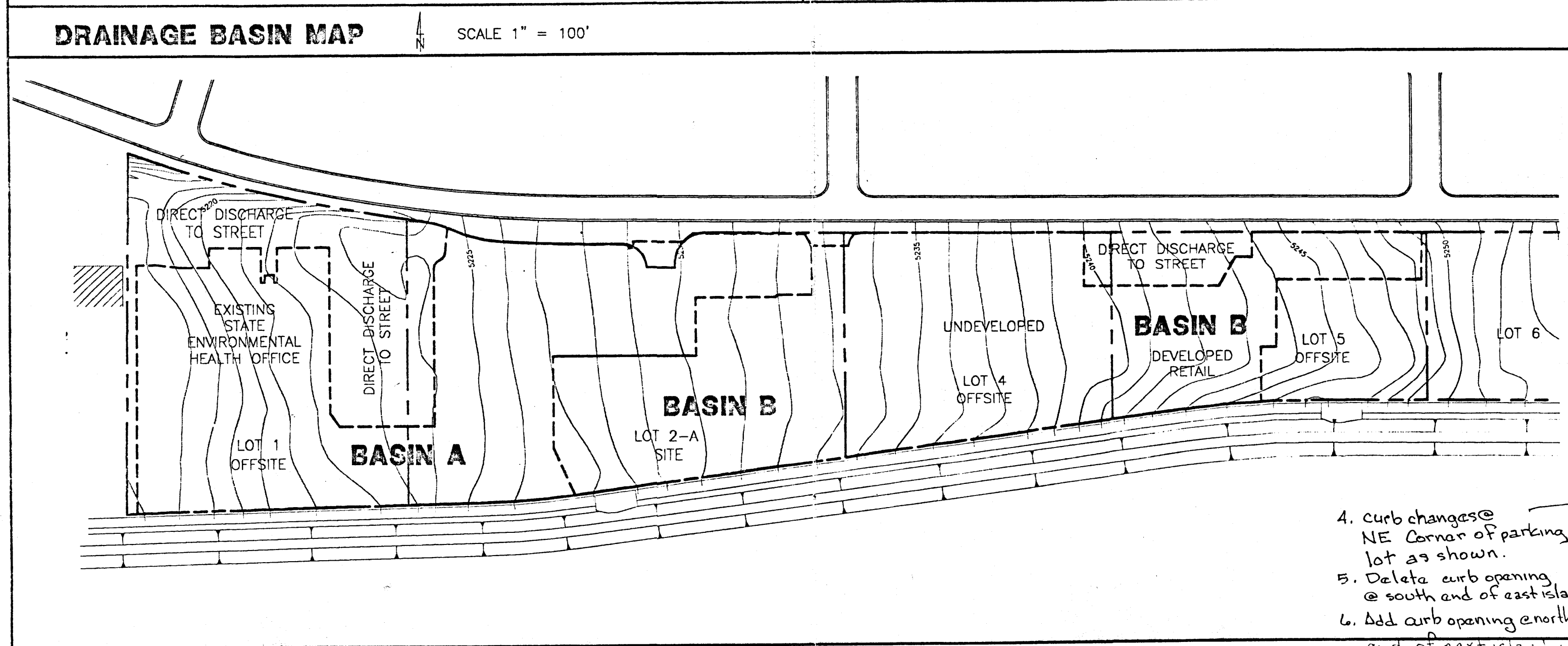
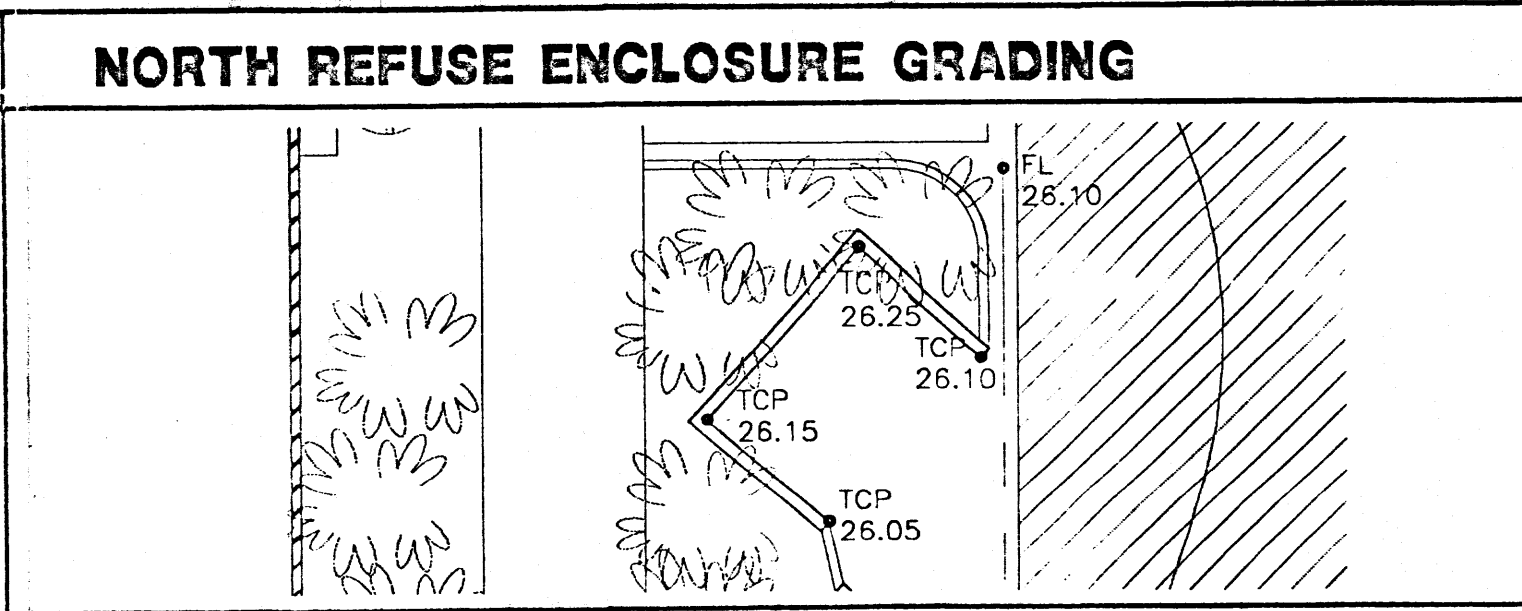
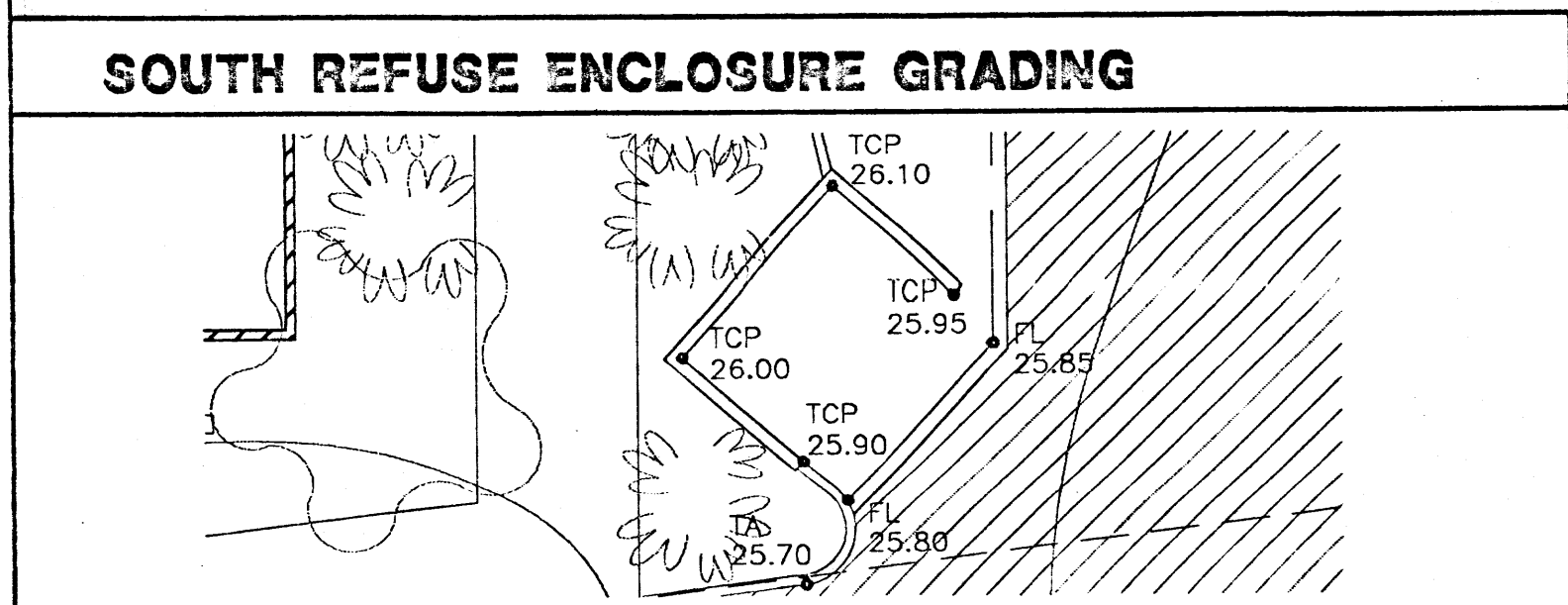
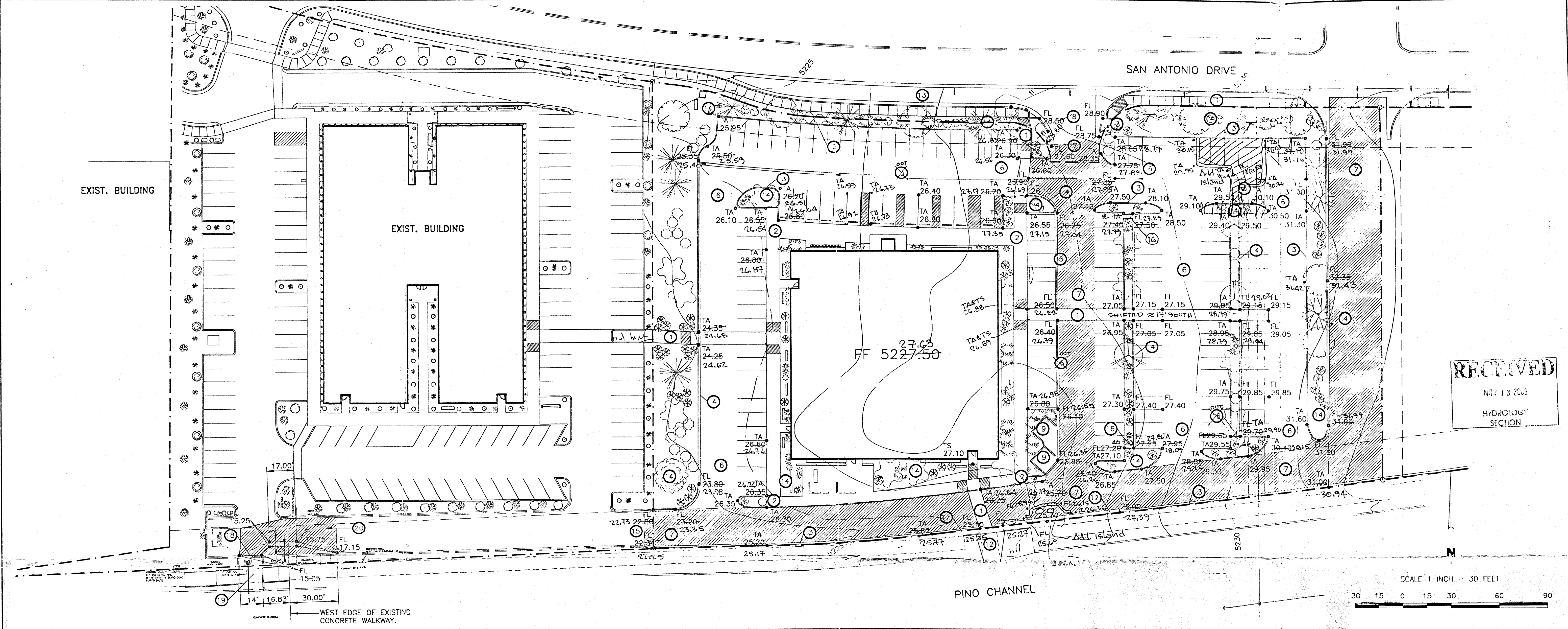




