

## **Cherne, Curtis**

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**From:** Cherne, Curtis  
**Sent:** Wednesday, February 04, 2015 12:24 PM  
**To:** Reed, Keith; Biazar, Shahab  
**Cc:** Flores, David M.; Biazar, Shahab  
**Subject:** RE: San Antonio Trail

Keith,

The channel is the COA's.

Per the approved grading plan for the Office of the State Engineer, the side inlet to the channel was built per CPN 735184. The slope is backwards, most likely due to settling which is due to the area being a former landfill. They are supposed to slope towards the channel at 2%.

Per the approved grading plan (E18D057) for the State Office Building (west of State Engineer), the drive aisle is to drain to the west to the side inlet, not south onto the bike trail.

Yes it would be acceptable to build a curb on your property. I take it you would go from the State Office Building low spot to the channel side inlet. One tricky thing is whether the curb, due to the weight of concrete, will sink as other things out there are.

It may be better to slope pave the area with an invert similar to a valley gutter rather than build a curb.

It would be preferable for the property owner to fix the issue on their side. Since this site is not draining per the approved drainage plan, the site is in violation of the Drainage Control Ordinance. In addition, it is causing damage to City property. Hydrology on the behalf of the City Engineer enforces the Drainage Control Ordinance when reviewing plans as well as with drainage problems. However, anyone can use the Drainage Control Ordinance if their property is adversely affected by development.

I throw in that later part, because Hydrology does not have proper staffing to chase all drainage problems in the City and prefer to defer to the affected City agency. We have examples of letters we have written people if you choose to go that route.

Curtis

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**From:** Reed, Keith  
**Sent:** Tuesday, February 03, 2015 2:07 PM  
**To:** Biazar, Shahab; Cherne, Curtis  
**Cc:** Flores, David M.  
**Subject:** FW: San Antonio Trail

Good Afternoon Shahab & Curtis,

As you can see from the attached location map, we have drainage from NMED's office on San Antonio causing us problems on our trail. We have just repaired several sinkholes that developed under our trail as a result of this offsite drainage that isn't making it to their rundown at the southwest corner of their property. It appears the rundown may have been constructed not that long ago. In any case, I'm wondering whether I can construct a curb on our property at the low point in order to force their water from undermining our trail and the arroyo lining. I would rather the property owner step up and fix this issue before they have bigger problems with AMAFCA.

Please let me know if you have any thoughts or history on this matter.

Thanks,

Keith

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**From:** Abbey, Susannah  
**Sent:** Tuesday, February 03, 2015 10:18 AM  
**To:** Reed, Keith  
**Cc:** Flores, David M.  
**Subject:** San Antonio Trail

Hi Keith,

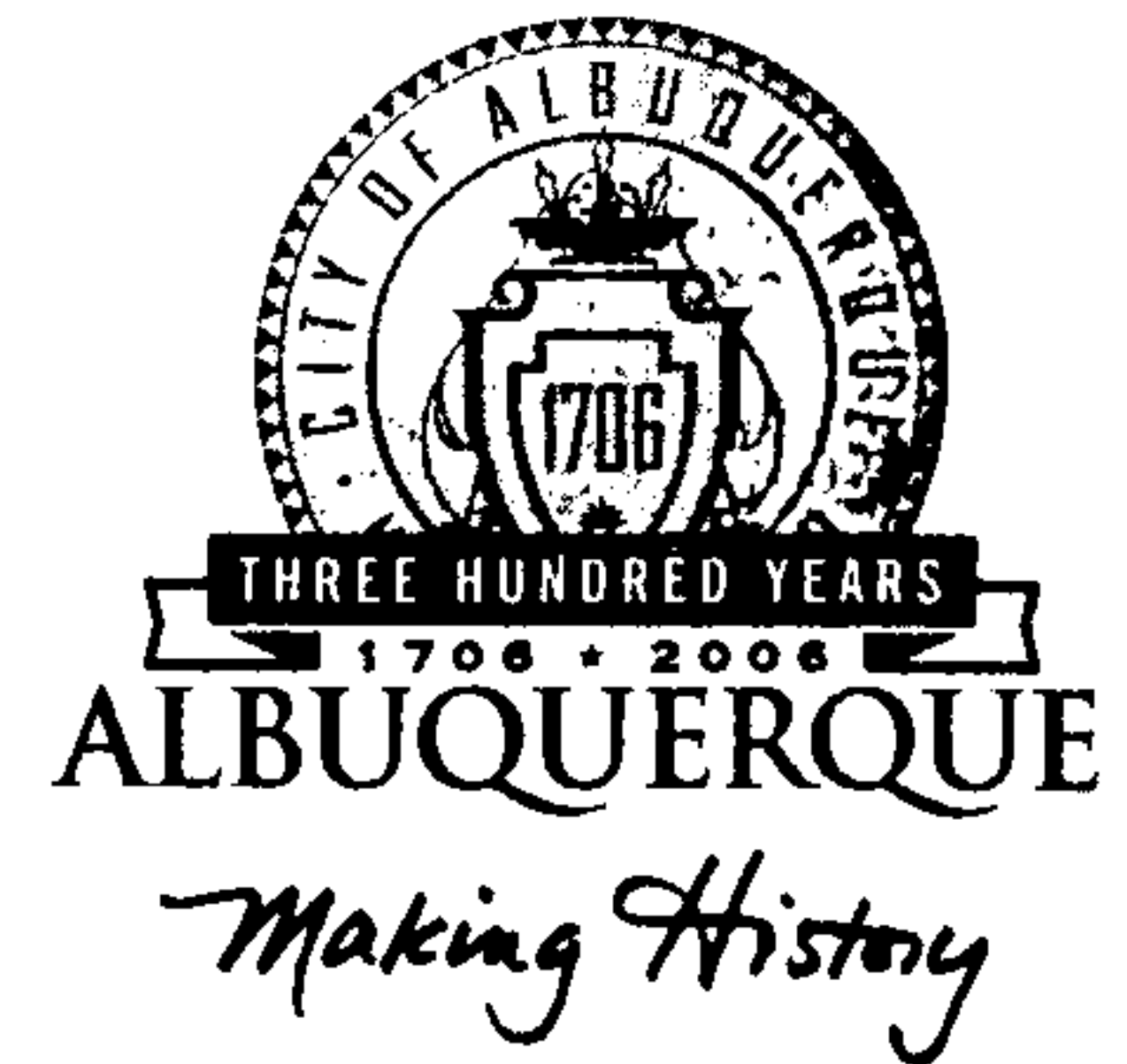
Here are some images of the San Antonio Trail repairs before and after. As you can see, there is a problem with water flowing off the adjacent parking area (private property owner) onto the trail. Last month, we hired Franklin's to re-grade the trail cross slope so it would shed the water and let it flow into the arroyo. However, they were not able to completely solve the problem. Water is still ponding on the trail and Pete is concerned that if it ices up we will have a liability issue. Not only that, but now the water that crosses the trail is undercutting the channel lining.

