

CITY OF ALBUQUERQUE



September 9, 2019

Trafazzul Hussain, RA
AFRA Construction & Design
2501 Yale Blvd SE
Albuquerque, NM 87109

**Re: Homewood Suites,
5400 San Antonio Dr. NE
Request for Certificate of Occupancy
Transportation Development Final Inspection
Engineer's/Architect's Stamp dated 4-11-18 (E18D050)
Certification dated 8-28-19**

Dear Mr. Hussain,

Based upon the information provided in your pictures received 9-6-19, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

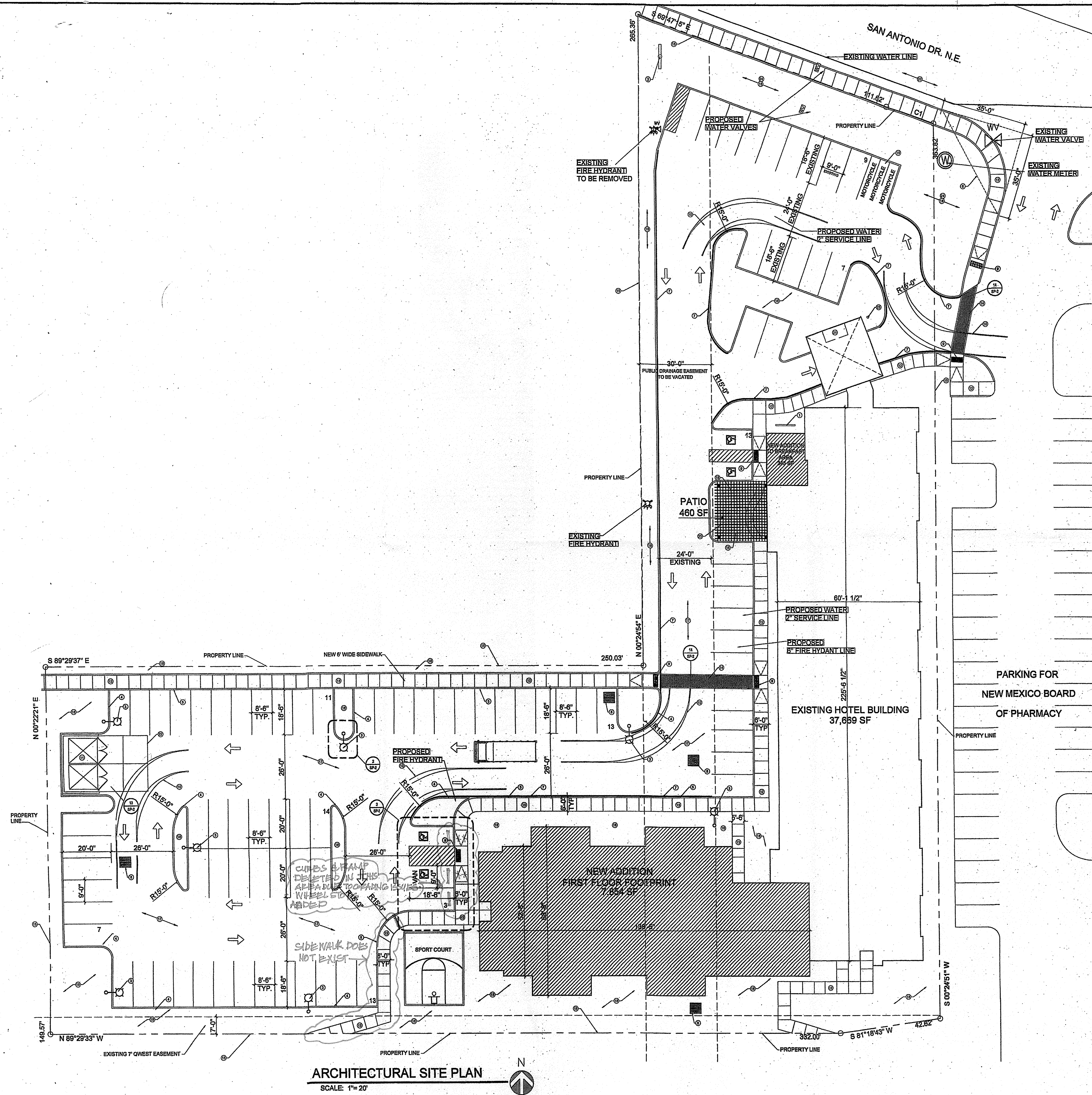
If you have any questions, please contact Ernie Gomez at (505) 924-3981.

