

KEYED NOTES

1. EXISTING BUILDING TO REMAIN.
2. EXISTING CONCRETE SIDEWALK TO REMAIN.
3. EXISTING ASPHALT DRIVEWAY AND PARKING TO REMAIN.
4. EXISTING PUBLIC CONCRETE CHANNEL & ASPHALT BIKE TRAIL (PINO ARROYO).
5. PROPOSED BUILDING. SEE ARCHITECTURAL FOR DETAILS.
6. PROPOSED CONCRETE TURNDOWN SIDEWALK. SEE SHEET C1.2 FOR DETAILS.
7. PROPOSED CONCRETE HEADER CURB. SEE SHEET C1.2 FOR DETAILS.
8. PROPOSED CONCRETE CURB AND GUTTER. SEE SHEET C1.2 FOR DETAILS.
9. PROPOSED HEAVY DUTY ASPHALT PAVEMENT. SEE SHEET C1.2 FOR DETAILS.
10. EXISTING 36" PUBLIC STORM DRAIN TO REMAIN IN PUBLIC EASEMENT ON PRIVATE PROPERTY.
11. EXISTING 36" PUBLIC STORM DRAIN TO BE REMOVED.
12. EXISTING 36" PUBLIC STORM DRAIN TO BECOME PRIVATE STORM DRAIN ON VACATED PUBLIC EASEMENT.
13. EXISTING 36" PUBLIC STORM DRAIN AND 6" MANHOLE (RIM 12.85, INV. 02.62) TO BECOME PRIVATE STORM DRAIN ON PUBLIC PROPERTY.
- *14. PROPOSED 36" PUBLIC STORM DRAIN IN 30' PUBLIC EASEMENT ON PRIVATE PROPERTY.
- *15. PROPOSED 6" TYPE 'E' MANHOLE PER COA STD. DWG. 2209.
- *16. PROPOSED 6" TYPE 'E' MANHOLE PER COA STD. DWG. 2209.
- *16a. PROPOSED 6" TYPE 'E' MANHOLE PER COA STD. DWG. 2209.
- *17. EXISTING MANHOLE FORMED ONSITE. ADJUST ONSITE, CONSTRUCT NEW OR CONSTRUCT 8" TYPE 'C'. TO BE DETERMINED ONSITE WITH CITY DRAINAGE PERSONNEL DURING CONSTRUCTION. INLET INV. 02.01, RIM 08.85.
- *18. PROPOSED CONCRETE CHANNEL TO EXISTING CONCRETE SIDE INLET TO PINO ARROYO CHANNEL PER COA STD. DWG 2260.
19. PROPOSED PRIVATE CONCRETE CHANNEL TO BE EXTENDED, PRIVATE DBL. "D" CATCH BASIN AND 12" OUTLET TO BE CONNECTED TO EXISTING 36" STORM DRAIN. SEE SHEET C1.2 FOR DETAILS.
20. PROPOSED 12:1 CONCRETE SIDEWALK RAMP w/ 24" TRUNCATED DOME MAT AT BASE.
21. 10"x10" CONCRETE OR POLY CARBONATE CATCH BASIN w/ 6" PVC OR SMOOTH WALL HDPE OUTLET PIPE. OUTLET INV. 14.95. SEE SHEET C1.2 FOR DETAILS.
22. 10"x10" CONCRETE OR POLYCARBONATE CATCH BASIN w/ 6" PVC OR SMOOTH WALL HDPE OUTLET PIPE. OUTLET INV. 14.45. SEE SHEET C1.2 FOR DETAILS.
23. MASONRY RETAINING WALL. SEE STRUCTURAL PLANS FOR DETAILS.
24. EXISTING 30' WIDE PUBLIC STORM DRAIN EASEMENT.
25. EXISTING 10' WIDE PUBLIC UTILITY EASEMENT.
26. FLOOD PLAIN BOUNDARY. FINISHED FLOOR ELEVATION CERTIFICATES OF BUILDINGS IN THE FLOOD PLAIN ARE REQUIRED.

