

## DRAINAGE INFORMATION

### LOCATION & DESCRIPTION

THE PROPOSED SITE IS 1.71 ACRES LOCATED NORTH OF THE PINO ARROYO, SOUTH OF SAN ANTONIO DRIVE, AND EAST OF I-25, AS SHOWN ON THE VICINITY MAP ON SHEET C2. IT IS CURRENTLY UNDEVELOPED WITHIN A LANDFILL AREA.

### FLOODPLAIN STATUS

THIS PROPERTY, AS SHOWN ON FEMA'S FLOOD INSURANCE RATE MAP 35001C0137 D, DATED SEPTEMBER 20, 1996 IS NOT WITHIN A DESIGNATED 100-YEAR FLOODPLAIN. A PORTION OF THE FIRM PANEL WITH THE SITE DESIGNATED ON IT IS INCLUDED ON SHEET C1.

### METHODOLOGY

THE HYDROLOGY FOR THIS PROJECT WAS ANALYZED USING THE QUICK CALCULATIONS OF THE JUNE 1997 RELEASE OF THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, SECTION 22.2.

### PRECIPITATION

THE 100-YR 6-HR DURATION STORM WAS USED AS THE DESIGN STORM FOR THIS ANALYSIS. THIS SITE IS WITHIN ZONE 2 AS IDENTIFIED IN THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, SECTION 22.2. TABLES WITHIN THIS SECTION WAS USED TO ESTABLISH THE 6-HOUR PRECIPITATION, EXCESS PRECIPITATION, AND PEAK DISCHARGE.

### EXISTING DRAINAGE

THE PROPERTY SITS ON TOP OF A RIDGE BETWEEN SAN ANTONIO DRIVE AND THE PINO ARROYO. IT IS UNDEVELOPED BUT IS FULLY DISTURBED WITH HARD COMPACTED EARTH WITH NO VEGETATION AND CONTAINS THE DRIVEWAY TO ACCESS THE PROPERTY TO THE WEST. THEREFORE, IT HAS BEEN ANALYZED AS 89% LAND TREATMENT "C" AND 11% LAND TREATMENT "D" FOR EXISTING CONDITIONS. HAWTHORN SUITES LIMITED IS CURRENTLY UNDER CONSTRUCTION TO THE EAST AND SOUTH OF THIS SITE. LARRY READ AND ASSOCIATES ALSO PREPARED THE GRADING AND DRAINAGE PLAN FOR THIS ADJACENT HOTEL. PROPOSED GRADES FOR ADJACENT PROPERTY ARE INCLUDED IN THIS GRADING PLAN TO DEMONSTRATE THAT ALL RUNOFF FROM THE ADJACENT PROPERTY IS DIRECTED AWAY FROM THIS SITE. SAN ANTONIO DRIVE AND THE EXISTING DRIVEWAY, TO THE WEST, ARE BOTH LOWER THAN THIS SITE. THEREFORE, THERE ARE NO OFFSITE DRAINAGE BASINS CONTRIBUTING TO THIS SITE. THIS SITE CURRENTLY DRAINS 5.7 CFS VIA SURFACE FLOW INTO SAN ANTONIO DRIVE. MOST OF THE RUNOFF ENTERS THE STREET FROM THE EXISTING DRIVEWAY TO THE ADJACENT PROPERTY TO THE WEST. HOWEVER, PORTIONS OF THE SITE DRAIN ACROSS THE EXISTING SIDEWALK ALONG SAN ANTONIO DRIVE.

### DEVELOPED CONDITION

THE PROPOSED DEVELOPMENT WILL CONTINUE TO UTILIZE FREE DISCHARGE INTO SAN ANTONIO DRIVE. A STORM DRAIN AND BATTERY OF INLETS WILL INTERCEPT APPROXIMATELY 40% OF THE SITE (SOUTHWEST AREA) AND THE SOUTHEAST PARKING LOT AND DISCHARGE TO THE DRIVEWAY ENTRANCE TO SAN ANTONIO DRIVE. THE REMAINING PORTION OF THE SITE WILL DISCHARGE TO THE SAME DRIVEWAY VIA SURFACE RUNOFF. THEREFORE, THE ENTIRE SITE'S RUNOFF WILL BE DIRECTED INTO SAN ANTONIO DRIVE VIA THE DRIVEWAY INSTEAD OF ALLOWING RUNOFF TO CROSS THE SIDEWALK. THIS INFILL COMMERCIAL DEVELOPMENT WILL INCREASE THE RUNOFF IN SAN ANTONIO DRIVE BY 2.0 CFS WHICH IS INSIGNIFICANT TO THE TOTAL RUNOFF IN THE STREET. THEREFORE, THIS SITE CAN BE DEVELOPED WITH FREE DISCHARGE AND NEGLIGIBLE INCREASE TO DOWNSTREAM RUNOFF.