Sincerely,

Jeanne Wolfenbarger, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

Ernie Gomez
Plan Checker, Planning Dept.
Development Review Services

EG via: email
C: CO Clerk, File



ARCHITECTURAL SITE PLAN
SCALE: 1"= 20'

PROJECT DESCRIPTION

A 3 STORY, 28 GUESTROOM ADDITION TO EXISTING HOTEL WITH FITNESS CENTER, GUEST LAUNDRY AND STORAGE. LOCATED ON SU-1C-1 USES AND HOTEL.

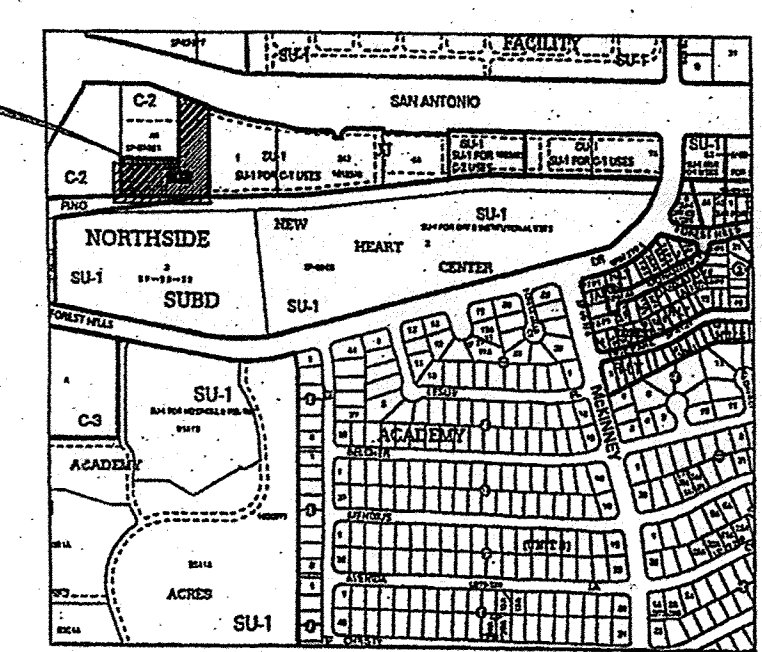
LEGAL DESCRIPTION

TRACT NUMBERED A-3-A OF J GROUP ADDITION, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF TRACTS A-3-A AND A-3-B OF SAID ADDITION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON FEBRUARY 28, 1998, IN MAP BOOK 88-C, FOLIO 91.

THE PARCEL DESCRIBED HEREON IS THE SAME AS SHOWN ON THE TITLE COMMITMENT PROVIDED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, HAVING FILE NO. 1508780 AND AN EFFECTIVE DATE OF DECEMBER 8, 2015.

GENERAL INFORMATION

- ALL REQUIRED INFRASTRUCTURE WILL BE CONSTRUCTED IN CONFORMANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS AND DRAWINGS.
- DRIVE PADS
- SIDEWALK COA STD DWG 2430
- CURB AND GUTTER COA STD DWG 2415 A & B
- WHEEL CHAIR RAMPS COA STD DWG 2440 AND 2441
- PAVEMENT COA STD DWG 2408
- THE PROPOSED RETAINING WALLS WILL BE COLORED TO MATCH THE BUILDING STUCCO.
- GROUND MOUNTED EQUIPMENT SCREENING SHALL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS ARE TO ALLOW 10' OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5'-8" OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE, AND REPAIR PURPOSES.
- THE DEVELOPER SHALL CONTACT PNM'S NEW SERVICE DELIVERY DEPARTMENT TO COORDINATE ELECTRIC SERVICE REGARDING THIS PROJECT. PNM'S STANDARD FOR PUBLIC UTILITY EASEMENTS FOR DISTRIBUTION IS 10' IN WIDTH TO ENSURE ADEQUATE, SAFE, CLEARANCES. CONTACT: PNM-ELECTRIC SERVICE PHONE: (505)241-3425
- ALL LANDSCAPE SHALL BE AT GRADE WITH PARKING AREAS.
- ALL GROUND-MOUNTED EQUIPMENT SCREENING TO ALLOW 10 FEET CLEARANCE IN FRONT OF EQUIPMENT DOOR AND 5'-8 FEET CLEARANCE ON REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.
- FUTURE SIGNAGE, IF NEEDED, WILL BE DONE IAW THE ZONING DISTRICT REQUIREMENTS JC-1