DRAINAGE NOTES

1. THE ENTIRE SUBDIVISION IS BEING BUILT ON AN OLD LANDFILL; THE SURFACE IS DISTURBED AND COMPACTED. LANDSCAPING IS RESTRICTED TO XERIC PLANTS AND STONE. RUNOFF FROM LOTS 4 AND A PORTION OF LOT 5 ARE DESIGNED TO ENTER THE SUBJECT SITE VIA A PLATTED DRAINAGE EASEMENT ALONG THE SOUTH SIDE OF THE LOTS TO ACCESS THE PINO ARROYO CHANNEL AT AN EXISTING SIDE CHANNEL INLET LOCATED NEAR THE MIDDLE OF THE SUBJECT SITE. THE RUNOFF FROM THE WESTERLY SIDE OF THE SUBJECT SITE AND LOT 1 IS ROUTED TO THE WEST SIDE OF LOT 1 TO A SIDE CHANNEL INLET TO BE CONSTRUCTED IN CITY PROJECT NO. 735184.

LOT 1 IS DEVELOPED, LOT 2A IS THE SUBJECT SITE, LOT 4 IS VACANT AND LOT 5 IS UNDER CONSTRUCTION. LOTS 4 & 5 ARE CALCULATED AS BEING 90% AND 96% IMPERVIOUS RESPECTIVELY WITH THE BALANCE OF THE LOT BEING LAND TREATMENT C.

2. THE SITE IS LOCATED IN COA PRECIPITATION ZONE 3. FLOW RATES TO THE PINO ARROYO FROM BASINS A & B INCREASE BY 12.06 CFS AND 13.24 CFS FOR THE 10 YEAR AND 100 YEAR, 6 HOUR STORMS DUE TO DEVELOPMENT. RUNOFF VOLUMES INCREASE BY 22331 CF AND 28301 CF FOR THE TWO STORMS.

