

# CITY OF ALBUQUERQUE



## ***Planning Department Transportation Development Services***

December 22, 2015  
Maria Ugarte-Shelton  
Darren Sowell Architects, LLC  
4700 Lincoln Rd, NE Suite 111  
Albuquerque, NM 87109

**Re: T-Mobile Store #288  
5350 Academy Rd., NE  
Request for Certificate of Occupancy- Transportation Development**  
Engineer's/Architect's Stamp dated 09-03-15 (E18-D030A)  
Certification dated 12-21-15

Dear Ms. Ugarte-Shelton,

Based upon the information provided in your submittal received 12-21-15, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact Gary Sandoval at (505) 924-3675 or me at (505)924-3630.

Sincerely,

John Gurule, P.E.  
Traffic Engineer, Planning Dept.  
Development Review Services

\gs via: email  
C: CO Clerk, File



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: T-Mobile Store #288 Building Permit #: \_\_\_\_\_ City Drainage #: E18D030A  
 DRB#: N/A EPC#: N/A Work Order#: N/A  
 Legal Description: Tract "A", North Academy Business Park  
 City Address: 5350 Academy Road NE  
 Engineering Firm: Wooten Engineering Contact: Jeff Wooten  
 Address: 1368 Reynosa Loop SE, Rio Rancho, NM 87124  
 Phone#: 505-980-3560 Fax#: \_\_\_\_\_ E-mail: jeffwoote.pe@gmail.com  
 Owner: Torreon Properties, LLC Contact: Jim Hakeem  
 Address: 12415 Walkerway Street NE, Albuquerque NM  
 Phone#: 505-250-8542 Fax#: \_\_\_\_\_ E-mail: jim@gotspaceusa.com  
 Architect: Darren Sowell Architects, LLC Contact: Maria Ugarte-Shelton  
 Address: 4700 Lincoln Road NE, Suite 111, Albuquerque, NM 87109  
 Phone#: 505-342-6200 Fax#: \_\_\_\_\_ E-mail: marias@dsaabq.com  
 Other Contact: Insight Construction Contact: Damian Chimenti  
 Address: P.O. Box 6653, Albuquerque NM, 87197  
 Phone#: 505-506-9144 Fax#: \_\_\_\_\_ E-mail: damian@insightnm.com

Check all that Apply:

### DEPARTMENT:

☐ HYDROLOGY/ DRAINAGE  
☐ TRAFFIC/ TRANSPORTATION  
☐ MS4/ EROSION & SEDIMENT CONTROL

### TYPE OF SUBMITTAL:

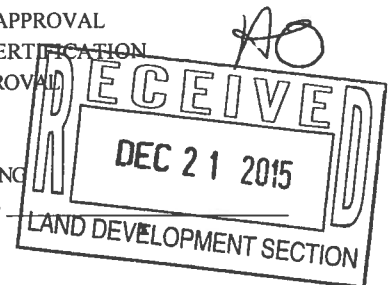
☒ ENGINEER/ ARCHITECT CERTIFICATION  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ DRAINAGE MASTER PLAN  
☐ DRAINAGE REPORT  
☐ CLOMR/LOMR  
☒ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

☐ OTHER (SPECIFY) \_\_\_\_\_

IS THIS A RESUBMITTAL?: ☒ Yes ☒ No

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL  
☒ CERTIFICATE OF OCCUPANCY  
☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL  
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☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR  
☐ PRE-DESIGN MEETING  
☐ OTHER (SPECIFY) \_\_\_\_\_