LOCATION MAP

ZONE ATLAS: E-18-Z

KEYED NOTES

- BIKE RACK
- EXISTING PREVIOUSLY APPROVED MONUMENT BUILDING SIGNAGE
- LIGHT POLE
- LANDSCAPE CURB
- CONCRETE SIDEWALK CURB
- EXISTING CLEAR SIGHT LINE: LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQ. SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3' AND 8' TALL (MEASURED FROM GUTTER PAN) WILL NOT BE ALLOWED IN THIS AREA. SEE DETAIL 1/8P-1.
- PAINT CURB RED, NO PARKING FIRE LANE.
- INLET GRATE FOR DRAINAGE, SEE GRADING AND DRAINAGE PLAN FOR DETAIL.
- TRUNCATED DOME MATT PER ADA.
- TRUCK PATH
- REFUSE ENCLOSURE
- EXISTING SIDEWALK TO REMAIN.
- NEW PROPOSED SIDE WALK.
- DRIVE AISLE PEDESTRIAN CROSSING, REFER TO 14/SP-2.
- PROPERTY LINE.
- PATIO SEATING, SEE INTERIOR DESIGN DRAWINGS.
- ASPHALT.
- LANDSCAPE AREA.
- 3 MOTORCYCLE PARKING SPACES MIN. 4' WIDE X 8' LONG EACH.
- EXISTING BUS ROUTE ON SAN ANTONIO DRIVE.
- SMOKING AREA UNDER PORTE COCHERE CANOPY OUTBOARD COLUMNS.
- 20' LONG CONCRETE APRON IN FRONT OF TRASH ENCLOSURE.
- TRELLIS SHADE STRUCTURE.
- ALL EXISTING LANDSCAPING IN FRONT MEETS ZONING REQUIREMENTS FOR STREET TREES.
- EXISTING LIGHTED FLAGPOLE.

TOTAL SITE AREA

86,122 SF / 1.98 ACRES

PARKING CALCULATIONS

TOTAL GROSS BUILDING AREA (NEW ADDITION) = 22,710 SF
EXISTING BUILDING: 60 ROOMS
NEW ADDITION: 28 ROOMS
TOTAL GUESTROOMS: 88

TOTAL PARKING SPACES REQUIRED = 88 SPACES
TOTAL PARKING SPACES PROVIDED = 89 SPACES

ACCESSIBLE PARKING SPACES REQUIRED (INCLUDING 1 VAN ACCESSIBLE SPACE) = 4 SPACES
ACCESSIBLE PARKING SPACES PROVIDED = 4 SPACES
MOTORCYCLE SPACES PROVIDED = 3 SPACES

BICYCLE PARKING CALCULATIONS

90 PARKING SPACES / 20 = 4.5
TOTAL BIKE RACK SPACES REQUIRED = 5
TOTAL BIKE RACK SPACES PROVIDED = 5

OUTDOOR SPACE CALCULATIONS

22,911 SF X 5% = 1,146 SF
OUTDOOR SPACE REQUIRED = 1,146 SF
OUTDOOR SPACE PROVIDED = 1,390 SF

PROJECT NUMBER: 1000218
APPLICATION NUMBER: 16 EPC-40054

THIS PLAN IS CONSIDERED TO BE THE FINAL DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION. ANY CHANGES TO THIS PLAN MUST BE APPROVED BY THE COMMISSION AND THE CITY OF ALBUQUERQUE.

IF AN INFRASTRUCTURE LIST REQUIRED BY (1) YES (2) NO. IF YES THEN A SET OF APPROVED CIVIL PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN FIELD OF VIEW OF ANY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

Signature 10-11-17
TRAFFIC ENGINEER, TRANSPORTATION DIVISION DATE
Signature 10-11-17
WATER UTILITY DEPARTMENT DATE
Signature 10-11-17
PARKS AND RECREATION DEPARTMENT DATE
Signature 4/11/18
CITY ENGINEER DATE
Signature 08/14/17
ENVIRONMENTAL PLANNING DEPARTMENT (CONDOMINIAL) DATE
Signature 08/14/17
CITY ENGINEER DATE
Signature 4-11-18
CITY ENGINEER, PLANNING DEPARTMENT DATE

City of Albuquerque
Building Safety

SITE PLAN

APR 2 2018
City of Albuquerque
Building Safety

Afra Construction & Design
2501 Yale Blvd SE Suite 102
Albuquerque, New Mexico 87106
Tel 505.242-1745
Fax 505.242-1737

ADDITION TO EXISTING
Homewood Suites
5400 San Antonio Dr. NE
Albuquerque, NM 87109

SP-1

08/10/2017

AFRA CONSTRUCTION, LLC

2501 YALE BLVD. SE, SUITE 102

ALBUQUERQUE, NM 87106

PHONE: 505-242-1745

FAX: 505-242-1737

TRAFFIC CERTIFICATION

I, TAFAZZUL HUSSAIN, NMPE OR NMRA NMRA, OF THE FIRM AFRA CONST. LLC, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 8/10/2017. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY TAFAZZUL H OF THE FIRM AFRA CONST. LLC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 8/26/2019 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR TCL FOR A C.O..

EXCEPTIONS

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

Tafazzul Hussain

ENGINEER'S OR ARCHITECT'S STAMP

Signature of Engineer or Architect

8/28/2019

Date