3. THE SITE IS LOCATED IN ZONE X PER FEMA FIRM MAP NO. 137 DATED NOVEMBER, 2003.

4. TOPO SHOWN ON THIS PLAN WAS OBTAINED BY BASELINE FIELD SERVICES, INC. IN 2004 AND 2008.

ENGINEER'S CERTIFICATION

I, JEAN J. BORDENAVE, NMPE&LS NO. 5110, OF THE FIRM BORDENAVE DESIGNS, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN. THE DOCUMENT HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

EXCEPTIONS AND/OR QUALIFICATIONS:

1. DRAINAGE CUTOFFS ON LOT 1 & LOT 2A
2. DECELERATION LANE & ENTRY
3. CONCRETE VALLEY GUTTERS ELIM. BY OWNER.

THE RECORD INFORMATION PRESENTED ON THE EDITED RECORD DOCUMENT IS NOT NECESSARILY COMPLETE AND INTENDS TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THE EDITED DESIGN DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

LEGAL DESCRIPTION	
LOT 2A, JJ SUBDIVISION	
PERMANENT BENCHMARK	
ACS 18-E1B, ELEV. 5266.765 (NGVD 1929)	
LEGEND	
TBM	TEMPORARY BENCHMARK
FF	FINISH FLOOR
FG	FINISH GRADE
FL	FLOW LINE
TA	TOP OF ASPHALT
TCP	TOP OF CONCRETE
TS	TOP OF SIDEWALK
FH	FIRE HYDRANT
WM	WATER METER
WV	WATER VALVE
	MANHOLE
	CATCH BASIN GRATE
	POWER POLE
	ROOF DRAINAGE POINT
	FEVA FLOODPLAIN BOUNDARY
	DRAINAGE BASIN BOUNDARY
	EROSION SETBACK LINE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	EXISTING SPOT ELEVATION
	PROPOSED SPOT ELEVATION
	RECORD SPOT ELEVATION

- KEYED NOTES**
1. SIDEWALK. SEE DETAIL SHEET CD. THICKEN TO 7" IN PARKING AREAS.
 2. TURNDOWN SIDEWALK. SEE DETAIL SHEET CD.
 3. FLASHER CURB. SEE DETAIL SHEET CD.
 4. CURB AND GUTTER. SEE DETAIL SHEET CD.
 5. CONCRETE VALLEY GUTTER.
 6. ASPHALT PAVEMENT - LIGHT DUTY. SEE DETAIL SHEET CD.
 7. ASPHALT PAVEMENT - HEAVY DUTY (HATCHED AREA). SEE DETAIL SHEET CD.
 8. 30' FOOT WIDE PRIVATE ENTRANCE DETAIL. SEE COA PROJECT NO. 735184.
 9. REFUSE ENCLOSURE.
 10. REMOVE EXISTING ASPHALT, REGRADE AND REPLACE PAVEMENT.
 11. BUILD NEW SIDE INLET TO PINO CHANNEL PER CITY PROJECT NO. 735184.
 12. EXISTING SIDE INLET TO PINO ARROYO CHANNEL w/ CONCRETE FILLED STEEL PPE BOLLARDS. SEE COA PROJECT NO. 735184 FOR DETAILS. EXTEND CONCRETE FROM EXISTING INLET TO BACK OF CURB.
 13. NEW DECELERATION LANE, CURB & GUTTER AND SIDEWALK PER CITY PROJECT NO. 735184.
 14. LANDSCAPE.
 15. CONNECT TO EXISTING CURBS AND ASPHALT PAVEMENT APPROXIMATELY 5 FEET WEST OF PROPERTY LINE.
 16. 2' WIDE CONCRETE CHANNEL. SEE DETAIL SHEET CD.
 17. CURB AND GUTTER PER CITY OF ALBUQUERQUE STD. DWG. 2415A MODIFIED TO 10" HIGH CURB FACE.
 18. 14' WIDE CURB OPENING.
 19. NEW SIDE CHANNEL INLET TO PINO ARROYO CHANNEL. SEE CITY PROJECT 735184 FOR DETAILS.
 20. SAW CUT, REMOVE AND DISPOSE EXISTING ASPHALT (CROSS HATCHED AREA). PLACE NEW ASPHALT (HEAVY DUTY) FORMING SWALE PER SHOWN ELEVATIONS AND TO MATCH EXISTING AT SAW CUTS AND EXISTING CURBS. EXISTING CURB OPENINGS AT WALKWAY TO REMAIN.

JOB NO:
DATE: 07 APRIL, 2009
REVISIONS

Sheet Title
GRADING & DRAINAGE PLAN
Checked By: JLB
Drawn By: METU

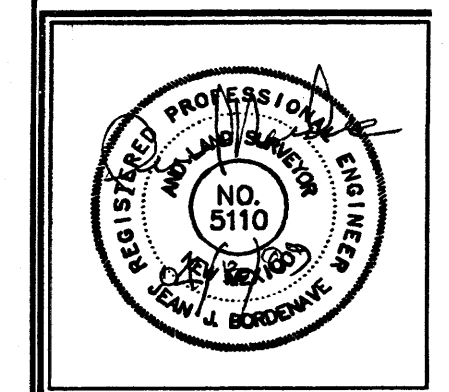
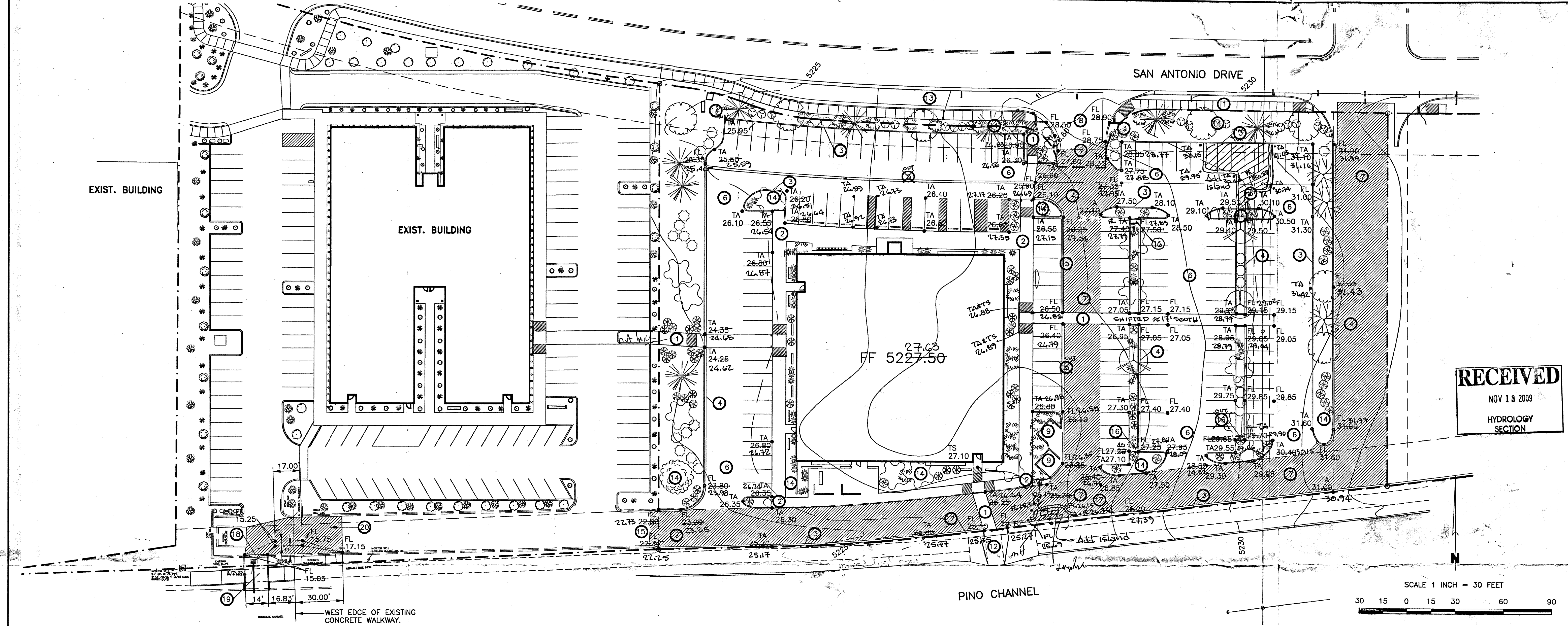
TIM OTT / DEVELOPER
5920 VANCE AVE NE, SUITE G
ALBUQUERQUE, NM 87113
(505) 250-4675