DATE SUBMITTED: 12/21/15 By: Maria Ugarte-Shelton

COA STAFF: \_\_\_\_\_ ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_



Darren Sowell

ARCHITECTS

www.dsaabq.com

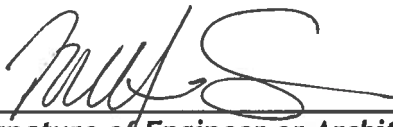
505.342.6200

### TRAFFIC CERTIFICATION

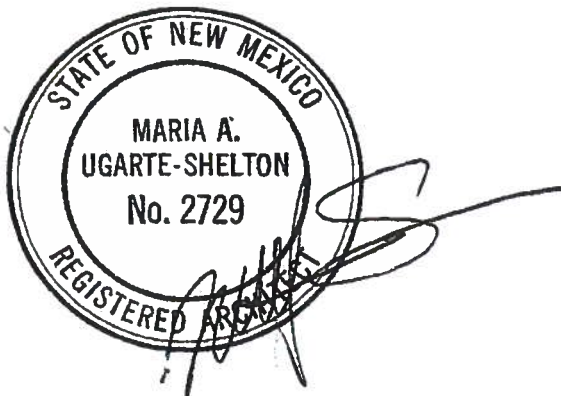
I, Maria Ugarte-Shelton, R.A., OF THE FIRM DSA Architects, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED May 12, 2015. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY Debra West OF THE FIRM DSA Architects. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON December 21, 2015 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR TCL approval.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

12/21/15  
Date

  
Signature of Engineer or Architect

### ENGINEER'S OR ARCHITECT'S STAMP



Darren Sowell Architects  
4700 Lincoln Road NE., Suite 111  
Albuquerque, NM. 87109  
Office (505) 342-6200  
Fax (505) 342-6201  
[www.dsaabq.com](http://www.dsaabq.com)



## MEMORANDUM

Attention:	<b>Gary Sandoval</b>	DSA Project Number:	<b>1513</b>
Firm:	<b>City of Albuquerque Traffic Planning</b>	Date:	<b>12/21/15</b>
Re:	<b>TCL Certification</b>	From:	<b>Maria Ugarte-Shelton</b>
Cc:	<b>Project Folder</b>		

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### Comments:

Mr. Sandoval,

Please see the enclosed documents for the T-Mobile #288 store. We are requesting approval of the Traffic Circulation Layout for the City's issuance of the Certificate of Occupancy for this project.

Please contact me should you need further information.

Thank you,

Maria Ugarte-Shelton, RA

[marias@dsaabq.com](mailto:marias@dsaabq.com)



# City of Albuquerque

Planning Department

Development & Building Services Division

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Owner: Torreon Properties, LLC Contact: Jim Hakeem