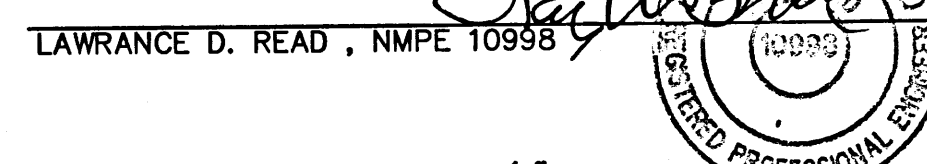
### DRAINAGE CERTIFICATION

I, LAWRENCE D. READ, NMPE 10998, OF LARRY READ & ASSOCIATES, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 05-20-03. THE RECORD INFORMATION EDITED INTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY REX J. VOGLER, NMPS 10466, OF THE FIRM RIO GRANDE SURVEYING. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 05-14-04 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

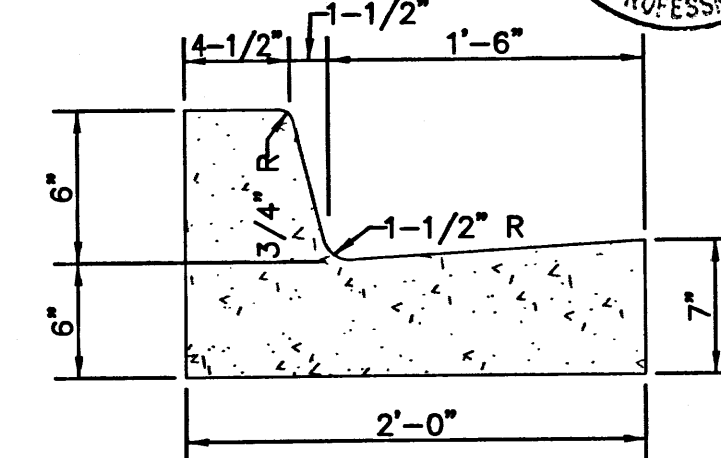
THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

EXCEPTIONS PRIVATE ENTRANCE AND DRIVE ON SAN ANTONIO WAS NOT RECONSTRUCTED TO FACILITATE EXISTING TRAFFIC TO CRACKER BARREL RESTAURANT.

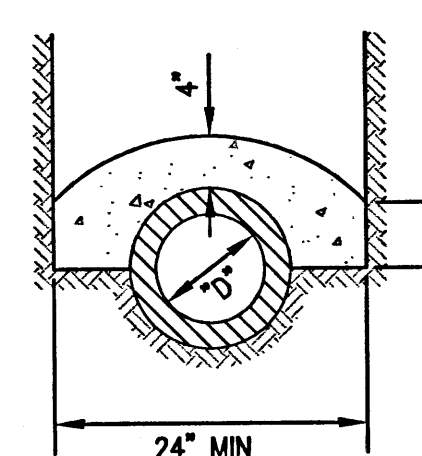
LAWRENCE D. READ, NMPE 10998



5/14/04  
DATE



STANDARD CURB AND GUTTER  
N. T. S.



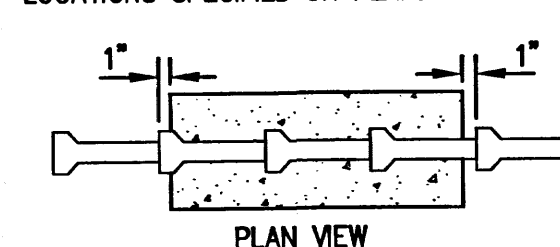
CONCRETE ENCASEMENT  
N. T. S.