BORDENAVE DESIGNS
P.O. BOX 91194, ALBUQUERQUE, NM 87199
(505) 250-4675
FAX (505) 251-1344

Project Name
**NEW MEXICO OFFICE OF THE STATE ENGINEER
ALBUQUERQUE BUILDING
ALBUQUERQUE, NEW MEXICO**

SHEET NO.
CG
RECEIVED
MAY 17 2012
SECTION

803-1344
803-1344



JOB NO:	
DATE:	07 APRIL, 2009
REVISIONS:	

Sheet Title

GRADING & DRAINAGE PLAN

Drawn By: MET

Checked By: JB

T.M. OTT / DEVELOPER
6650 VANCE AVE NE SUITE G
ALBUQUERQUE, NM 87105
(505) 250-4675

BORDENAVE DESIGNS
P.O. BOX 91184 ALBUQUERQUE, NM 87199
(505) 823-1344

Project Name
NEW MEXICO OFFICE OF
THE STATE ENGINEER
ALBUQUERQUE, NEW MEXICO

SHEET NO.
CG

WORK ORDER # 735184
823-1344

SOUTH REFUSE ENCLOSURE GRADING

NORTH REFUSE ENCLOSURE GRADING

DRAINAGE BASIN MAP

DRAINAGE NOTES

1. THE ENTIRE SUBDIVISION IS BEING BUILT ON AN OLD LANDFILL; THE SURFACE IS DISTURBED AND COMPACTED. LANDSCAPING IS RESTRICTED TO XERIC PLANTS AND STONE. RUNOFF FROM LOTS 4 AND A PORTION OF LOT 5 ARE DESIGNED TO ENTER THE SUBJECT SITE VIA A PLATTED DRAINAGE EASEMENT ALONG THE SOUTH SIDE OF THE LOTS TO ACCESS THE PINO ARROYO CHANNEL AT AN EXISTING SIDE CHANNEL INLET LOCATED NEAR THE MIDDLE OF THE SUBJECT SITE. THE RUNOFF FROM THE WESTERLY SIDE OF THE SUBJECT SITE AND LOT 1 IS ROUTED TO THE WEST SIDE OF LOT 1 TO A SIDE CHANNEL INLET TO BE CONSTRUCTED IN CITY PROJECT NO. 735184.

LOT 1 IS DEVELOPED, LOT 2A IS THE SUBJECT SITE, LOT 4 IS VACANT AND LOT 5 IS UNDER CONSTRUCTION. LOTS 4 & 5 ARE CALCULATED AS BEING 90% AND 96% IMPERVIOUS RESPECTIVELY WITH THE BALANCE OF THE LOT BEING LAND TREATMENT C.

2. THE SITE IS LOCATED IN COA PRECIPITATION ZONE 3. FLOW RATES TO THE PINO ARROYO FROM BASINS A & B INCREASE BY 12.06 CFS AND 13.24 CFS FOR THE 10 YEAR AND 100 YEAR, 6 HOUR STORMS DUE TO DEVELOPMENT. RUNOFF VOLUMES INCREASE BY 22331 CF AND 28301 CF FOR THE TWO STORMS.

3. THE SITE IS LOCATED IN ZONE X PER FEMA FIRM MAP NO. 137 DATED NOVEMBER, 2003.

4. TOPO SHOWN ON THIS PLAN WAS OBTAINED BY BASELINE FIELD SERVICES, INC. IN 2004 AND 2008.

LEGAL DESCRIPTION

LOT 2A, JJ SUBDIVISION

PERMANENT BENCHMARK

ACS 18-E18, ELEV. 5266.765 (NGVD 1929)