Address: 12415 Walkerway Street NE, Albuquerque NM

Phone#: 505-250-8542 Fax#: \_\_\_\_\_ E-mail: jim@gotspaceusa.com

Architect: Darren Sowell Architects, LLC Contact: Maria Ugarte-Shelton

Address: 4700 Lincoln Road NE, Suite 111, Albuquerque, NM 87109

Phone#: 505-342-6200 Fax#: \_\_\_\_\_ E-mail: marias@dsaabq.com

Other Contact: Insight Construction Contact: Damian Chimenti

Address: P.O. Box 6653, Albuquerque NM, 87197

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Darren Sowell

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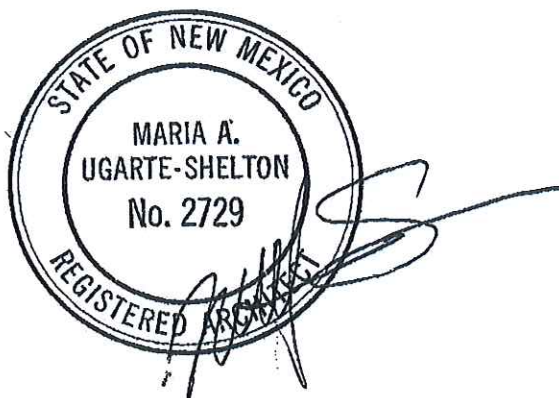
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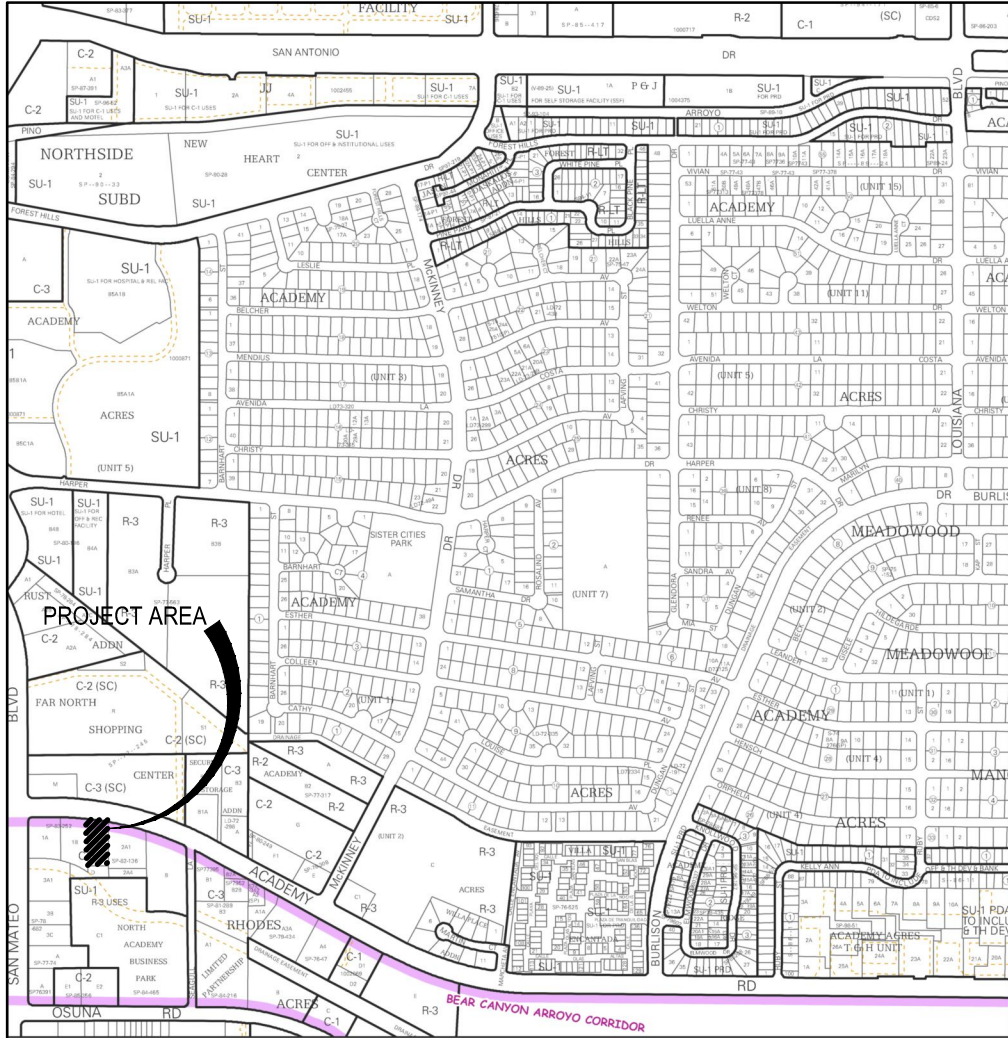
12/21/15  
Date

  
Signature of Engineer or Architect

ENGINEER'S OR ARCHITECT'S STAMP







VICINITY MAP

SITE DATA:

LEGAL DESCRIPTION: TRACT "A", NORTH ACADEMY BUSINESS PARK  
UPC: 101806204807730121  
ADDRESS: 5350 ACADEMY RD NE  
PROPERTY AREA: 0.6931 ACRES  
CURRENT ZONING: C-3  
BUILDING AREA:  
T-MOBILE RETAIL BUILDING = 2,490 SF

KEYED NOTES:

- REFUSE ENCLOSURE.
- LANDSCAPE AREA, SEE LANDSCAPE PLAN LS-101.
- 6" HIGH CONCRETE CURB.
- ACCESSIBLE CURB RAM.
- ACCESSIBLE PARKING SYMBOL PAVEMENT MARKING.
- ACCESSIBLE PARKING SIGN - POST MOUNTED.
- VAN ACCESSIBLE PARKING SIGN TO INCLUDE "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING" - WALL MOUNTED.
- CONCRETE SIDEWALK.
- 4" WIDE PAVEMENT STRIPING.
- ASPHALT PAVEMENT.
- MOTORCYCLE PARKING SIGN.
- "NO PARKING" PAVEMENT MARKING IN CAPITAL LETTERS, EACH OF WHICH SHALL BE 12" HIGH AND 2" WIDE MINIMUM.
- 6" WIDE CONCRETE PEDESTRIAN CONNECTION.
- 6" WIDE INCREASING TO 9" WIDE ADA ACCESSIBLE PEDESTRIAN PATHWAY FROM PUBLIC SIDEWALK.
- 2-BIKE CAPACITY HOOP RACK.
- EXISTING TRAFFIC SIGNAL ARM & ASSOCIATED EQUIPMENT TO REMAIN.
- EXISTING WATER & IRRIGATION METERS TO REMAIN.
- EXISTING SIDEWALK TO REMAIN.
- EXISTING PATIO WALL ON ADJACENT PROPERTY.
- EXISTING FULL ACCESS INTERSECTION TO REMAIN.
- EXISTING ACCESSIBLE CURB RAMP TO REMAIN.
- NOT USED.
- EXISTING FREE-STANDING SIGN TO RECEIVE NEW SIGN FACE UNDER A SEPARATE BUILDING PERMIT.
- EXISTING 30' PRIVATE COMMON ACCESS EASEMENT; BOOK C19, FOLIO 42, BOOK C19, FOLIO 157, BOOK C20, FOLIO 168 & BOOK C23, FOLIO 65.
- EXISTING 10' WATERLINE EASEMENT; BOOK C19, FOLIO 157, BOOK C20, FOLIO 168 & BOOK C23, FOLIO 65.
- EXISTING 10' PUBLIC UTILITY EASEMENT; BOOK MISC. 255A, PAGE 794.
- EXISTING FRONT YARD BUILDING SETBACK LINE; BOOK C19, FOLIO 157.
- BUILDING ENTRANCE/EXIT DOOR.
- NOT USED.
- EXTERIOR LOT LIGHTING ON BUILDING.
- EXISTING LIGHT POLE TO REMAIN.
- EXISTING CURB AND LANDSCAPING TO REMAIN.
- 6" DIA x 36" AFF BOLLARD AT 5'-0" ± OC, BURY 18" IN 12" DIA CONC.

