



November 27, 2017

Jake Bordenave
Bordenave Designs
PO Box 91194
Albuquerque, NM 87199

RE: Homestead Suite - 5400 San Antonio Dr. NE
Grading and Drainage Plan
Engineer's Stamp Date 11/16/2017
Hydrology File: E18D050

Dear Mr. Bordenave:

Based on the information provided in the submittal received on 9/14/17 the above-referenced Grading Plan cannot be is approved for Building Permit until the following comments are addressed.

1. The existing Public Storm Drain thru this site must remain functional at all times, so it must be constructed in its new location before the existing line under the proposed building is removed. The DRC construction must be accepted by the City before the existing easement can be vacated and prior to Hydrology approval of the G&D Plan for Building Permit.
2. The storm drain design and calculations must be submitted and approved by Hydrology prior to approval of the DRC Work Order Plans. Inlet and HLG calculations for both private and public storm drain should be bound into a report stamped by an engineer. New HGL calculations must account for the increased flows from private storm drain connection to the existing public storm drain which was originally designed for 40 cfs (see as-built records) from San Antonio Ave.,
3. Private maintenance will be required for the piece of pipe that will be left in the Channel Right of way that will just receive private drainage. An Agreement and Covenant will be required prior to DRC approval, and the recording information should be noted on both the DRC Plans and the Grading and Drainage Plan. Profiles of both the public and private pipes should be bound into the report showing Q, V, and the HGL with elevation labels.
4. Add a signature block for the Landfill Gas engineer working for Homestead Suites to "Certify that this G&D Plan is in conformance with the Landfill Mitigation Plan"
5. Keynote # 4 should say private instead of public, and Keynote # 17 needs to be labeled on the plan view.
6. Show the floodplain on the plan view and if any portion of the building is in the floodplain then an Elevation Certificate will be required for the building. The owner has the option to apply to FEMA for a LOMR or LOMR-F to relieve insurance requirements if any.

PO Box 1293

Albuquerque

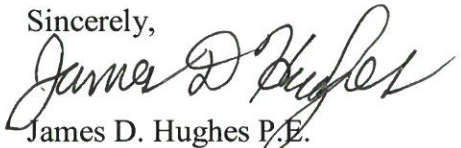
NM 87103

www.cabq.gov

7. The Grading Notes and Erosion Control Notes are shown twice on the same sheet. Delete the redundant notes, and change note 4 in the Grading Notes from Bernalillo County to "City of Albuquerque Standard Specifications for Public Works Construction, 1986 Edition through update #9"
8. Identify the infrastructure that is to be constructed by City Work Order and include the channel Keynote #19. It should be Constructed in accordance with STD DWG 2260 and included in the Agreement and Covenant as privately maintained drainage improvements in a public Right of Way.

If you have any questions, I can be contacted at 924-3986 or jhughes@cabq.gov.

Sincerely,

A handwritten signature in black ink, appearing to read "James D. Hughes". The signature is fluid and cursive, with the first name "James" and last name "Hughes" clearly legible.

James D. Hughes P.E.
Principal Engineer, Planning Dept.
Development Review Services



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 10/2015)

Project Title: Mtn. West Lodging Building Permit #: _____ Hydrology File #: E18/D050
DRB#: 1000216 EPC#: _____ Work Order#: _____
Legal Description: Tract A-3-A, 1 Group Addition
City Address: _____

Applicant: Bordenave Designs Contact: Jake
Address: PO Box 91194, Alb, NM 87199
Phone#: 505-823-1344 Fax#: 505-821-9105 E-mail: jake.bordenave@comcast.net
Other Contact: — Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply:

DEPARTMENT:

- ☒ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
☒ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ OTHER (SPECIFY) _____

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☒ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

NO PRE-DESIGN MEETING?

