIT APPROVAL OTHER (SPECIFY) GRADING CERTIFICATION OTHER (SPECIFY) PRE-DESIGN CONFERENCE ATTENDED: Yes X No Copy Provided				
PO Box 6653, ABQ, 87197 505-888-7927 Fax#: E-mail: damian@insightnm.cc > F SUBMITTAL: CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT: RAINAGE REPORT SIA/FINANCIAL GUARANTEE R RAINAGE PLAN 1st SUBMITTAL PRELIMINARY PLAT APPROVAL RAINAGE PLAN RESUBMITTAL PRELIMINARY PLAT APPROVAL SDCEPTUAL G & D PLAN S. DEV. PLAN FOR SUB'D APPROVAL RADING PLAN S. DEV. FOR BLDG. PERMIT APPROVAL ADING PLAN SECTOR PLAN APPROVAL VGINEER'S CERT (HYDROLOGY) CERTIFICATE OF OCCUPANCY (PERM) LOMR/LOMR resubmittal VGINEER'S CERT (TCL) SULDING PERMIT APPROVAL VGINEER'S CERT (DRB SITE PLAN) GRADING PERMIT APPROVAL VGINEER'S CERT (ESC) PAVING PERMIT APPROVAL VGINEER'S CERT (ESC) PAVING PERMIT APPROVAL VGINEER'S CERT (ESC) PAVING PERMIT APPROVAL VGRK ORDER APPROVAL ESC CERT. ACCEPTA VGINEER'S CERT (ESC) PAVING PERMIT APPROVAL VGRK ORDER APPROVAL ESC CERT. ACCEPTA VGRK ORDER APPROVAL ESC CERT. ACCEPTA VGRADING CERTIFICATION OTHER (SPECIFY) PRE-DESIGN CONFERENCE ATTENDED: Yes No </td <td>505-889-8056 Fax#:</td> <td></td> <td>E-mail: tony@harrissurveying</td>	505-889-8056 Fax#:		E-mail: tony@harrissurveying	
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NGINEER'S CERT (ESC) PAVING PERMIT APPROVAL ESC PERMIT APPROV D-19 WORK ORDER APPROVAL ESC CERT. ACCEPTA THER (SPECIFY) GRADING CERTIFICATION OTHER (SPECIFY) PRE-DESIGN CONFERENCE ATTENDED: Yes X No Copy Provided Copy Provided				
D-19 WORK ORDER APPROVAL ESC CERT. ACCEPTA THER (SPECIFY) GRADING CERTIFICATION OTHER (SPECIFY) PRE-DESIGN CONFERENCE ATTENDED: Yes X No Copy Provided				
THER (SPECIFY)				
PRE-DESIGN CONFERENCE ATTENDED: Yes X No Copy Provided				
	THER (SPECIFY)	GRADING CERTIFICATION	N OTHER (SPECIFY)	
	PRE-DESIGN CONFERENCE ATTENDED:	Yes X No Co	ppy Provided	
	UBMITTED: Sept 9, 2015			

for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the fo









REA (SQUARE FEET)		
2,490 SF		
0.405.05		
\sim	495 SF	
RED	PROVIDED	
PACES	*48 SPACES	ľ
PACE	1 SPACE	K
PACE	1 SPACE	ľ
	6 SPACES	
PACES	*50 SPACES	ĺ
		/

SITE DATA:

LEGAL DESCRIPTION: TRACT "A", NORTH ACADEMY BUSINESS PARK UPC: 101806204807730121 ADDRESS: 5350 ACADEMY RD NE PROPERTY AREA: 0.6931 ACRES CURRENT ZONING: C-3 BUILDING AREA: PROPOSED T-MOBILE RETAIL BUILDING = 2,490 SF

KEYED NOTES:

- 1. PROPOSED REFUSE ENCLOSURE, SEE 1/AS-102.
- 2. PROPOSED LANDSCAPE AREA, SEE LANDSCAPE PLAN LS-101.
- PROPOSED 6" HIGH CONCRETE CURB.
- 4. PROPOSED ACCESSIBLE CURB RAMP, SEE AS-102.
- 5. PROPOSED ACCESSIBLE PARKING SYMBOL PAVEMENT MARKING.
- 6. PROPOSED ACCESSIBLE PARKING SIGN POST MOUNTED, SEE AS-102.
- 7. PROPOSED VAN ACCESSIBLE PARKING SIGN TO INCLUDE "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING" - WALL MOUNTED SEE AS-102.
- 8. PROPOSED CONCRETE SIDEWALK.
- 9. PROPOSED 4" WIDE PAVEMENT STRIPING.
- 10. PROPOSED ASPHALT PAVEMENT.
- 11. PROPOSED MOTORCYCLE PARKING SIGN.
- 12. PROPOSED "NO PARKING" PAVEMENT MARKING IN CAPITAL LETTERS, EACH OF WHICH SHALL BE 12" HIGH AND 2" WIDE MINIMUM.
- 13. PROPOSED 6' WIDE CONCRETE PEDESTRIAN CONNECTION.
- 14. 6' WIDE INCREASING TO 9' WIDE ADA ACCESSIBLE PEDESTRIAN PATHWAY FROM PUBLIC SIDEWALK.
- 15. PROPOSED 2-BIKE CAPACITY HOOP RACK BY DERCO OR APPROVED EQUAL.
- 16. EXISTING TRAFFIC SIGNAL ARM & ASSOCIATED EQUIPMENT TO REMAIN.
- 17. EXISTING WATER & IRRIGATION METERS TO REMAIN.
- 18. EXISTING SIDEWALK TO REMAIN.
- 19. EXISTING PATIO WALL ON ADJACENT PROPERTY.
- 20. EXISTING FULL ACCESS INTERSECTION TO REMAIN.
- 21. EXISTING ACCESSIBLE CURB RAMP TO REMAIN.
- 22. EXISTING FIRE HYDRANT TO REMAIN.
- 23. EXISTING FREE-STANDING SIGN TO RECEIVE NEW SIGN FACE UNDER A SEPARATE BUILDING PERMIT.
- 24. EXISTING 30' PRIVATE COMMON ACCESS EASEMENT; BOOK C19, FOLIO 42, BOOK C19, FOLIO 157, BOOK C20, FOLIO 168 & BOOK C23, FOLIO 65.
- 25. EXISTING 10' WATERLINE EASEMENT; BOOK C19, FOLIO 157, BOOK C20, FOLIO 168 & BOOK C23, FOLIO 65.
- 26. EXISTING 10' PUBLIC UTILITY EASEMENT; BOOK MISC. 255A, PAGE 794.
- 27. EXISTING FRONT YARD BUILDING SETBACK LINE; BOOK C19, FOLIO
- 28. BUILDING ENTRANCE/EXIT DOOR.
- 29. PROVIDE LINE SIGHT DISTANCE, SEE DETAIL 2/AS-101.
- 30. EXTERIOR LOT LIGHTING ON BUILDING, SEE E-1.1.
- 31. EXISTING LIGHT POLE TO REMAIN.
- 32. EXISTING CURB AND LANDSCAPING TO REMAIN.
- 33. 6" DIA x 36" AFF BOLLARD AT 5'-0" ± OC, BURY 18" IN 12" DIA CONC.
- 34. 6' LANDSCAPE BUFFER, SEE LS101.
- 35. NEW FIRE HYDRANT UNDER SEPARATE MINI-WORK ORDER, THIS PERMIT.

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MOVED BUILDING WEST 5' FOR ACCESS EASEMENT		
ACCESS EASE	MENT	
	NT REVISIONS	
Project Number	1513	
Drawn By	СС	
Checked	MS	
Issue Date	Sept 9, 2015	
ARCHITECT	URAL	
SITE PLAN	/ TCL	