I don't know if it will be possible for us to fix this problem ourselves. I am wondering if we will need to ask the property owner to address the massive amounts of drainage coming off this parking lot. Do you think this is the case and, if so, what will be the first step?

**Susannah Abbey, PLA**  
Project Coordinator, Parks and Recreation Department  
1801 4th St. NW  
Albuquerque, New Mexico 87102

(505) 768-5351

# CITY OF ALBUQUERQUE



May 5, 2005

Mr. Morey Walker, P.E.  
**WALKER ENGINEERING**  
905 Camino Sierra Vista  
Santa Fe, NM 87505

**Re: NM REGULATION & LICENSING OFFICE BUILDING**  
**5500 San Antonio Dr. NW**  
**Approval of Temporary Certificate of Occupancy (C.O.)**  
**Engineer's Stamp dated 12/03/2004 (E-18/D57/M)**  
**Certification dated 05/05/2005**

Dear Morey:

P.O. Box 1293

Based upon the information provided in your submittal received 05/05/2005, the above referenced certification is approved for release of 30-day Temporary Certificate of Occupancy by Hydrology.

Albuquerque

Upon acceptance of noted exception(s) listed in your Drainage Certification, please resubmit an updated Certification for Permanent C.O.

New Mexico 87103

If you have any questions, you can contact me at 924-3982.

Sincerely,

Arlene V. Portillo  
Plan Checker, Planning Dept. - Hydrology  
Development and Building Services

[www.cabq.gov](http://www.cabq.gov)

C: Phyllis Villanueva  
File


**DRAINAGE CERT W/ VERIFICATION BY ENGINEER OF REOCD****DRAINAGE CERTIFICATION**

I, Morey Walker, NMPE 12105, OF THE FIRM Walker Engineering, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 12-03-04. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR 30 day temporary certificate of occupancy.

As noted on the C-1 plan, currently the arroyo rundown, the north west and north east side walks are not built. Anticipate these items being completed within 60 days.