LEGEND

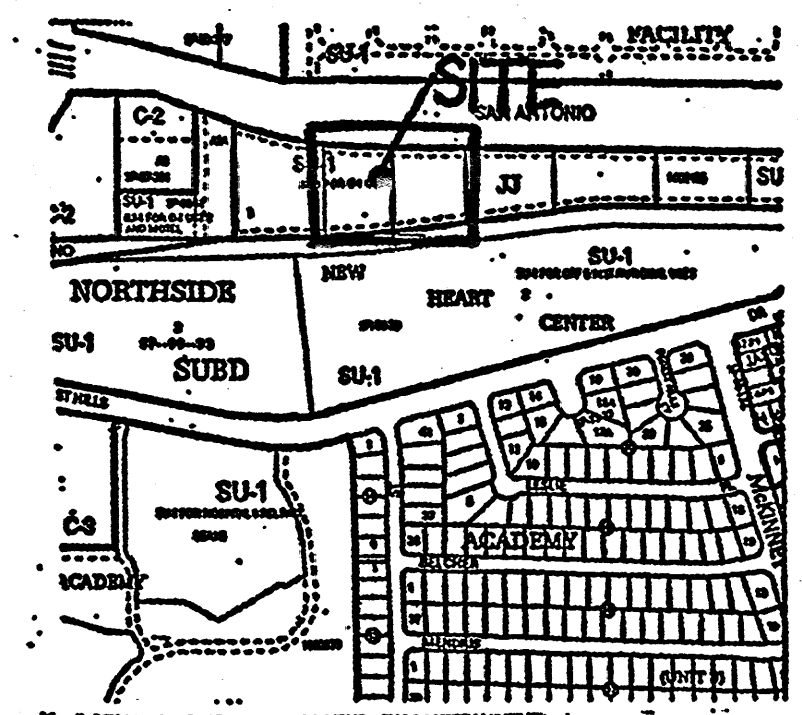
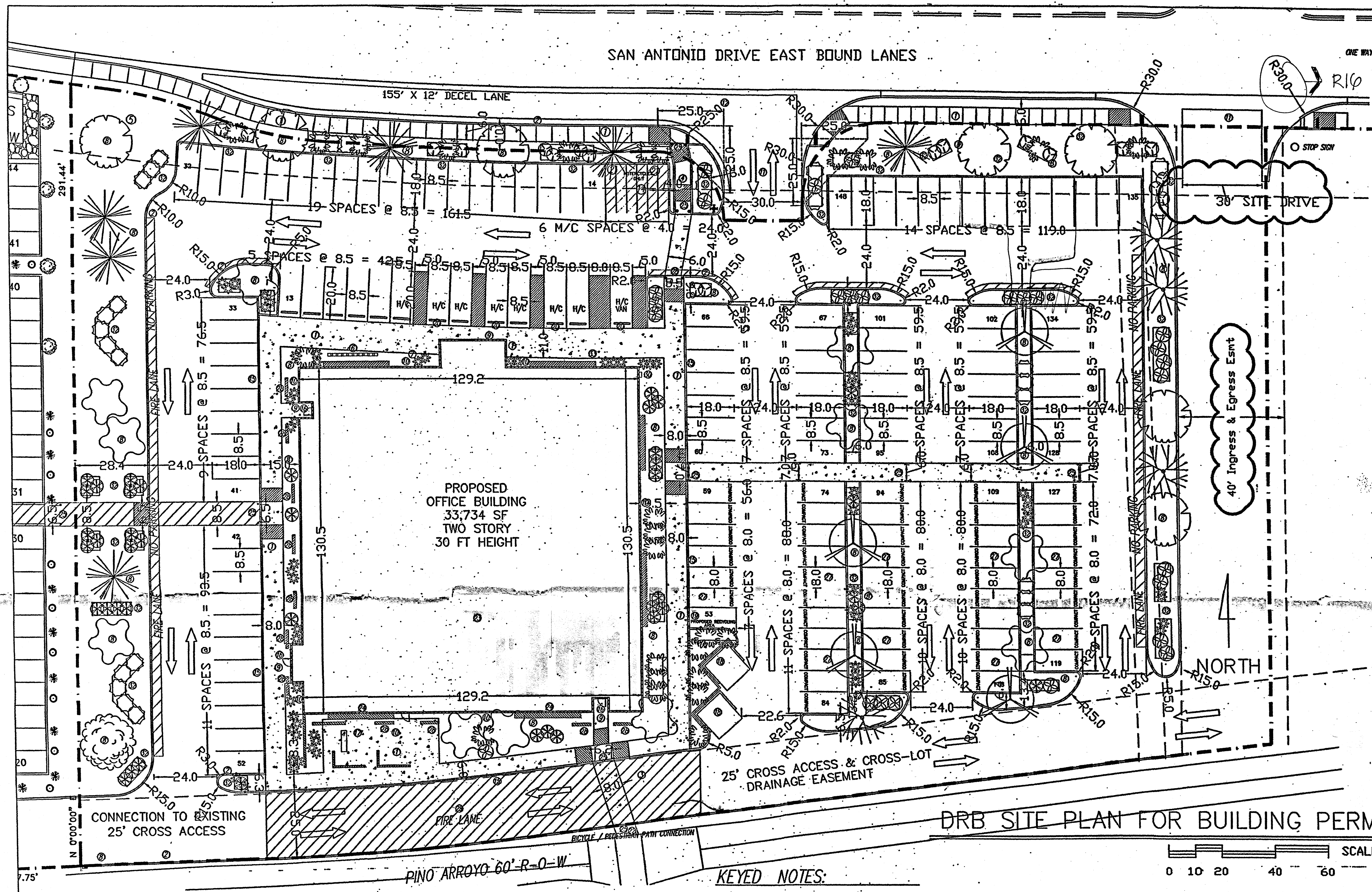
TBM	TEMPORARY BENCHMARK
FF	FINISH FLOOR
FG	FINISH GRADE
FL	FLOWLINE
TA	TOP OF ASPHALT
TCP	TOP OF CONCRETE
TS	TOP OF SIDEWALK
FH	FIRE HYDRANT
WM	WATER METER
WV	WATER VALVE
MH	MANHOLE
CB	CATCH BASIN GRATE
PP	POWER POLE
RD	ROAD
	ROOF DRAINAGE POINT
	FEMA FLOODPLAIN BOUNDARY
	DRAINAGE BASIN BOUNDARY
	EROSION SETBACK LINE
	EXISTING CONTOUR
	PROPOSED CONTOUR
XX.XX	EXISTING SPOT ELEVATION
●XX.XX	PROPOSED SPOT ELEVATION
-XX.XX-	PROPOSED SPOT ELEVATION
XX.XX	RECORD SPOT ELEVATION

ENGINEER'S CERTIFICATION

I, JEAN J. BORDENAVE, NMPE&LS NO. 5110, OF THE FIRM BORDENAVE DESIGNS, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRABED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 04/13/09. THE RECORD INFORMATION PRESENTED ON THE EDITED DESIGN DOCUMENT IS NOT NECESSARILY COMPLETE AND INTENDED TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THE EDITED DESIGN DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

EXCEPTIONS AND/OR QUALIFICATIONS:
1. DRAINAGE OUTFALLS ON LOT 1 & LOT 2A
2. DECELERATION LANE & ENTRY
3. CONCRETE VALLEY GUTTER ELIM. BY CITIES.
THE RECORD INFORMATION PRESENTED ON THE EDITED DESIGN DOCUMENT IS NOT NECESSARILY COMPLETE AND INTENDED TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THE EDITED DESIGN DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

4. curb changes @ NE corner of parking lot as shown.
5. Delete curb opening @ south end of east island
6. Add curb opening @ north end of next island west.
7. Add island @ SE corner of building.



VICINITY MAP
N.T.S.

PROJECT NUMBER: 1002455
Application Number: 70446

Is an Infrastructure List required? (X) Yes () No
If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Department	Date
Traffic Engineering, Transportation Division	
Utilities Development	
Parks and Recreation Department	
City Engineer	
Environmental Health Department	
Solid Waste Management	
DRB Chairperson, Planning Department	

NOTE:
1. ALL RAMPS WITHIN THE SITE HAVE A MAX. SLOPE OF 1:12
2. ALL ITEMS IN CITY ROW TO BE COMPLETED UNDER SEPARATE WORK ORDER.