### CONSTRUCTION NOTES:

1. PROVIDE 1/2" EXPANSION JOINTS AT 36" O.C., AT IMMOVABLE OBJECTS AND AT THE BEGINNING AND END OF CURVES.
2. PROVIDE CONTRACTION JOINTS AT 6' O.C.
3. ALL EXPOSED CONCRETE CORNERS TO HAVE 3/4" RADII.

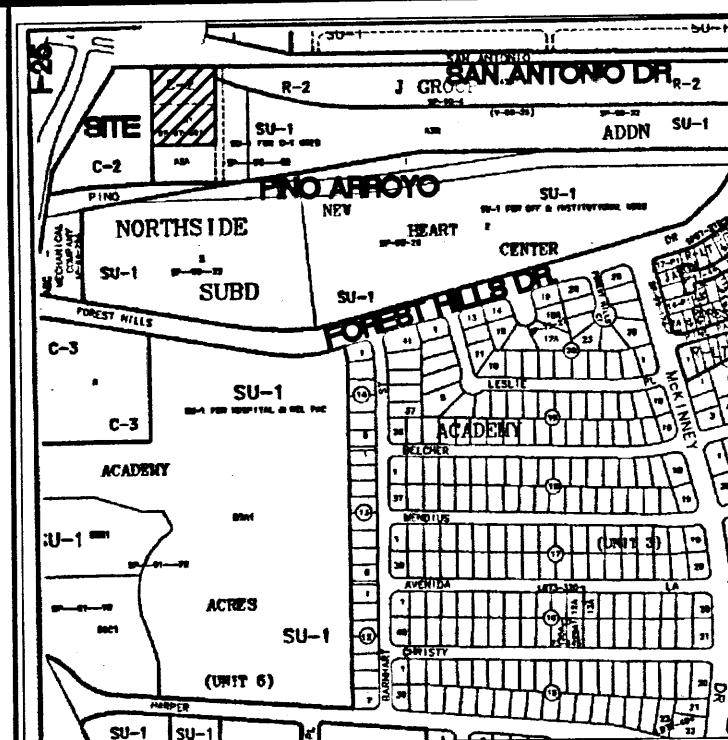
### NOTES:

1. EXTEND BOTH ENDS OF CRADLE OR ENCASEMENT TO A POINT ONE INCH SHORT OF FIRST PIPE JOINT BEYOND LOCATIONS SPECIFIED ON PLAN.



PLAN VIEW

2. APPLY FORM OIL, THIN PLASTIC SHEET, OR OTHER ACCEPTABLE MATERIAL TO PIPE, TO PREVENT BOND BETWEEN PIPE AND CONCRETE



VICINITY MAP E-18

### LEGAL DESCRIPTION

PARCEL A-1, J GROUP ADDITION,  
CITY OF ALBUQUERQUE,  
BERNALILLO COUNTY, NEW MEXICO

### ACS BENCHMARK

CITY OF ALBUQUERQUE STATION NO.  
"125-14", BEING AN ACS MONUMENT, WITH  
AN ELEVATION OF 5196.73

### SURVEY NOTES

FIELD SURVEY BY: HARRIS SURVEYING, INC.  
2412-D MONROE ST. NE  
ALBUQUERQUE, NM 87110

SURVEY DATE: FEB. 2003  
PHONE: (505) 889-8056  
FAX: (505) 889-8645

LOCATION OF ALL UTILITIES SHOWN ON THESE PLANS ARE BASED ON INFORMATION SUPPLIED TO THE SURVEYOR BY THE APPROPRIATE UTILITY COMPANIES. NEITHER THE ENGINEER OR SURVEYOR GUARANTEES THESE LOCATIONS NOR THE FACT THAT SOME UTILITIES MIGHT BE LEFT OUT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT BLUE STAKE AND ANY OTHER INVOLVED AGENCIES TO LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION.

THIS IS NOT A BOUNDARY SURVEY AND SHOULD NOT BE USED BY THE OWNER AS SUCH.

### FLOODPLAIN

THE PROPERTY SHOWN HEREON DOES NOT LIE WITHIN ANY DESIGNATED FLOODPLAIN PER THE FLOOD INSURANCE RATE MAP OF THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMMUNITY-PANEL NO. 35001C0137 D; EFFECTIVE DATE SEPTEMBER 20, 1996 AS SHOWN HEREON.



