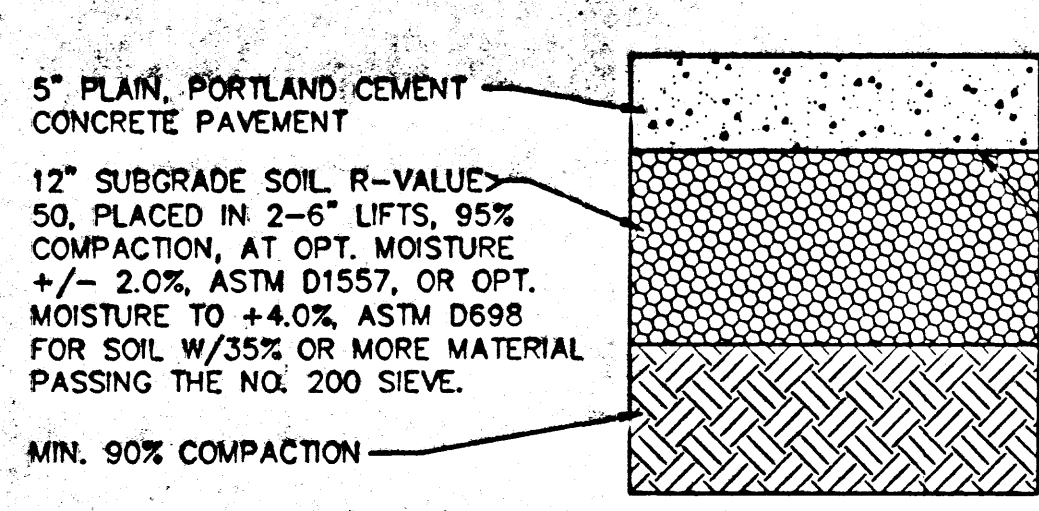
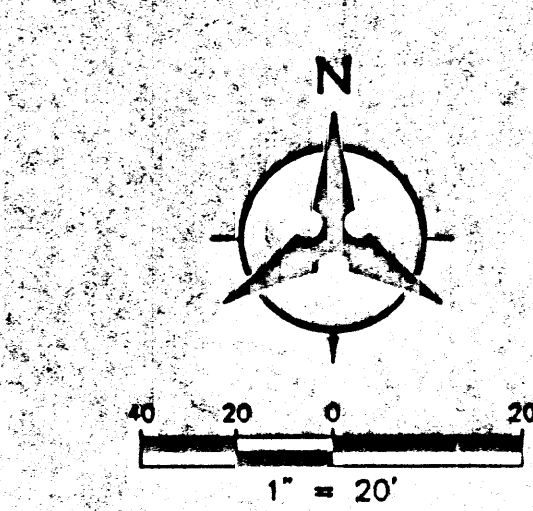