Currently there are no known deficiencies or corrections required

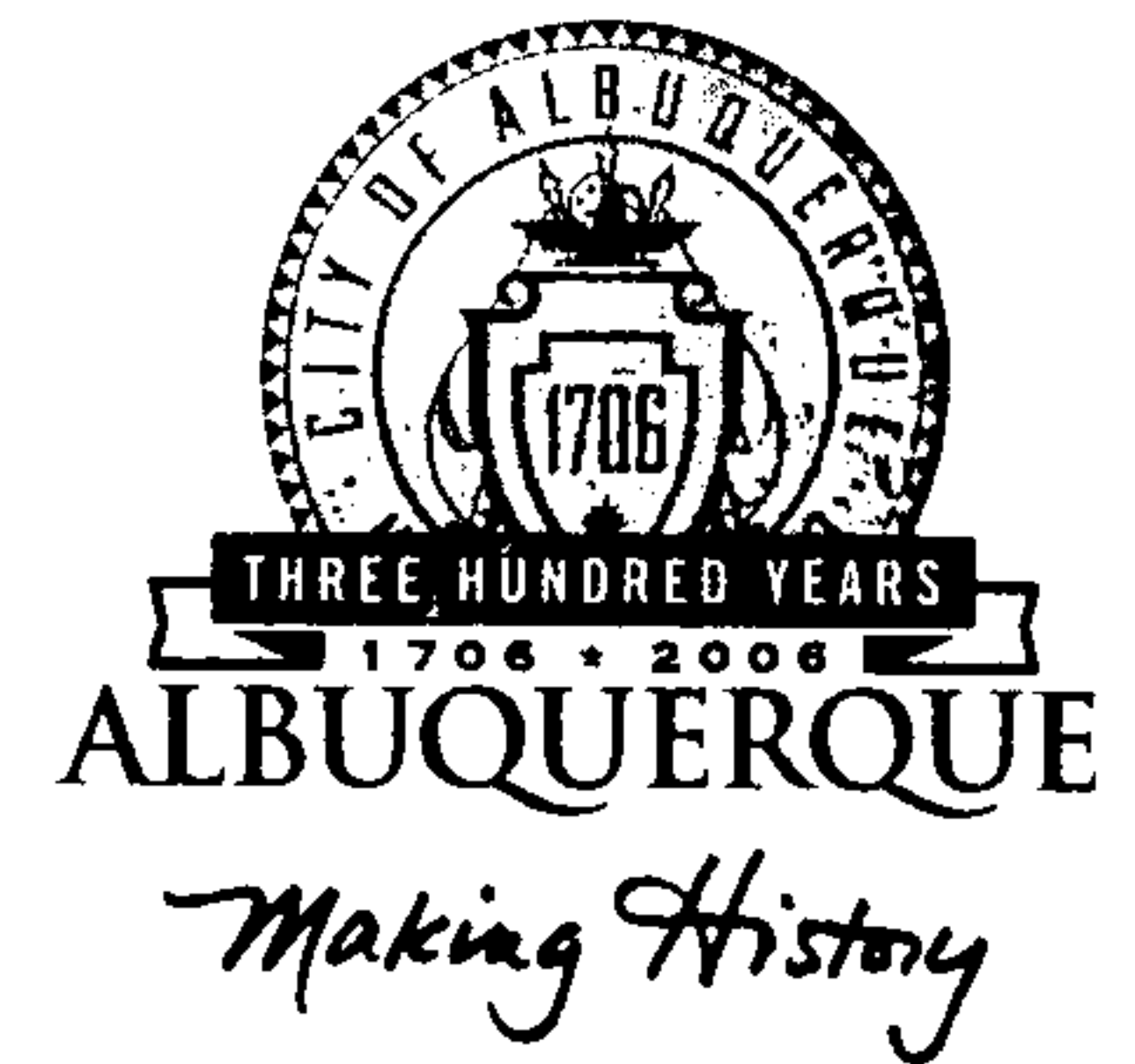
THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

  
Morey Walker, NMPE 12105  
5/5/05  
DATE





# CITY OF ALBUQUERQUE



February 11, 2005

Morey Walker, P.E.  
Walker Engineering  
905 Camino Sierra Vista  
Santa Fe, NM 87505

**Re: NM Regulation & Licensing Office Building, 5500 San Antonio NE,  
Grading and Drainage Plan, Engineer's Stamp dated 12-03-04 (E-  
18/D57A)**

Dear Mr. Walker,

Based upon the information provided in your re-submittal received 12-03-04, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. **Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.**

P.O. Box 1293

This plan contains the construction of Public Infrastructure. Therefore, a separate DRC/Permit Approval and Work Order are required.

Albuquerque

This project requires a National Pollutant Discharge Elimination System (NPDES) permit. If you have any questions regarding this permit please feel free to call the DMD Storm Drainage Design section at 768-3654 (Charles Caruso).

New Mexico 87103

If you have any questions, please feel free to contact me at 924-3994.

Sincerely,

www.cabq.gov

Tony Loyd  
Engineer Associate  
Planning Department  
Development and Building Services Division  
Transportation Section