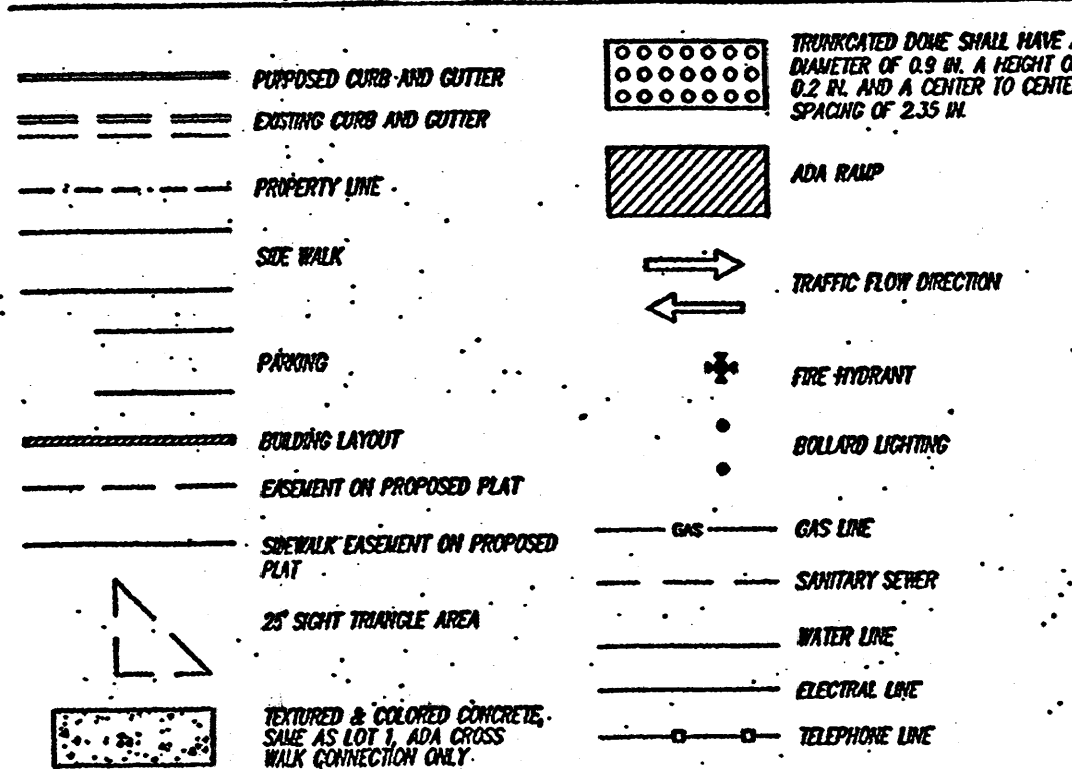
KEYED NOTES:

1. NEW CONCRETE SIDEWALK PER COA STD 2430.
2. NEW CONCRETE CURB & GUTTER PER COA STD 2415.
3. REMOVE LOT LINE-PER PLAT.
4. NEW FIRE HYDRANT LOCATION.
5. AGENCY SIGN TO BE SUBMITTED TO THE CITY FOR APPROVAL; SEE DRB ELEV SHEET FOR DETAIL. SIGN WILL BE PERPENDICULAR TO SAN ANTONIO.
6. BICYCLE RACK, MINIMUM 8 SPACES.
7. FLAG POLE.
8. PLANTED TREE, SEE L-1 & ENV-3 FOR DETAILS.
9. SECURITY LIGHTING AT ALL ENTRANCES.
10. EXTERIOR BUILDING LIGHTING PER NEW MEXICO NIGHT SKY PROTECTION ACT AND WITH FULL-SHIELDED FIXTURES BY PHOTO CELL.
11. DRIVEWAY PER CITY OF ALBUQUERQUE STD 2426.
12. EXISTING FIRE HYDRANT, TO BE RELOCATED.
13. EXISTING FIRE HYDRANT.
14. MOTORCYCLE PARKING WITH SIGNAGE PER COA CODE.
15. NEW TURN DOWN SIDEWALK AROUND THE PERIMETER OF THE WALKWAYS THAT SURROUNDS THE BUILDING.
16. CYPHER LOCK ON ENTRANCE.
17. EMPLOYEE PATIO WITH 25% COVERAGE, WOOD TRUSSES AND COLORED SHEET METAL TO MATCH THE COLOR OF THE WINDOW AWNINGS PATIO FURNITURE, TRASH RECEPTACLES, PICNIC TABLE & BBQ PIT.
18. DUMPSTER ENCLOSURE, TO MATCH THE COLOR OF THE BUILDING PER CITY OF ALBUQUERQUE STANDARDS.
19. PROPOSED RECYCLE AREA, PER CITY OF ALBUQUERQUE STANDARDS.
20. HANDICAP SIGNAGE LOCATION.
21. MOTORCYCLE SIGNAGE LOCATION.
22. PINO ARROYO BICYCLE & PEDESTRIAN TRAIL.
23. ROOF TOP COLOR AND MATERIAL WILL BE NON-REFLECTIVE.
24. LANDFILL GAS VENTING SYSTEM IN WALL SYSTEM.
25. BOLLARD LIGHTING AT ALL CROSSWALK LOCATIONS WILL NOT INTERFERE WITH ADA CLEARANCE.
26. NO PARKING AREA LIGHTING, NO PUBLIC USE AFTER 5 PM ANTICIPATED.

GENERAL NOTES:

LEGAL DESCRIPTION: LOT 2, A1 SUBDIVISION CITY OF ALBUQUERQUE, NEW MEXICO COUNTY OF BERNALILLO
PROPOSED USE: STATE OF NEW MEXICO, OFFICE BUILDING TWO STORY, HEIGHT 30 FT 0 INCH
CURRENT ZONING: SU-1/C-1
UTILITY ACCESS: ALL UTILITIES ARE AVAILABLE AT THE PROPERTY BOUNDARY LINES.
PARKING, REGULAR: REQUIRED PER COA CODE: FIRST FLOOR: 16,867 SF NET LEASABLE SF = 84 SPACES SECOND FLOOR: 16,867 SF NET LEASABLE SF = 84 SPACES 141 TOTAL REQ.
PROVIDED: 151 TOTAL SPACES (93 REG., 47 COMPACT, 8 HANDICAP) (29% OF SPACES ARE FOR COMPACT CARS)
PARKING, HANDICAP: REQUIRED PER COA CODE: 8 SPACES (with 101 to 300 req. parking spaces) PROVIDED: 7 SPACES, 1 VAN ACCESSIBLE
PARKING, MOTORCYCLE: REQUIRED PER COA CODE: 7 SPACES (with 101 to 300 req. parking spaces) PROVIDED: 7 SPACES
BICYCLE RACKS: REQUIRED PER COA CODE: 8 SPACES (with 101 to 300 req. parking spaces) PROVIDED: 8 SPACES
ADA NOTE: THERE ARE NO FIRE HYDRANTS, ELECTRIC-POLE OR OTHER OBSTRUCTIONS WHICH ARE IN ADA PATHWAYS OR WOULD IMPAIR ADA PATHWAYS.
PHASING: THERE WILL BE NO PHASING PLAN IN THIS PROJECT.

LINE TYPE LEGEND



ADMINISTRATIVE AMENDMENT

File # 1002455 Project # 1002455
Revised dimensions for site
drive (amb) and ingress/egress
case # 1
Approved By: Russell Butts 3/July/09
DATE

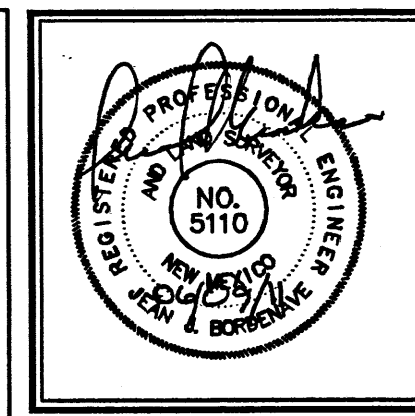
"THE SUBJECT PROPERTY IS LOCATED ON A FORMER LANDFILL. DUE TO THE SUBJECT PROPERTY BEING NEAR A FORMER LANDFILL, CERTAIN PRECAUTIONARY MEASURES MAY NEED TO BE TAKEN TO ENSURE THE HEALTH AND SAFETY OF THE PUBLIC. RECOMMENDATIONS MADE BY A PROFESSIONAL ENGINEER WITH EXPERTISE IN LANDFILL GAS ISSUES (AS REQUIRED BY THE MOST CURRENT VERSION OF THE "INTERIM GUIDELINES FOR DEVELOPMENT WITHIN 1,000 FEET OF LANDFILLS") SHALL BE CONSULTED PRIOR TO DEVELOPMENT OF THE SITE."