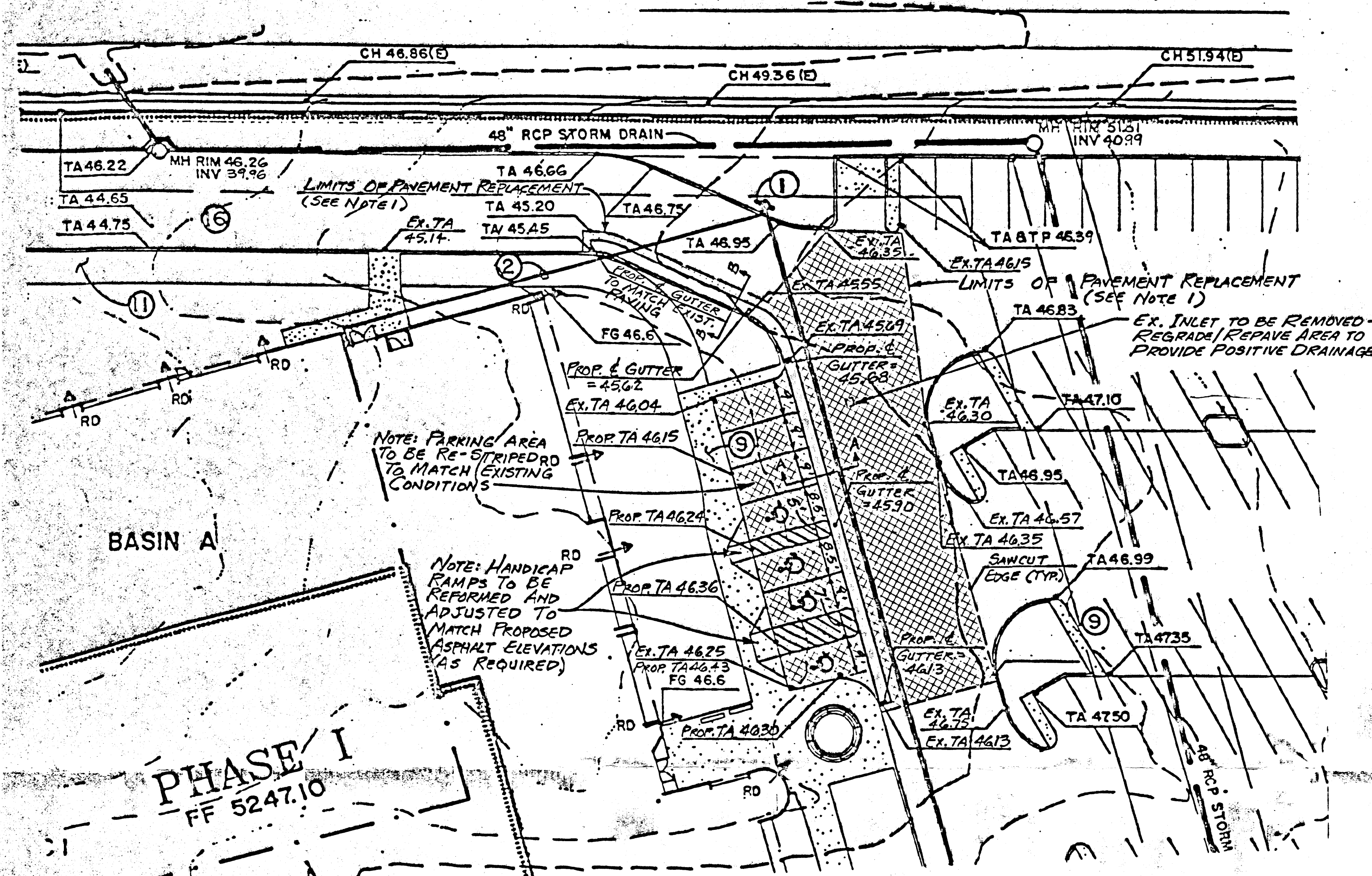
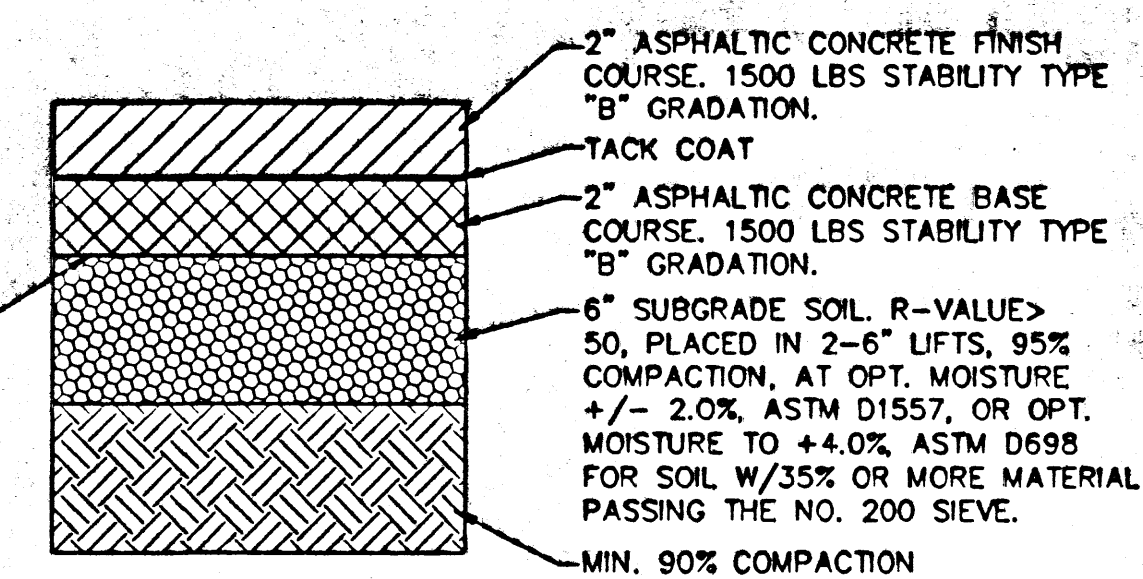