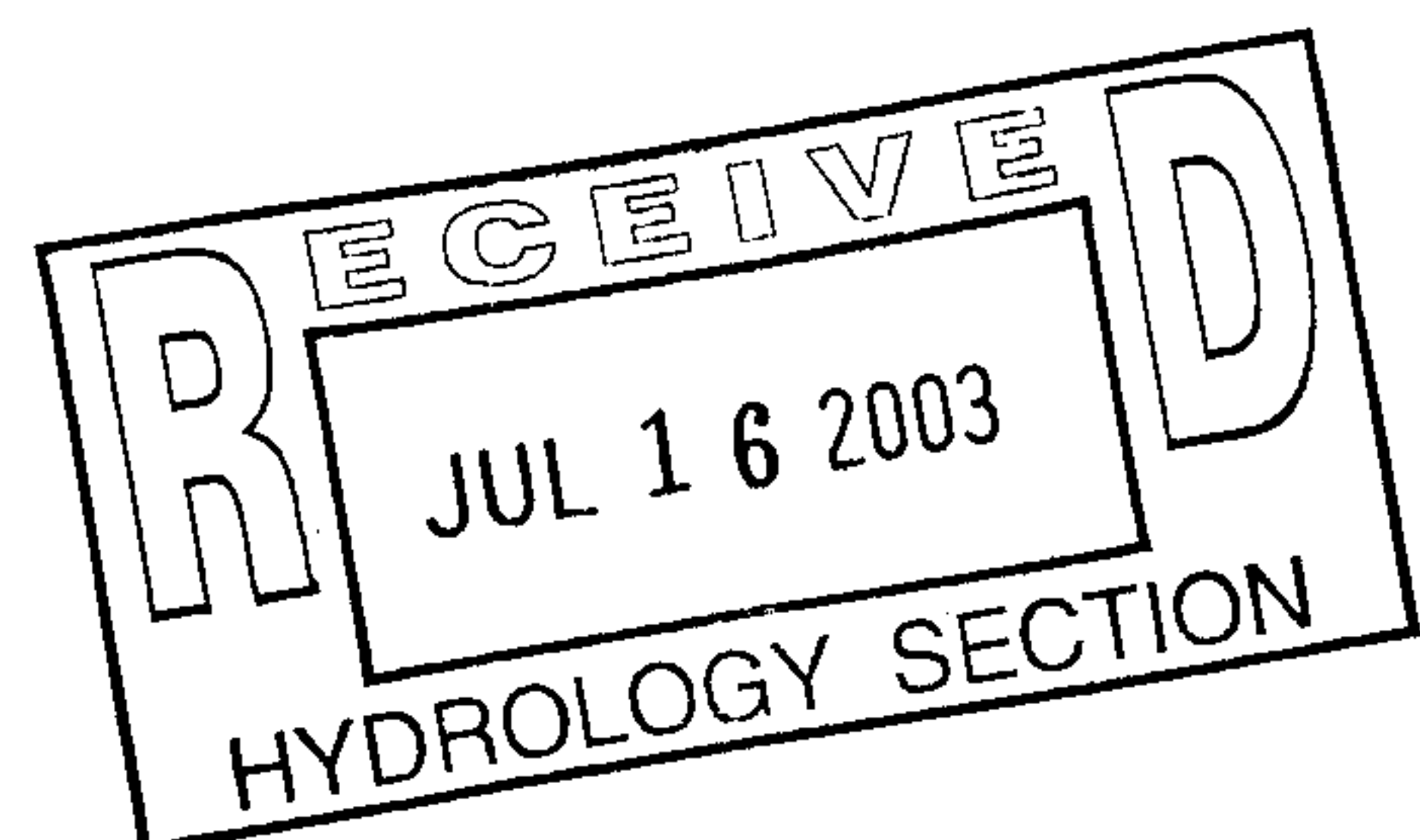
*Blb*

C: Charles Caruso, DMD Storm Drainage Design  
File

# Tract A-3-B LOT 1

City of Albuquerque

Drainage Study



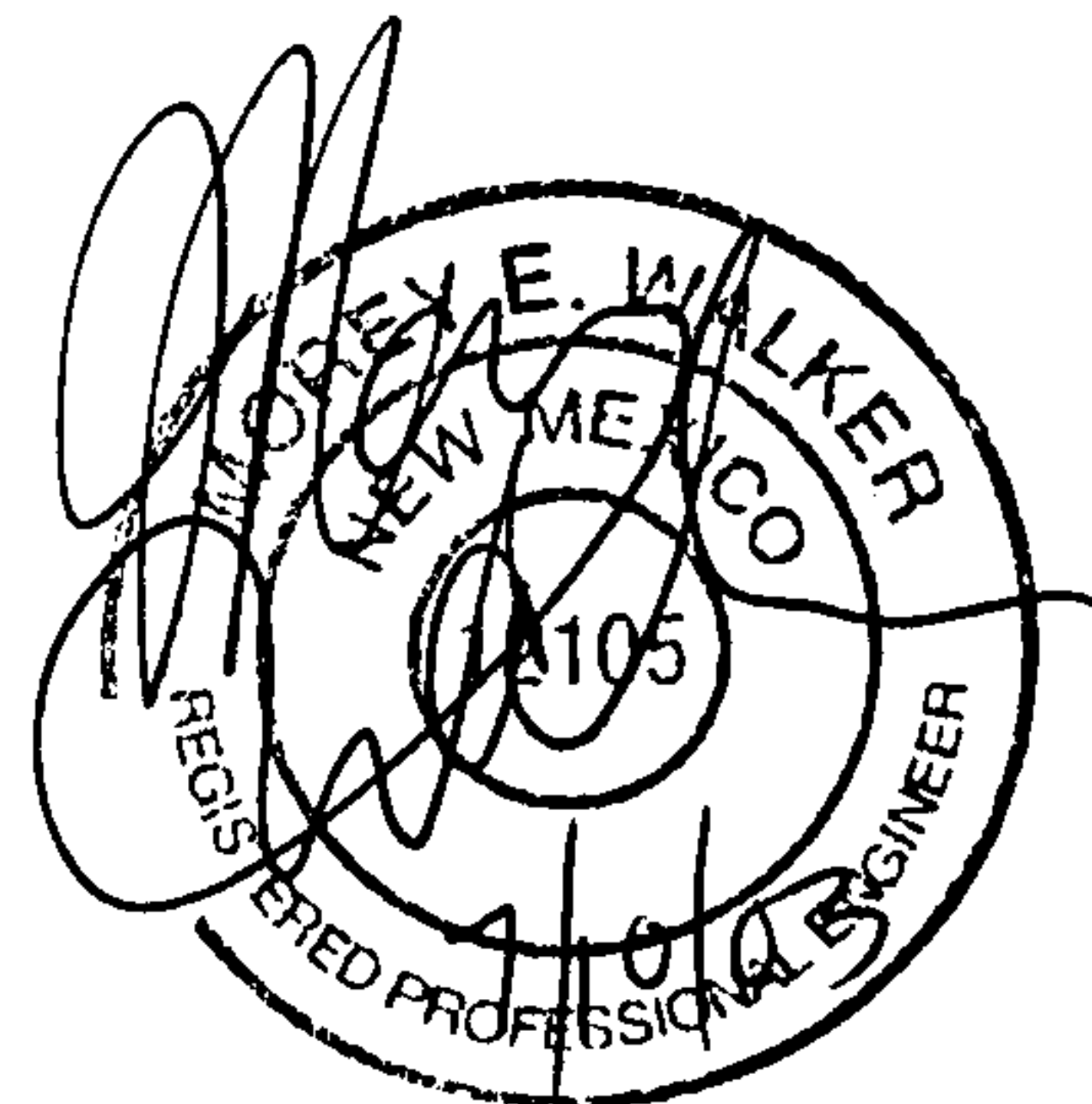
July 2003

By

**W • E** Walker Engineering

905 Camino Sierra Vista  
Santa Fe, NM 87501

[civil@walkerengineering.net](mailto:civil@walkerengineering.net)