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

☐ OTHER (SPECIFY) _____

DATE SUBMITTED: _____ By: JAKE BORDENAVE

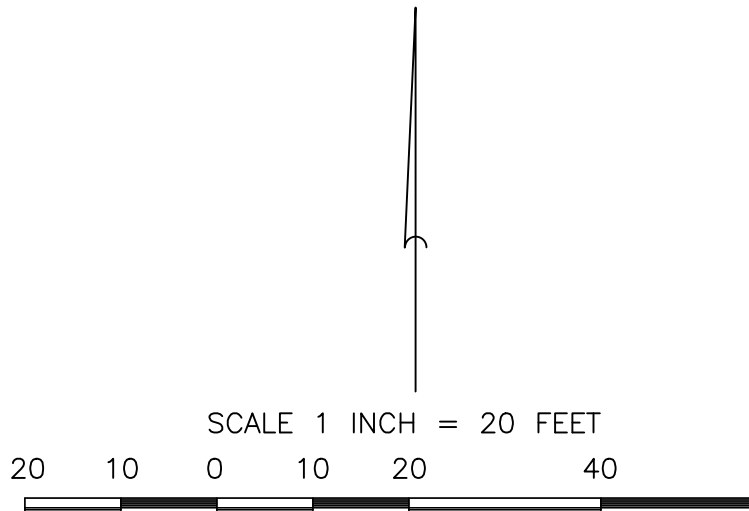
COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____

KEYED NOTES

1. EXISTING BUILDING TO REMAIN.
2. EXISTING CONCRETE SIDEWALK TO REMAIN.
3. EXISTING ASPHALT DRIVEWAY AND PARKING TO REMAIN.
4. EXISTING PUBLIC CONCRETE CHANNEL & ASPHALT BIKE TRAIL (PINO ARROYO).
5. PROPOSED BUILDING. SEE ARCHITECTURAL FOR DETAILS.
6. PROPOSED CONCRETE TURNDOWN SIDEWALK. SEE SHEET C1.2 FOR DETAILS.
7. PROPOSED CONCRETE HEADER CURB. SEE SHEET C1.2 FOR DETAILS.
8. PROPOSED CONCRETE CURB AND GUTTER. SEE SHEET C1.2 FOR DETAILS.
9. PROPOSED HEAVY DUTY ASPHALT PAVEMENT. SEE SHEET C1.2 FOR DETAILS.
10. EXISTING 36" PUBLIC STORM DRAIN TO REMAIN IN PUBLIC EASEMENT ON PRIVATE PROPERTY.
11. EXISTING 36" PUBLIC STORM DRAIN TO BE REMOVED.
12. EXISTING 36" PUBLIC STORM DRAIN TO BECOME PRIVATE STORM DRAIN ON VACATED PUBLIC EASEMENT.
13. EXISTING 36" PUBLIC STORM DRAIN AND 6" MANHOLE (RIM 12.85, INV. 02.62) TO BECOME PRIVATE STORM DRAIN ON PUBLIC PROPERTY.
14. PROPOSED 36" PUBLIC STORM DRAIN IN 30' PUBLIC EASEMENT ON PRIVATE PROPERTY.
15. PROPOSED 6" TYPE 'E' MANHOLE PER COA STD. DWG. 2209. INLET INV. XX, OUTLET INV. XX, RIM 17.1.
16. PROPOSED 6" TYPE 'E' MANHOLE PER COA STD. DWG. 2209. INLET INV. XX, OUTLET INV. XX, RIM 15.3
17. EXISTING MANHOLE FORMED ONSITE. ADJUST ONSITE, CONSTRUCT NEW OR CONSTRUCT 8" TYPE 'C'. TO BE DETERMINED ONSITE WITH CITY DRAINAGE PERSONNEL DURING CONSTRUCTION. INLET INV. 02.01, RIM 08.85.
18. PROPOSED PRIVATE CONCRETE CHANNEL TO BE EXTENDED, PRIVATE DBL. 'D' CATCH BASIN AND 12" OUTLET TO BE CONNECTED TO EXISTING 36" STORM DRAIN. SEE SHEET C1.2 FOR DETAILS.
19. PROPOSED CONCRETE CHANNEL TO EXISTING CONCRETE SIDE INLET TO PINO ARROYO CHANNEL.
20. PROPOSED 12:1 CONCRETE SIDEWALK RAMP w/ 24" TRUNCATED DOME MAT AT BASE.
21. 10"x10" CONCRETE OR POLY CARBONATE CATCH BASIN w/ 6" PVC OR SMOOTH WALL HDPE OUTLET PIPE. OUTLET INV. 14.95. SEE SHEET C1.2 FOR DETAILS.
22. 10"x10" CONCRETE OR POLYCARBONATE CATCH BASIN w/ 6" PVC OR SMOOTH WALL HDPE OUTLET PIPE. OUTLET INV. 14.45. SEE SHEET C1.2 FOR DETAILS.
23. MASONRY RETAINING WALL. SEE STRUCTURAL PLANS FOR DETAILS.
24. EXISTING 30' WIDE PUBLIC STORM DRAIN EASEMENT.
25. EXISTING 10' WIDE PUBLIC UTILITY EASEMENT.