DRAINAGE NOTES

1. THE SITE WAS PREVIOUSLY DEVELOPED AS AN HOTEL. THAT USE WILL CONTINUE AND THE FACILITY WILL BE EXPANDED INTO EXISTING PARKING AREA AND EXISTING BARE LAND.
2. THE NEWLY DEVELOPED AS WELL AS THE EXISTING RUNOFF WILL BE DIRECT DISCHARGED TO THE PINO ARROYO VIA IMPERMEABLE SURFACES DUE TO LAND FILL CONCERNS.
3. EXISTING AND PROPOSED FLOW RATES WILL NOT BE TABULATED AND COMPARED. INCOMING FLOW RATES (SHOWN ON THE AS-BUILT PLANS) IN THE STORM DRAIN WILL BE USED TO ESTABLISH GRADES AND PIPE SIZES OF THE NEW PORTION OF THE STORM DRAIN. DESIGN FLOW RATE, VELOCITY, WATER SURFACE AND HGL WILL BE SHOWN ON THE CITY APPROVED WORK ORDER PLANS.
4. AN ESC PLAN IS REQUIRED FOR THE SITE.
5. THE BULK OF THE SITE IS LOCATED IN AN AREA DESIGNATED 'ZONE X' PER FEMA FIRM MAP NO. 137H, DATED AUGUST, 2012.
6. EXISTING TOPOGRAPHY FOR THE SITE WAS OBTAINED BY CONSTRUCTION SURVEY TECHNOLOGIES, INC. IN JUNE, 2015 AND HARRIS SURVEYING IN OCTOBER, 2017.

[illegible]

LEGAL DESCRIPTION		
TRACT A-3-A, J GROUP ADDITION		
PERMANENT BENCHMARK		
ACS STATION	, ELEVATION	(NAVD 1988)
GRADING NOTES		
1. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT THE NEW MEXICO ONE CALL SYSTEM AT 260-1990 FOR LOCATION OF EXISTING UTILITIES. 2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY. 3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH. 4. ALL CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION 1986 EDITION THROUGH UPDATE NO. 9. ITEMS 14, 15, 16, 17 AND 19 ARE TO BE CONSTRUCTED PER CITY OF ALBUQUERQUE REQUIREMENTS.		
EROSION CONTROL NOTES		
1. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO PUBLIC RIGHT-OF-WAY OR PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY THE CONSTRUCTION OF TEMPORARY SOIL BERMS OR SILT FENCES AT PROPERTY LINES AND WETTING SOIL TO PREVENT IT FROM BLOWING. IF THE SITE IS CONTROLLED BY A SWPPP PLAN, EROSION CONTROL SHALL BE ACCOMPLISHED ACCORDING TO THE PLAN. 2. THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET. 3. THE CONTRACTOR SHALL SECURE THE APPROPRIATE BARRICADING, TOP SOIL DISTURBANCE AND ACCESS PERMITS FROM THE COUNTY PRIOR TO BEGINNING CONSTRUCTION.		

VICINITY MAP NO. E-18

I-25

SAN ANTONIO

C-2

SU-1

SITE

NORTHSIDE

NEW

SU-1

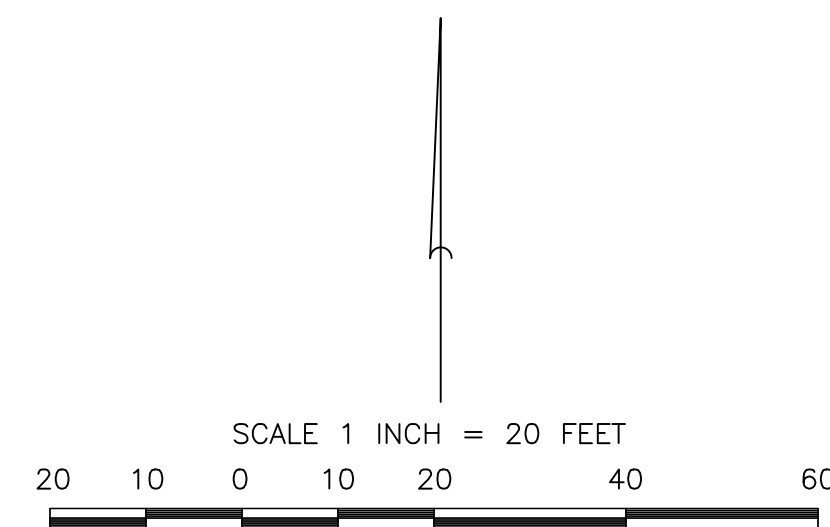
SU-1 FOR C4 USES

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