## **Tract A-3-B LOT 1**

### **Introduction**

Tract A-3-B is 10.0 acres +/- and is located immediately to the south of San Antonio Dr. NE between Interstate 25 and San Pedro Dr. NE, see Zone Atlas Page E-18. This tract will be divided into 7 lots. Currently only Lot 1 is being developed; a 16,000 SF office building is planned for this site.

### **Existing Conditions**

Tract A-3-B is immediately to the north and upstream of Pino Arroyo. All runoff will be directed to the arroyo via three concrete side inlets. Two are currently in place. The third will be constructed as part of Lot 1 (See Detail Page 5). All runoff will sheet flow across the parking lots to the side inlets. Twin 27"W x 8"D sidewalk Culverts will route runoff from the parking lot curb cut to the proposed side inlets. 25' Cross lot drainage easements will be platted where required. The 100 year post development discharge to the Lot 1 inlet is 28.5 cfs.

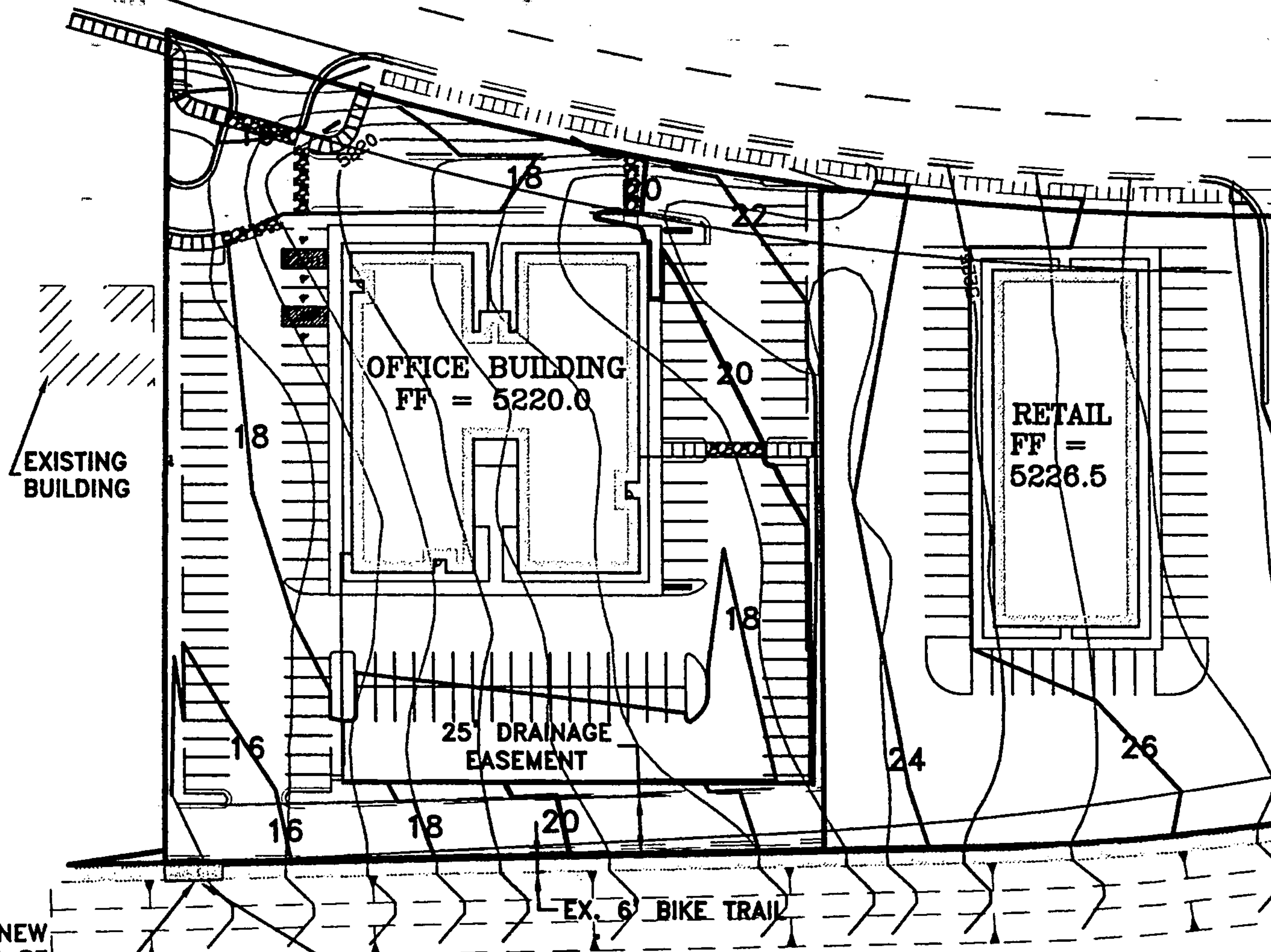
### **On-site Discharge**

Discharge for Tract A-3-B was calculated using Chapter 22 of the Albuquerque DPM. The existing discharge from all seven lots is 34.5cfs. The post development discharge for all lots is 50.1 cfs. The existing discharge from Lot 1 is 7.4 cfs the post development flow is 10.1 cfs.