DRAINAGE NOTES

1. THE SITE WAS PREVIOUSLY DEVELOPED AS AN HOTEL. THAT USE WILL CONTINUE AND THE FACILITY WILL BE EXPANDED INTO EXISTING PARKING AREA AND EXISTING BARE LAND.
2. THE NEWLY DEVELOPED AS WELL AS THE EXISTING RUNOFF WILL BE DIRECT DISCHARGED TO THE PINO ARROYO VIA IMPERMEABLE SURFACES DUE TO LAND FILL CONCERNS.
3. EXISTING AND PROPOSED FLOW RATES WILL NOT BE TABULATED AND COMPARED. INCOMING FLOW RATES (SHOWN ON THE AS-BUILT PLANS) IN THE STORM DRAIN WILL BE USED TO ESTABLISH GRADES AND PIPE SIZES OF THE NEW PORTION OF THE STORM DRAIN. DESIGN FLOW RATE, VELOCITY, WATER SURFACE AND HGL WILL BE SHOWN ON THE CITY APPROVED WORK ORDER PLANS.
4. AN ESC PLAN IS REQUIRED FOR THE SITE.
5. THE BULK OF THE SITE IS LOCATED IN AN AREA DESIGNATED 'ZONE X' PER FEMA FIRM MAP NO. 137H, DATED AUGUST, 2012.
6. EXISTING TOPOGRAPHY FOR THE SITE WAS OBTAINED BY CONSTRUCTION SURVEY TECHNOLOGIES, INC. IN JUNE, 2015 AND HARRIS SURVEYING IN OCTOBER, 2017.



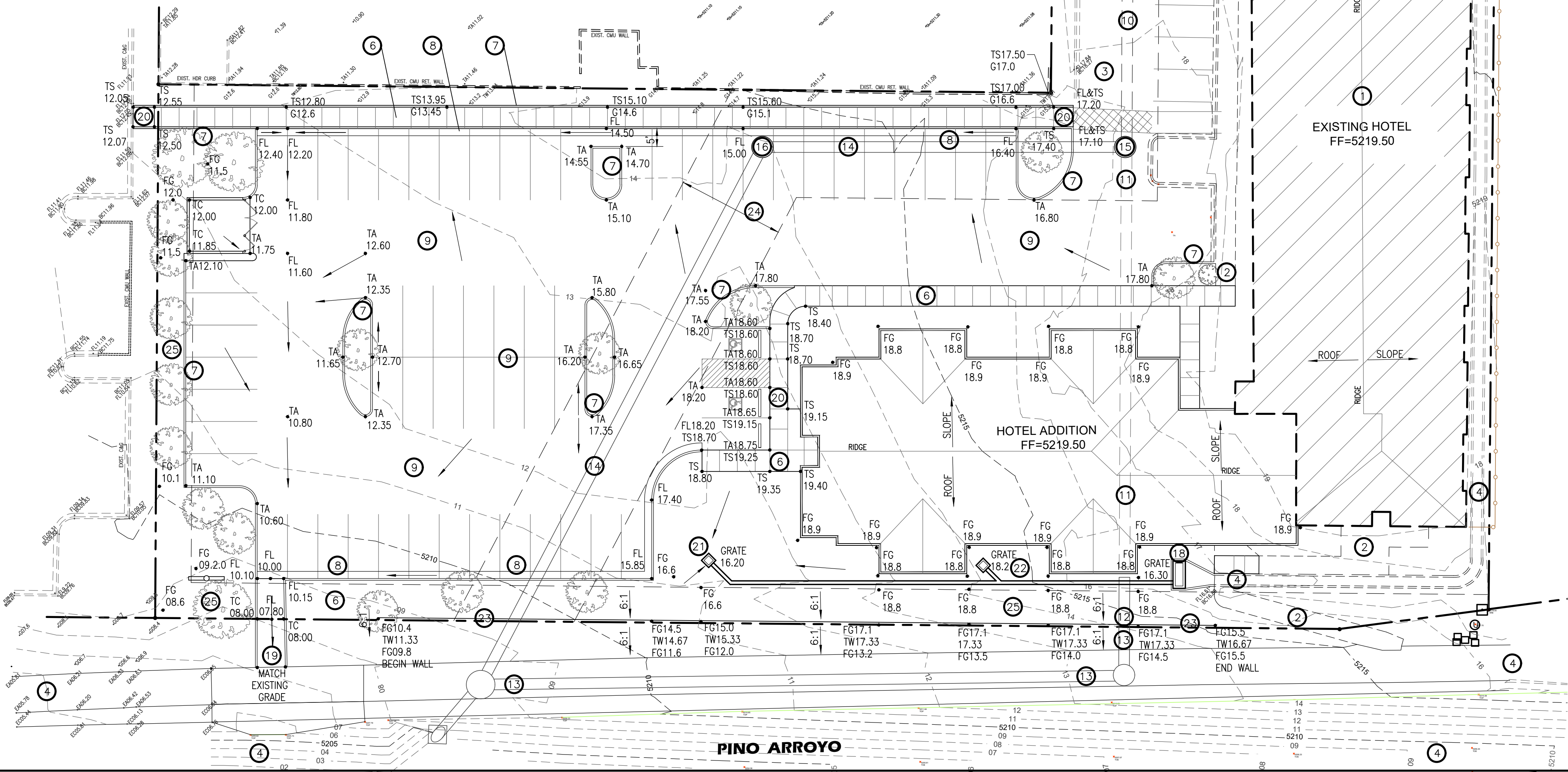
A north arrow pointing upwards, consisting of a vertical line with a small semi-circle at the top. Below the arrow is a graphic scale bar with alternating black and white segments. Above the scale bar, the text "SCALE 1 INCH = 20 FEET" is written. Below the scale bar, the numbers "20", "10", "0", "10", "20", and "40" are marked at regular intervals.