DRB SITE PLAN
FOR BUILDING PERMIT

TIM OTT / DEVELOPER
6620 VANCE AVE NE SUITE G
ALBUQUERQUE, NM 87115
(505) 250-4679
MICHAEL DEL MASTRO / ARCHITECT
7308 DELWOOD RD. NE (505) 885-4829
ALBUQUERQUE, NEW MEXICO 87110

Project Name
STATE ENGINEERING
ALBUQUERQUE BUILDING
ALBUQUERQUE, NEW MEXICO

SHEET NO.
DRB SP



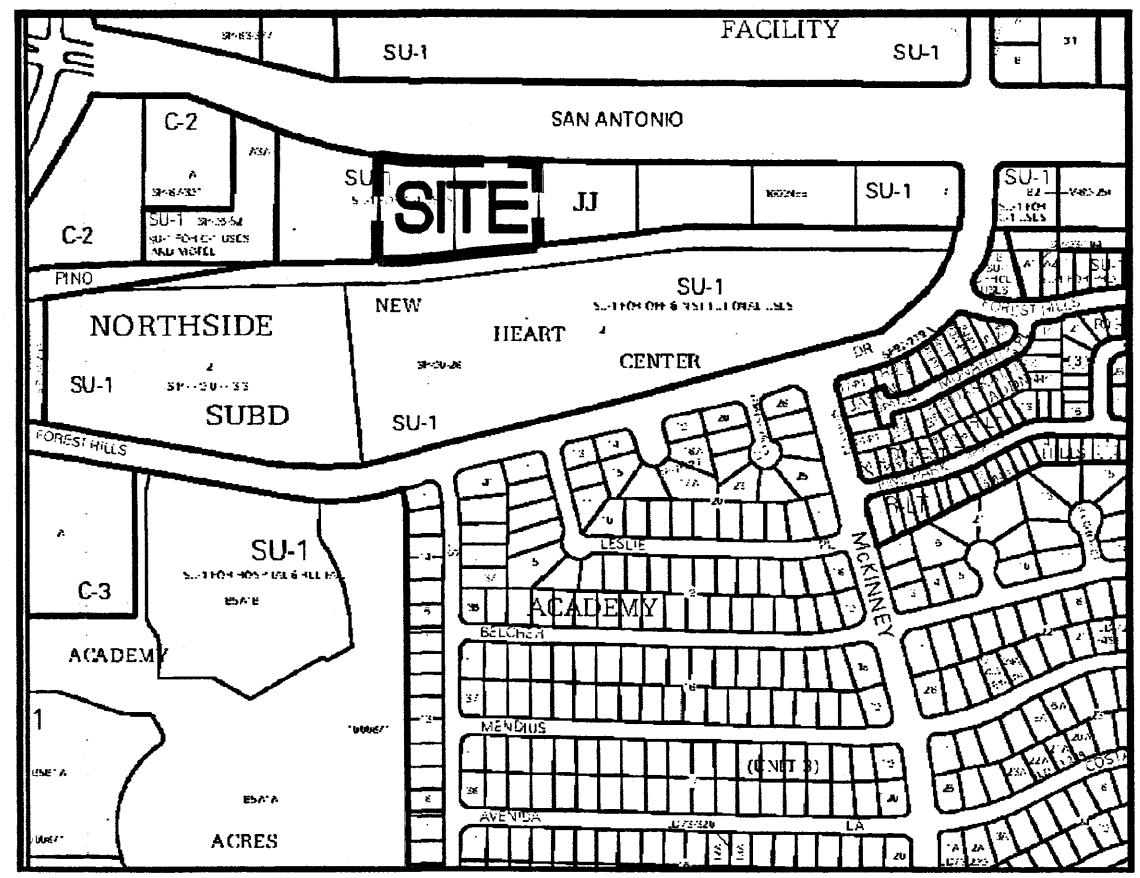
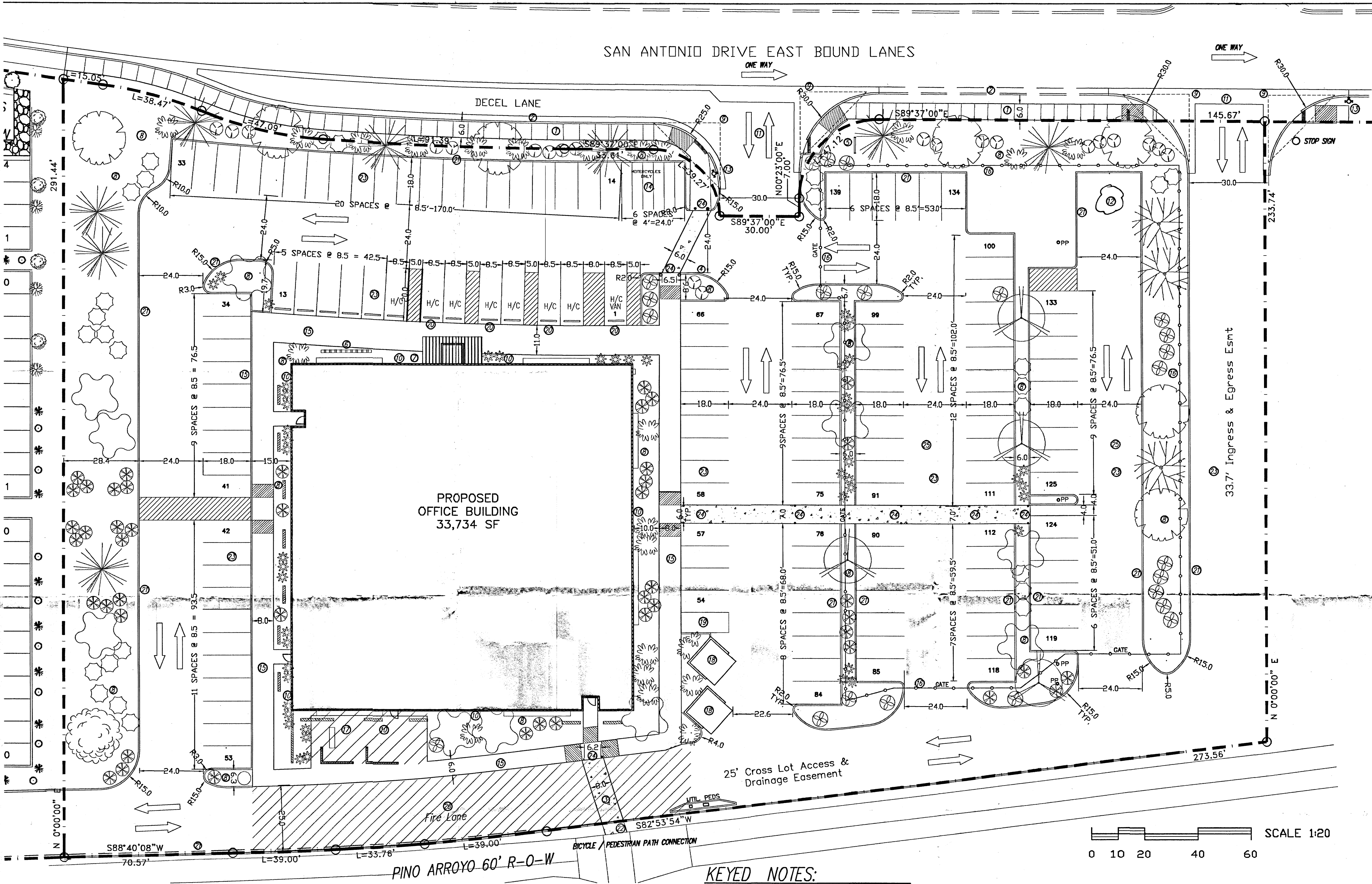
JOB NO:	0714
DATE:	1 MAY 2008
	02 JULY 2008
	09 OCTOBER 2008
	27 OCTOBER 2008
	04 NOVEMBER 2008
	10 NOVEMBER 2008
	13 MAY 2011