### **Summary**

The proposed improvements are sufficient for routing all runoff to Pino Arroyo. The arroyo has adequate capacity to handle the post-development runoff, therefore no on-site ponding will be required.

DRAIN AREA #1 TO NEW  
SIDE INLET = 247105 SF  
100 YEAR CFS = 28.6  
10 YEAR CFS = 19.3  
100 YEAR DEPTH = 0.43 FEET



NEW SIDE INLET PER  
CITY OF ABQ STANDARD  
DETAILS

PROJECT:

TRACT A-3-B LOT 1

PROJECT: 02-224

FILE: 02-224 DRAIN

SHEET:

DRAINAGE AREAS

DATE: 7/7/03

PLAN SCALE: NTS

Civil Engineering & Water Resources & Traffic Engineering

**W.E. Walker Engineering**

506-530-7990  
FAX 506-530-8838  
EMAIL: civil@walkerengineering.net

906 Camino Plaza Vista & Plaza Pa. Rd. S.W.



## Walker Engineering

905 Camino Sierra Vista  
Santa Fe, NM 87501

### Stormwater Drainage Calculations for the City of Albuquerque

Project : Tract A-3-B  
Date: 07-Jul-03

Project No. : 02-224

#### Precipitation Zone

Zone 3 - Between San Mateo and Eubank

#### Peak Discharge Calculations - Entire Site (7 Lots)

	Area SF	Area Acres	100 Year CFS per Acre	CFS	10 Year CFS per Acre	CFS
<b>Pre-Development Conditions</b>						
Site Watershed	434924	9.98	3.45	34.45	2.00	19.97
<b>Post-Development Conditions</b>						
DA 1	247105	5.67	5.02	28.48	3.39	19.23
DA 2	98652	2.26	5.02	11.37	3.39	7.68
DA 3	89167	2.05	5.02	10.28	3.39	6.94
	434924	9.98		50.12		33.85

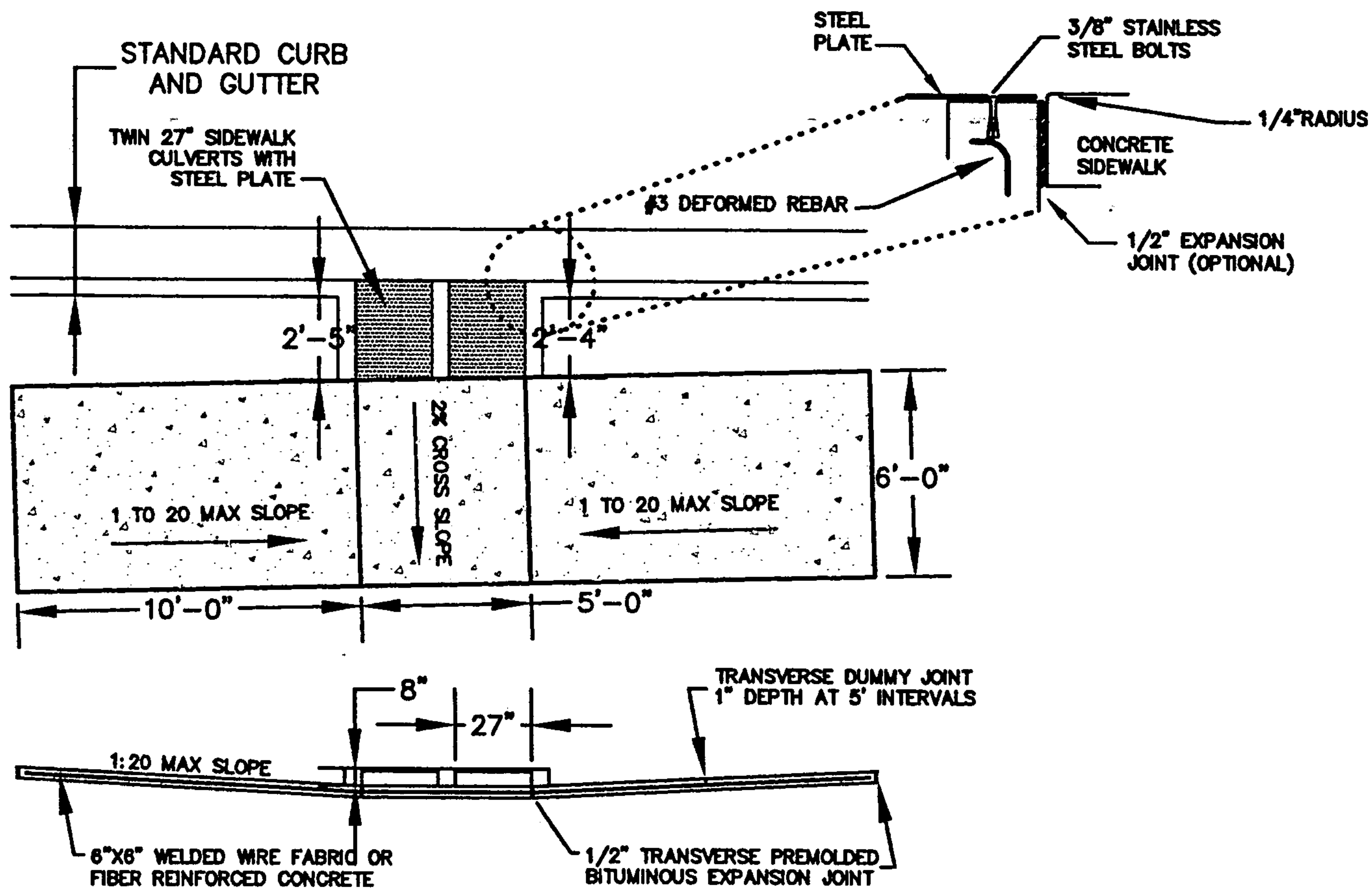
Total Discharge to Pino Arroyo 50.12 CFS