[illegible]

LEGAL DESCRIPTION		
TRACT A-3-A, J GROUP ADDITION		
PERMANENT BENCHMARK		
ACS STATION	, ELEVATION	(NAVD 1988)
GRADING NOTES		
1. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT THE NEW MEXICO ONE CALL SYSTEM AT 260-1990 FOR LOCATION OF EXISTING UTILITIES. 2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY. 3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH. 4. ALL CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE COUNTY OF BERNALILLO STANDARDS AND PROCEDURES.		
EROSION CONTROL NOTES		
1. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO PUBLIC RIGHT-OF-WAY OR PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY THE CONSTRUCTION OF TEMPORARY SOIL BERMS OR SILT FENCES AT PROPERTY LINES AND WETTING SOIL TO PREVENT IT FROM BLOWING. IF THE SITE IS CONTROLLED BY A SWPPP PLAN, EROSION CONTROL SHALL BE ACCOMPLISHED ACCORDING TO THE PLAN. 2. THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET. 3. THE CONTRACTOR SHALL SECURE THE APPROPRIATE BARRICADING, TOP SOIL DISTURBANCE AND ACCESS PERMITS FROM THE COUNTY PRIOR TO BEGINNING CONSTRUCTION.		

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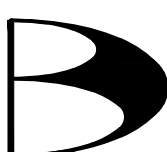


no.	date	remarks			by
REVISIONS					
		project title HOMESTEAD SUITES SAN ANTONIO NE ALBUQUERQUE, NM			
		sheet title CONCEPTUAL GRADE AND DRAIN			
drawn by METO		design by JJB		project no. 1715	
11/16/17		BORDENAVE DESIGNS P.O. BOX 91194, ALBUQUERQUE, NM 87199 Office (505)823-1344 Cell (505)480-6812 Email JakeBordenave@comcast.net		sheet C1.1	



11/16/17

REVISIONS		
project title	HOMESTEAD SUITES SAN ANTONIO NE ALBUQUERQUE, NM	
sheet title	SITE DETAILS & DRAINAGE CALCS	
drawn by	design by	project no.
METO	JJB	1715



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sheet

C1.2