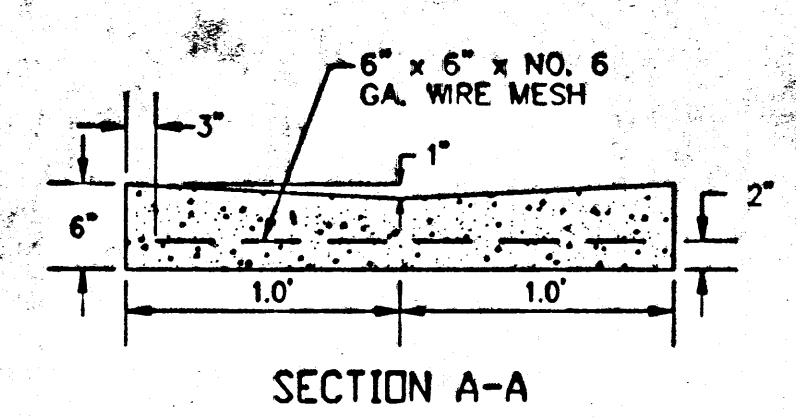
PAVEMENT SECTION CONCRETE
(REFER TO COA. STD. DWG 2405)

NTS



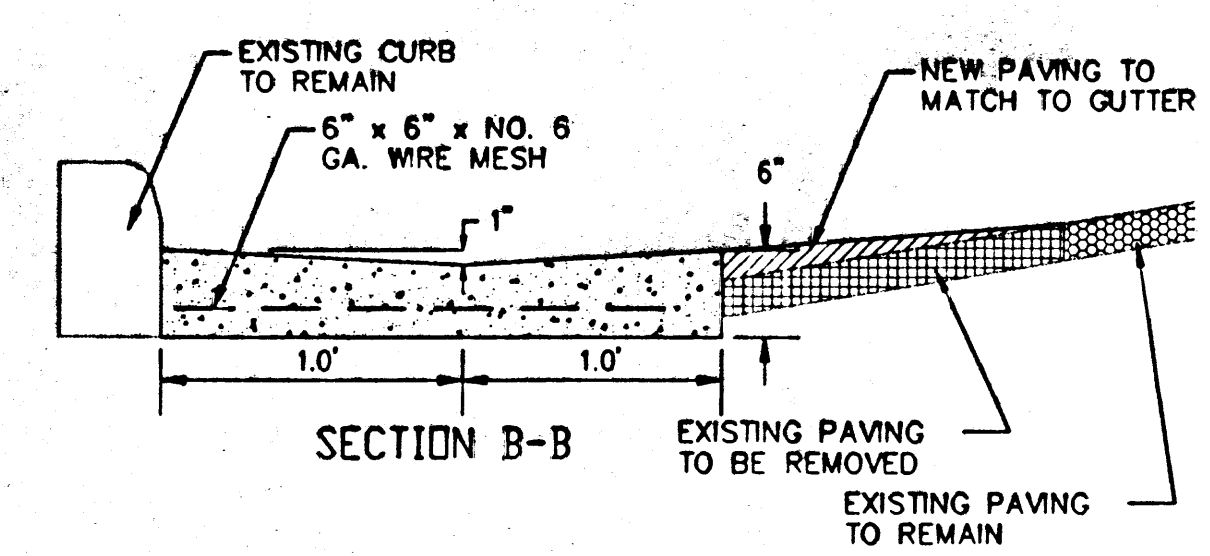
PAVEMENT SECTION ASPHALT
(REFER TO COA. STD. DWG 2405)

NTS



TYPICAL SECTION CONCRETE VALLEY GUTTER
(REFER TO COA. STD. DWG 2421)

NTS



DRAINAGE MANAGEMENT PLAN

I. INTRODUCTION AND PURPOSE

THE PRESBYTERIAN HEARTPLEX SITE IS AN EXISTING PARKING LOT LOCATED NORTH OF THE INTERSECTION OF FOREST HILLS DRIVE AND MCKINNEY DRIVE, AND ADJACENT TO THE PINO ARROYO.