#### Peak Discharge Calculations - Lot 1

	Area SF	Area Acres	100 Year CFS per Acre	CFS	10 Year CFS per Acre	CFS
<b>Pre-Development Conditions</b>						
Site Watershed	93660	2.15	3.45	7.42	2.00	14.84
<b>Post-Development Conditions</b>						
Building	15874	0.36	5.02	1.83	3.39	1.24
Parking Lot	59197	1.36	5.02	6.82	3.39	4.61
Sidewalks	5608	0.13	5.02	0.65	3.39	0.44
Landscaping	12981	0.30	2.6	0.77	1.19	0.35
Total	93660	2.15		10.07		6.63

Discharge Lot 1 10.07 CFS

There will be no ponding on this site. All runoff will be routed to Pino Arroyo.



## SIDE INLET DETAIL

PROJECT:	02-224		
	PROJECT:	02-224	DRAIN
SHEET:	7/7/03		
	DATE:	7/7/03	NTS
SIDE INLET DETAIL			

W.E. Walker Engineering

Civil Engineering • Water Resources • Traffic Engineering

506-830-7900  
FAX 506-830-8338  
EMAIL: civil@walkerengineering.net

908 Corporate Plaza • Suite 200 • NJ 07001

Rectangular Channel Analysis & Design  
Open Channel - Uniform flow

Worksheet Name: Sidewalk Culvert

Comment: Typical 27" Sidewalk Culvert

Solve For Depth

Given Input Data:

Bottom Width.....	2.25 ft
Manning's n.....	0.011
Channel Slope....	0.0200 ft/ft
Discharge.....	14.25 cfs

Computed Results:

Depth.....	0.61 ft
Velocity.....	10.32 fps
Flow Area.....	1.38 sf
Flow Top Width...	2.25 ft
Wetted Perimeter.	3.48 ft
Critical Depth...	1.08 ft
Critical Slope...	0.0042 ft/ft
Froude Number....	2.32 (flow is Supercritical)

Trapezoidal Channel Analysis & Design  
Open Channel - Uniform flow

Worksheet Name:

Comment: Typical Side Inlet

Solve For Depth

Given Input Data:

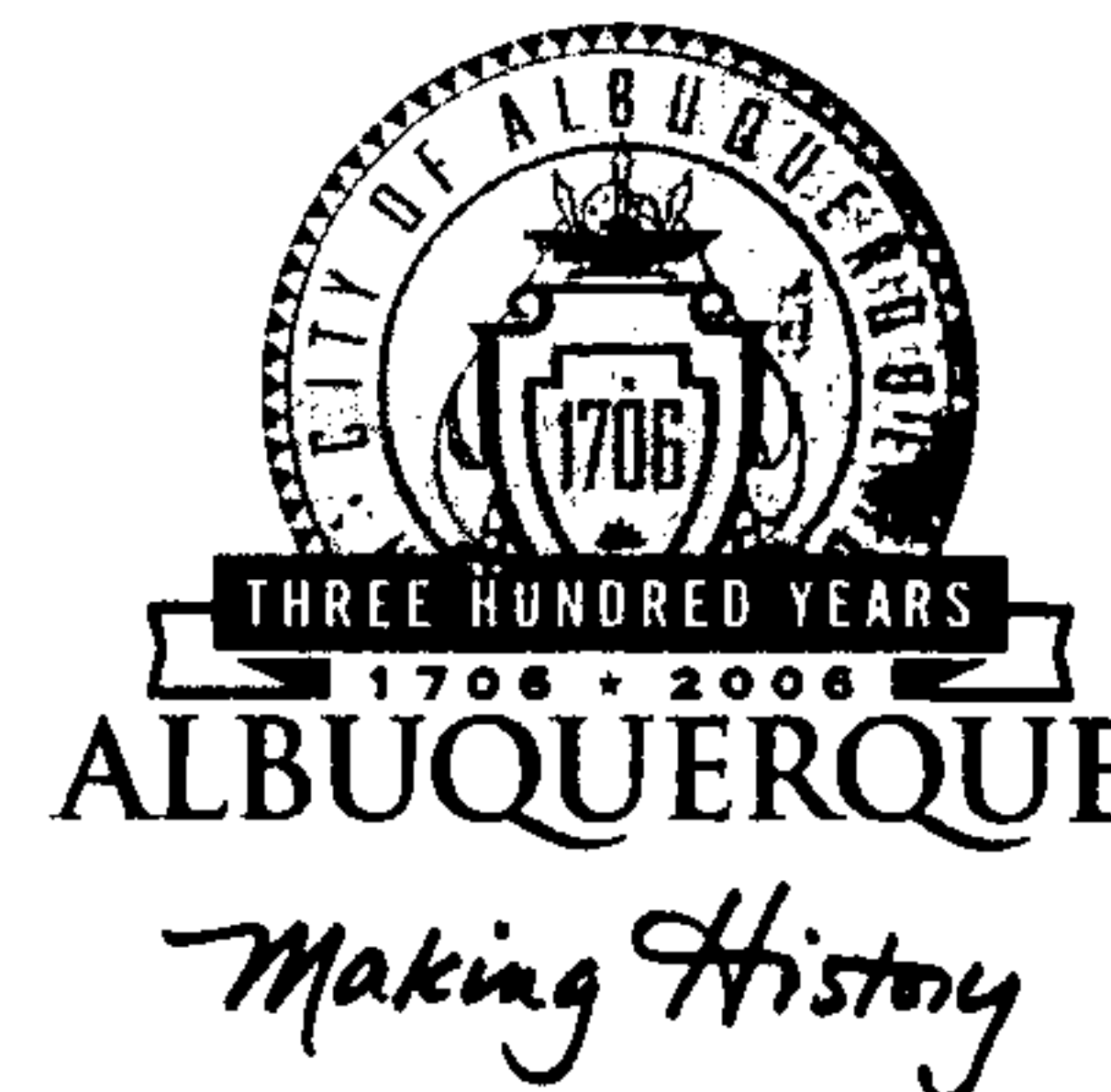
Bottom Width.....	5.00 ft
Left Side Slope..	20.00:1 (H:V)
Right Side Slope.	20.00:1 (H:V)
Manning's n.....	0.013
Channel Slope....	0.0200 ft/ft
Discharge.....	28.60 cfs

Computed Results:

Depth.....	0.37 ft
Velocity.....	6.13 fps
Flow Area.....	4.66 sf
Flow Top Width...	19.95 ft
Wetted Perimeter.	19.97 ft
Critical Depth...	0.55 ft
Critical Slope...	0.0036 ft/ft
Froude Number....	2.23 (flow is Supercritical)



# CITY OF ALBUQUERQUE



**Planning Department  
Transportation Development Services Section**

May 6, 2005

Morey Walker, P.E.,  
Walker Engineering  
905 Camino Sierra Vista  
Santa Fe, NM 87505

Re: Approval of Temporary Certificate of Occupancy (C.O.) for  
Environmental Department Building, [E-18 / D57A]  
5500 San Antonio NE  
Engineer's Stamp Dated 05/05/05

Dear Mr. Walker:

Based on the information provided on your submittal dated May 4, 2005, the above referenced project is approved for a 30-day Temporary C.O.

P.O. Box 1293

A Temporary C.O. has been issued allowing the outstanding arroyo rundown and sidewalk connections, from the north east and north west direction, issues to be completed within this time period. When these remaining issues have been fully completed, are in substantial compliance, and a final Certification for Transportation has been resubmitted to the City's Hydrology office for approval, a Permanent C.O. will be issued.

Albuquerque

New Mexico 87103

The Certification package for Final C.O. must include an exact copy of the approved TCL, or signed off D.R.B. Site Plan, which is in each of the two City Permit Plan Sets—the contractor's City field set and the City's plan set in the basement of the Plaza Del Sol building. Package also must include a letter of certification on designer's letterhead-stamped with his seal, signed, and dated. Submit package along with fully completed Drainage Information Sheet to front counter personnel for log in and evaluation by Transportation.

www.cabq.gov

If you have any questions, please call me at 924-3620.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.  
Senior Traffic Engineer  
Development and Building Services  
Planning Department

c: Engineer  
Hydrology file  
CO Clerk

E-18/-  
~~118~~/D-57A

## TRAFFIC CERTIFICATION

I, Michael Del Mastro, NMRA 668, OF  
THE FIRM Michael Del Mastro, HEREBY  
CERTIFY THAT THIS PROJECT HAS IS IN SUBSTANTIAL COMPLIANCE WITH  
AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN  
DATED 7-13-04. THE RECORD INFORMATION EDITED ONTO  
THE ORGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY Michael Del  
Mastro OF THE FIRM Michael Del Mastro  
. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT  
SITE ON May 3, 2005 AND DETERMINED BY VISUAL  
INSPECTION THAT THE SURVEY DATA PROVIDED ON THE ORIGINAL SP  
PLAN DATED 17-13-04 IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS  
AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND  
BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST  
FOR:

30 day temporary certificate of occupancy.

All work is substantially complete with the exception of the arroyo rundown and the  
north east and north west sidewalk connections. All elevations subject to verification  
which will be completed when the above three items are finished.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY  
COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE  
OF THE TRAFFICE ASPECTS OF THIS PROJECT. THOSE RELYING ON THE  
RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT  
VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER  
PURPOSE.

*Michael Del Mastro*

Michael Del Mastro, RA

STAMP



05/06/05

Date