Landscape Variance Application

5350 Academy Road NE

Albuquerque, New Mexico 87109

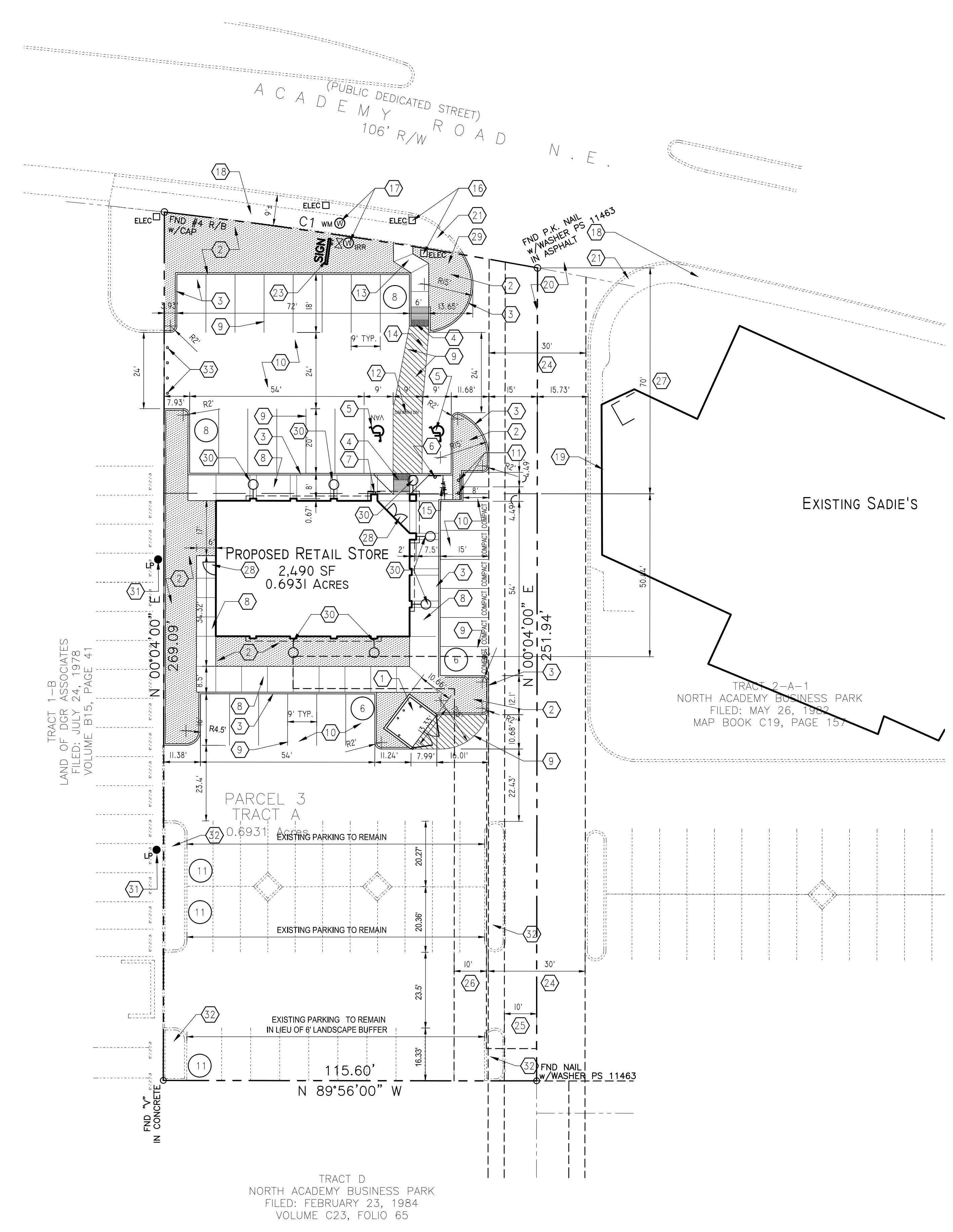
LEGEND:

- SIDEWALK JOINTS
- ON-SITE LANDSCAPE AREA, SEE LS-101
- CURB RAMP
- EXISTING CONCRETE CURB/PAVING
- CONCRETE CURB/PAVING
- PROPERTY LINE
- EXISTING PROPERTY LINE
- EXISTING FRONT YARD SETBACK LINE
- EXISTING EASEMENT LINE

BUILDING & PARKING DATA			
BUILDING AREA:	# SEATS	AREA (SQUARE FEET)	
T-MOBILE RETAIL STORE	N/A	2,490 SF	
TOTAL AREA	N/A	2,495 SF	
PARKING REQUIREMENTS:	RATIO	REQUIRED	PROVIDED
T-MOBILE RETAIL STORE	1/200 SF	13 SPACES	*53 SPACES
STD ACCESSIBLE PARKING REQUIRED FOR 13 SPACES	--	1 SPACE	1 SPACE
VAN ACCESSIBLE PARKING REQUIRED FOR 13 SPACES	--	1 SPACE	1 SPACE
COMPACT PARKING ALLOWED FOR 61 SPACES = 15			6 SPACES
TOTAL		13 SPACES	*61 SPACES

\* 33 EXISTING STANDARD SPACES TO REMAIN  
\* 26 NEW STANDARD AND COMPACT SPACES PROVIDED  
\* 2 NEW ACCESSIBLE SPACES PROVIDED  
= 61 PARKING SPACES PROVIDED

ADDITIONAL PARKING REQUIREMENTS:  
1 MOTORCYCLE SPACE REQUIRED AND 2 PROVIDED  
2 BICYCLE SPACES REQUIRED AND 2 PROVIDED



CURVE DATA					
NUMBER	DELTA ANGLE	CHORD DIRECTION	RADIUS	ARC LENGTH	CHORD LENGTH
C1	03°48'43"	N 81°29'33" W	1757.05	116.90	116.87