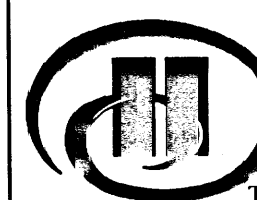
GRAPHIC SCALE ( 1 INCH = 20 FEET )

LARRY READ & ASSOCIATES  
Civil Engineers

4800 Juan Tabo Blvd. NE Suite C  
Albuquerque, New Mexico 87111  
(505) 237-8421

Afra Construction  
& Design

7004 Avenida La Costa NE  
Albuquerque, New Mexico 87109  
Tel 505.315.1482



Hilton Garden Inn  
San Antonio  
Albuquerque, New Mexico

C2

### STORM DRAIN NOTE:

INSTALL 12" PIPE WITH INVERT  
0.5" ABOVE GUTTER FL. MITER  
12" STORM DRAIN FLUSH WITH  
FACE OF CURB FROM FL TO  
TCC. MITER TOP HALF OF 12"  
PIPE AT 45° ANGLE AWAY FROM  
CURB.

C1  
R = 1462.00'  
D = 00°47'40"  
CB = S 69°59'52" E  
CH = 20.27'

C2  
R = 1388.00'  
D = 06°35'12"  
CB = S 73°04'47" E  
CH = 159.47'  
L = 159.56'

PARCEL 16-QCD-1  
LANDS OF N.M. ST. HWY. COMM.

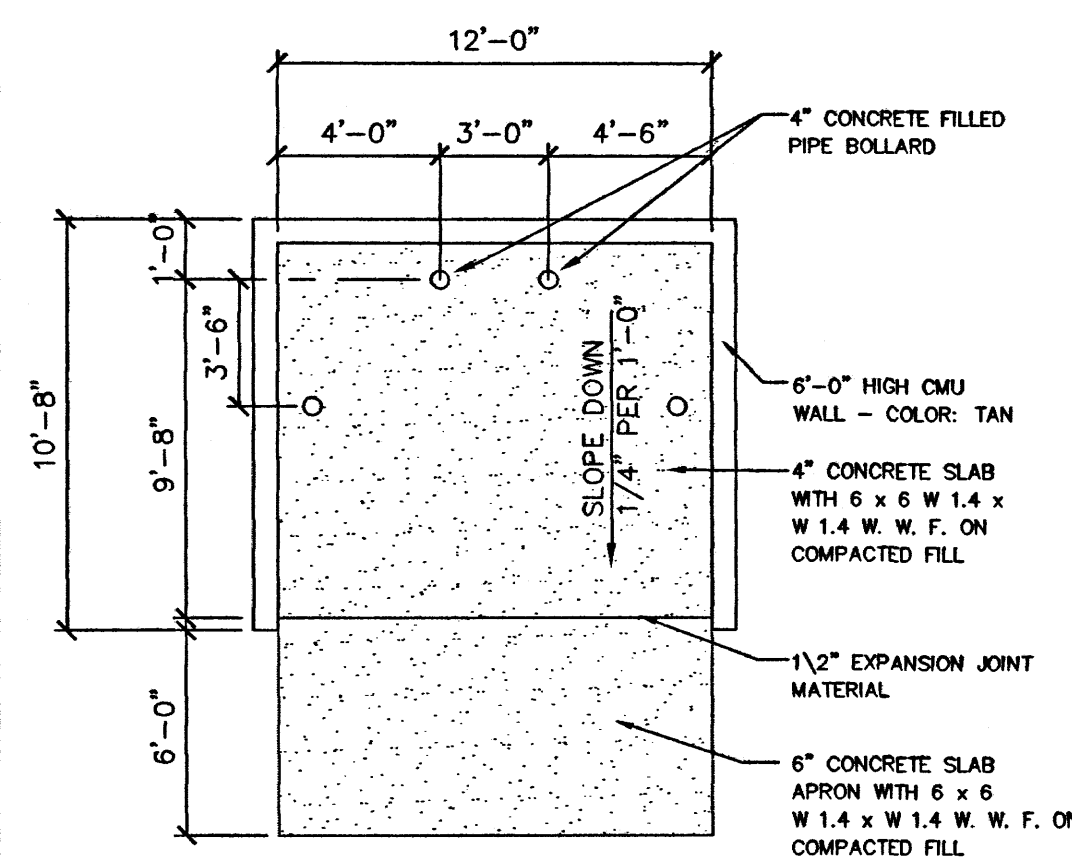
PARCEL A-1

FF 5209.00

CONC. ENCASE EX  
SAS FULL LENGTH  
OF PROPERTY PER  
DETAIL THIS SHEET.