THE IMPROVEMENTS OF THIS PLAN CONSIST OF THE REPAVING OF A PORTION OF AN EXISTING PARKING LOT TO PROVIDE POSITIVE DRAINAGE AND REMOVE A SIGNIFICANT WATER PONDING PROBLEM.

THIS PLAN IS PRESENTED TO OBTAIN APPROVAL FOR GRADING/PAVING PERMIT.

II. EXISTING CONDITIONS

THE CURRENT SITE IS AN EXISTING PAVED, IMPERVIOUS PARKING AREA. EXISTING STORM WATER RUNOFF FROM THE AREA SURFACE DRAINS IN A NORTHERLY DIRECTION TOWARD THE EXISTING PINO ARROYO CHANNEL.

THERE ARE NO EXISTING EVIDENCES OF SITE DRAINAGE PROBLEMS OR CONSTRAINTS. THE SITE OF THIS PLAN IS NOT LOCATED WITHIN A FEMA FLOODPLAIN.

III. PROPOSED CONDITIONS

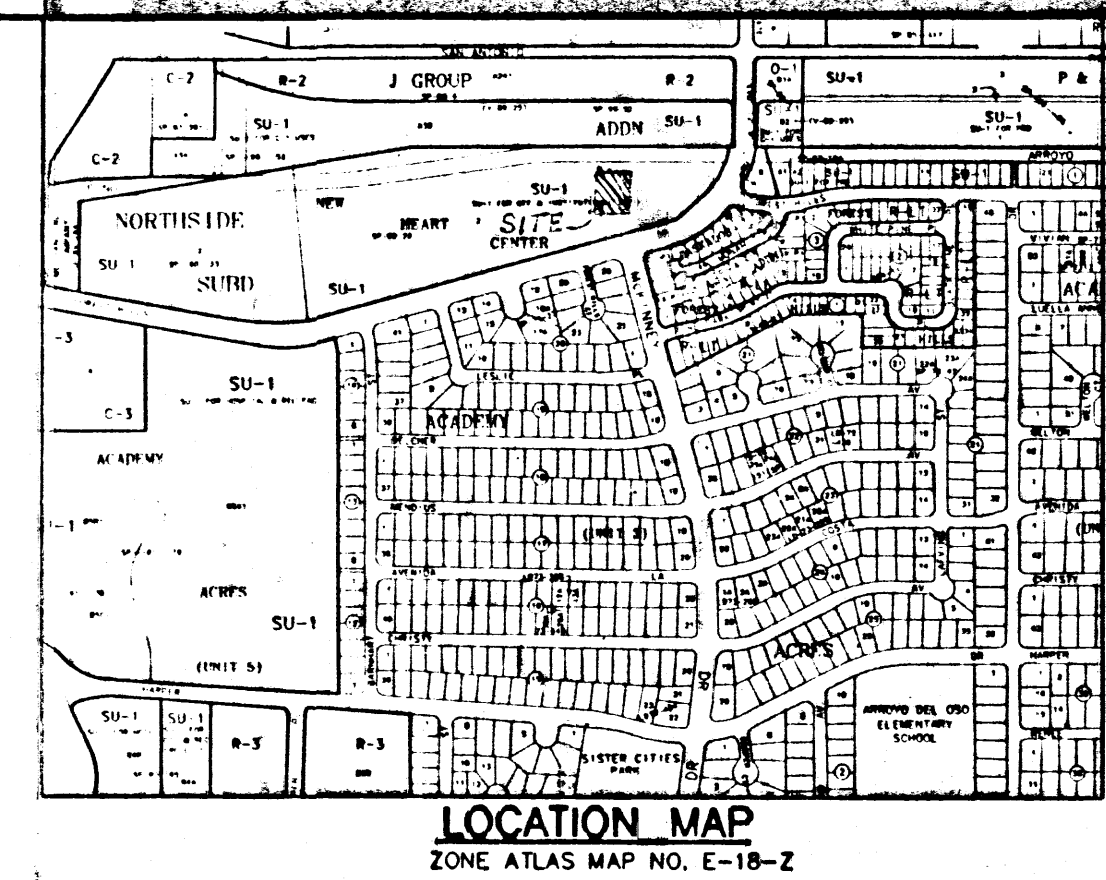
THE PROJECT PROPOSES TO REMOVE A PORTION OF THE EXISTING PARKING LOT PAVING AND REPLACE IT, ALONG WITH A NEW VALLEY GUTTER, TO IMPROVE SURFACE DRAINAGE. THESE IMPROVEMENTS IMPACT A RELATIVELY SMALL AREA AS IDENTIFIED ON THE PLANS SHOWN HEREON.

THESE NEW IMPROVEMENTS PROVIDE NO INCREASE IN IMPERVIOUS AREA FROM EXISTING CONDITIONS. DRAINAGE PATTERNS AND DIRECTION OF FLOW WILL CONTINUE IN THE SAME MANNER AS WITH THE EXISTING CONDITIONS, IE: DRAINING TOWARD THE PINO ARROYO.

IV. CONCLUSION

DUE TO THE IDENTICAL HYDROLOGICAL CONDITIONS (BETWEEN EXISTING AND PROPOSED SITE HYDROLOGY) AND VERY MINOR WORK PROPOSED UNDER THIS PLAN, NO CALCULATIONS OF FLOW RATES OR IMPERVIOUS AREAS ARE PROVIDED HEREIN. IDENTICAL IMPERVIOUS AREAS AND DRAINAGE PATHS AS THOSE UNDER EXISTING CONDITIONS WILL CONTINUE WITH THE PROPOSED CONDITIONS PLAN.

ACCORDINGLY, THIS PLAN SEEKS TO OBTAIN APPROVAL FOR GRADING/PAVING PERMIT. THIS PLAN PRESENTS A WORKABLE AND SAFE PLAN FOR THE IMPROVEMENTS/PAVING.



LEGAL DESCRIPTION

TRACT 2, NEW HEART CENTER, VOL. 91C, FOLIO. 245

GRADING NOTES

- EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- CONTRACTOR SHALL OBTAIN AND ABIDE BY A TOPSOIL DISTURBANCE PERMIT FROM THE CITY OF ALBUQUERQUE. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
- ALL WORK RELATIVE TO PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS.
- TWO WORKING DAYS PRIOR TO EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE (765-1264) FOR LOCATION OF EXISTING UTILITIES.
- EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
- THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY.

NOTES TO CONTRACTOR

- THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT EXCAVATED MATERIALS ARE NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
- DURING THE MONTHS OF JULY, AUGUST OR SEPTEMBER, ANY GRADING WITHIN OR ADJACENT TO A WATERCOURSE DEFINED AS A MAJOR FACILITY SHALL PROVIDE FOR EROSION CONTROL AND SAFE PASSAGE OF THE 10-YEAR DESIGN STORM RUNOFF DURING THE CONSTRUCTION PHASE.
- CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL DUST CONTROL REQUIREMENTS AND IS RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.

DRAINAGE CERTIFICATION

AS-BUILT ELEVATIONS ARE SHOWN ON THE PLAN IN LOCATIONS WHERE THE ORIGINAL DESIGN ELEVATION HAS BEEN CROSSED OUT AND THE NEW ELEVATION IS LISTED. ELEVATIONS WERE PROVIDED BY BOHANNAN HUSTON INC., PROFESSIONAL LAND SURVEYOR.

I, JAMES R. TOPMILLER, OF BOHANNAN HUSTON INC., A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE DRAINAGE IMPROVEMENTS HAVE BEEN CONSTRUCTED IN SUBSTANTIAL COMPLIANCE WITH THE APPROVED DRAINAGE PLAN, TO THE BEST OF MY KNOWLEDGE AND BELIEF.

DATE: _____
JAMES R. TOPMILLER, P.E.
N.M.P.E. NO. 9354

Bohannan Huston
Surveyors & Engineers
7500 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87109
ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DEVELOPMENT GROUP	
TITLE: SITE DRAINAGE IMPROVEMENTS PRESBYTERIAN HEARTPLEX	
Design Review Committee	City Engineer Approval
City Project No.	Zone Map No. E-18-Z
Sheet 1	Of 1

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HYDROLOGY SECTION