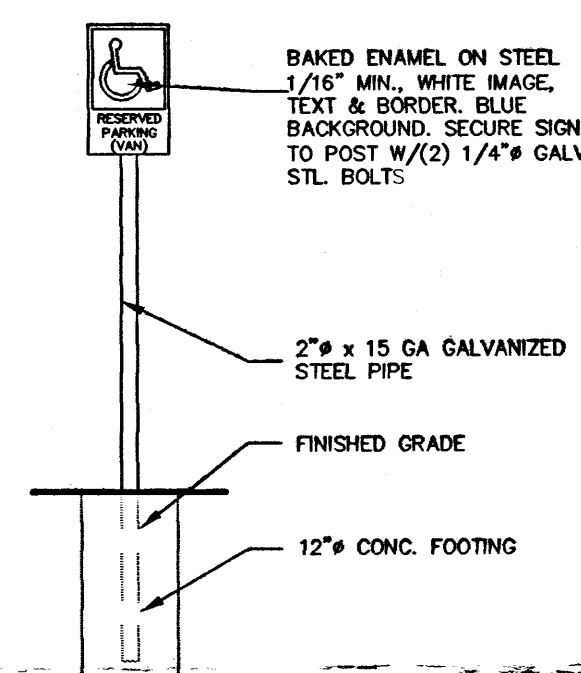
TRACT A-3-A  
1.9747 ACRES





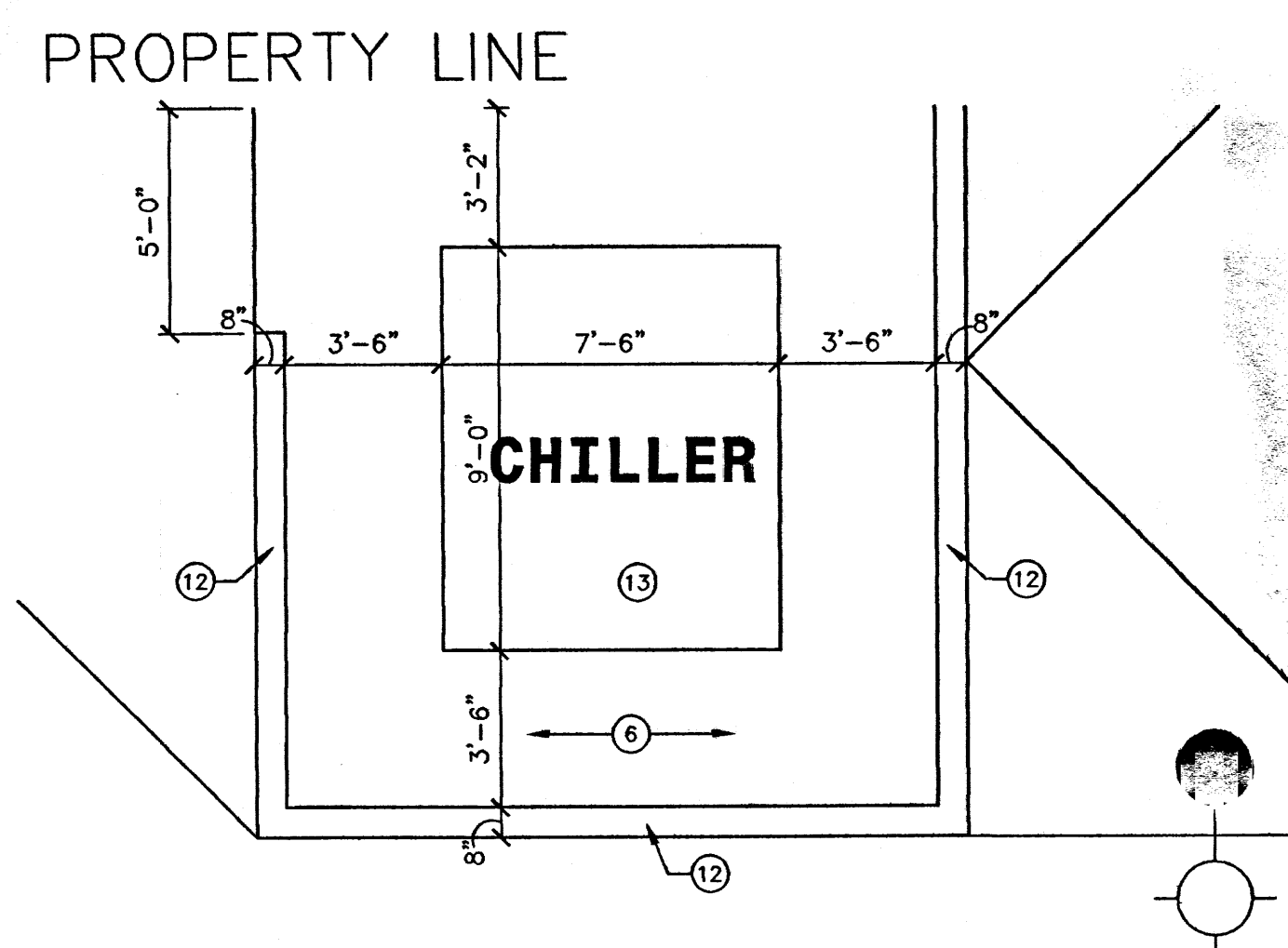
# 1 TRASH ENCLOSURE DETAIL

SP-1 SCALE: 1/2"=1'-0"



# 2 HANDICAP SIGN DETAIL

SP-1 SCALE: 1/2"=1'-0"

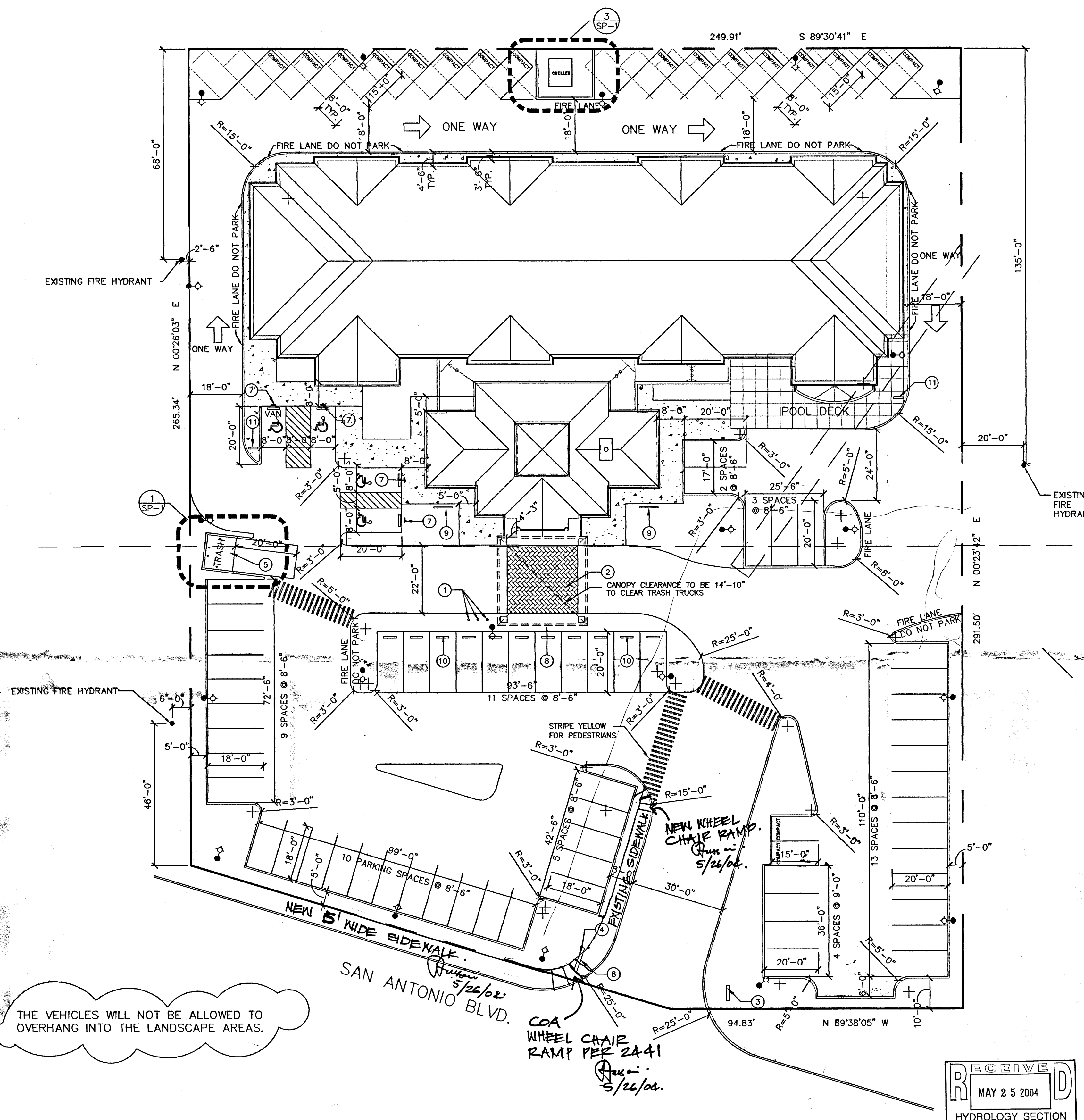


# 3 CHILLER PAD DETAIL

SP-1 SCALE: 1/4"=1'-0"

## PARKING

90 GUEST ROOMS = 90 PARKING SPACES  
 10% DISCOUNT FOR BUS STOP = -9 SPACES  
 TOTAL PARKING REQUIRED = 81 SPACES  
 TOTAL PARKING PROVIDED = 82 SPACES  
 ACCESSIBLE SPACES = 3 SPACES  
 ACCESSIBLE VAN SPACES = 1 SPACE



## SITE PLAN

SCALE: 1"= 20'-0"

## KEYED NOTES

- 3 FLAGPOLES W/ UPLIGHTS.
- KEYSTONE PAVERS UNDER CANOPY OVER 4" THICK CONCRETE SLAB.
- MONUMENTAL SIGN.
- PYLON SIGN.
- DUMPSTER AND ENCLOSURE WITH GATE TO SCREEN.
- CONCRETE CHILLER PAD 15'-10"x16'-4".
- HANDICAP SIGN. SEE DETAIL 2/SP1
- PREMISE ID (5320 SAN ANTONIO)
- BIKE RACK FURNISHED AND INSTALLED BY G. CONTRACTOR
- CONCRETE WHEEL STOPS - TYPICAL
- POST SIGN "DO NOT ENTER WRONG WAY"
- 8" THICK SPLIT-FACE CMU BLOCK WALL ENCLOSURE 4'-8" TALL
- CHILLER SIZE 7'-6"x9'-0"x4'-4" HIGH.

## GENERAL NOTES

- REFER TO SHEET L-1 FOR LANDSCAPING PLAN
- REFER TO SHEET E-1 FOR SITE LIGHTING
- FOR PERMANENT INSTALLATION OF ALL NON-ELECTRICAL SIGNS AND FLAG POLES THAT PENETRATE THE GROUND SURFACE NO SPECIAL REQUIREMENTS RELATIVE TO LANDFILL GASES ARE NEEDED.

## LEGEND

- LIGHT POLES 16'-0" TALL

## TRAFFIC CIRCULATION LAYOUT APPROVED

Signed: [Signature] Date: 5/24/04

## ARCHITECTURAL SITE PLAN

NORTH SCALE: 1"=20'

Afra Construction & Design  
 7004 Avenida La Costa NE  
 Albuquerque, New Mexico 87109  
 Tel 505.315.1452

Hilton Garden Inn  
 5320 San Antonio Dr. NE  
 Albuquerque, NM 87109

SP-1

10.28.03