Sheet Title
AMENDED
SITE DEVELOPMENT PLAN
FOR BUILDING PERMIT
Checked By: JJB
Drawn By: METO

BORDENAVE DESIGNS
P.O. BOX 91194, ALBUQUERQUE, NM 87199-1194
PH: (505) 824-1344 FAX: (505) 821-9105
CELL: (480) 681-1212 jborbena@bordenavedesigns.com

Project Name
STATE ENGINEERING
ALBUQUERQUE BUILDING
ALBUQUERQUE, NEW MEXICO

SHEET NO.
DRB SP



VICINITY MAP
N.T.S.

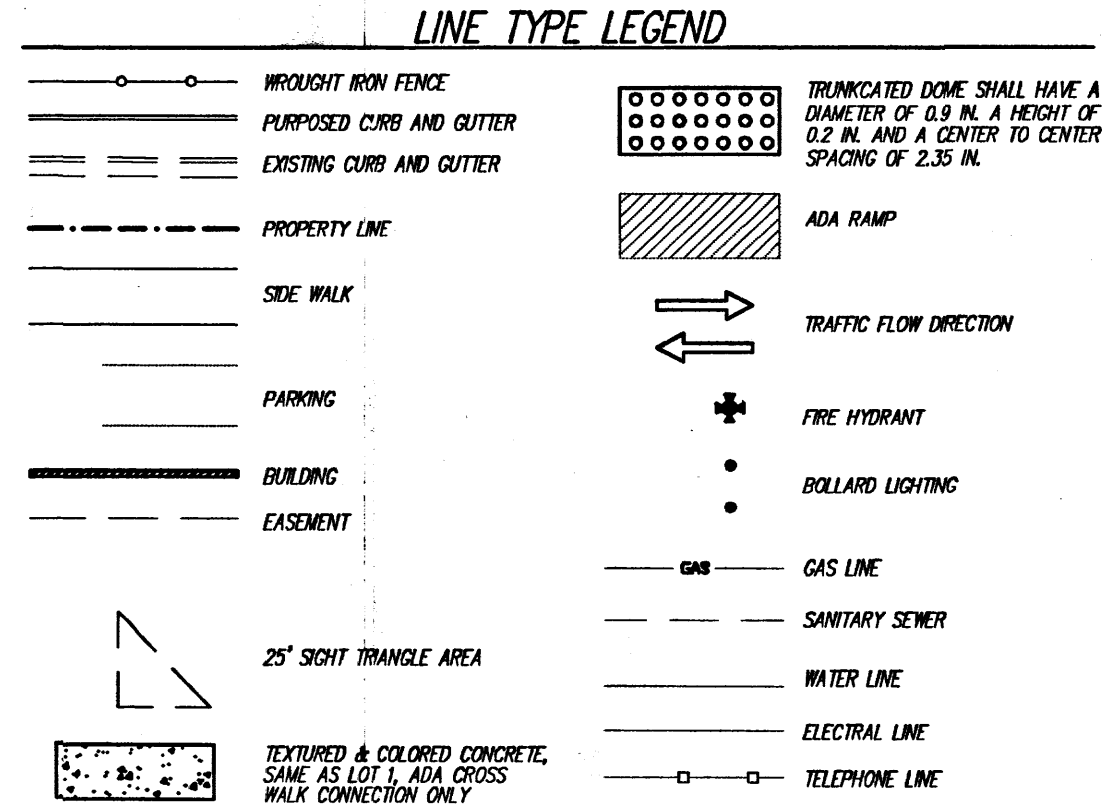
PROJECT NUMBER: 1002455
Application Number: 70446

Is an Infrastructure List required? (X) Yes () No
If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

AMENDED DRB APPROVAL:	
Traffic Engineering, Transportation Division	Date
Utilities Development	Date
Parks and Recreation Department	Date
City Engineer	Date
Environmental Health Department	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

NOTE:
1. ALL RAMPS WITHIN THE SITE SHALL HAVE A MAX. SLOPE OF 1 VERT. : 12 HORIZ.

GENERAL NOTES:
LEGAL DESCRIPTION: LOT 2A, A1 SUBDIVISION, CITY OF ALBUQUERQUE, NEW MEXICO, COUNTY OF BERNALILLO
PROPOSED USE: STATE OF NEW MEXICO, OFFICE BUILDING, TWO STORY, HEIGHT 30 FT 0 INCH
CURRENT ZONING: SU-1/C-1
UTILITY ACCESS: ALL UTILITIES ARE AVAILABLE AT THE PROPERTY BOUNDARY LINES.
PARKING, TOTAL: REQUIRED PER COA CODE: 12,387 SF NET LEASABLE SF = 62 SPACES
SECOND FLOOR: 11,844 SF NET LEASABLE SF = 40 SPACES
102 TOTAL REQ.
2011AA - PROVIDED (130) TOTAL SPACES (131 STANDARD, 8 HANDICAP)
HANDICAP: REQUIRED PER COA CODE: 8 SPACES (for 101 to 300 req. parking spaces)
PROVIDED: 7 STANDARD, 1 VAN ACCESSIBLE, 8 TOTAL
PARKING, MOTORCYCLE: REQUIRED PER COA CODE: 4 SPACES (for 101 to 150 req. parking spaces)
PROVIDED: 6 SPACES
BICYCLE RACKS: REQUIRED PER COA CODE: 8 SPACES (for 1 per 20 required auto parking spaces)
PROVIDED: 8 SPACES
ADA NOTE: THERE ARE NO FIRE HYDRANTS, ELECTRIC-POLE OR OTHER OBSTRUCTIONS WHICH ARE IN ADA PATHWAYS OR WOULD IMPEDE ADA PATHWAYS.
PHASING: NO PHASING IS PROPOSED FOR THIS PROJECT.

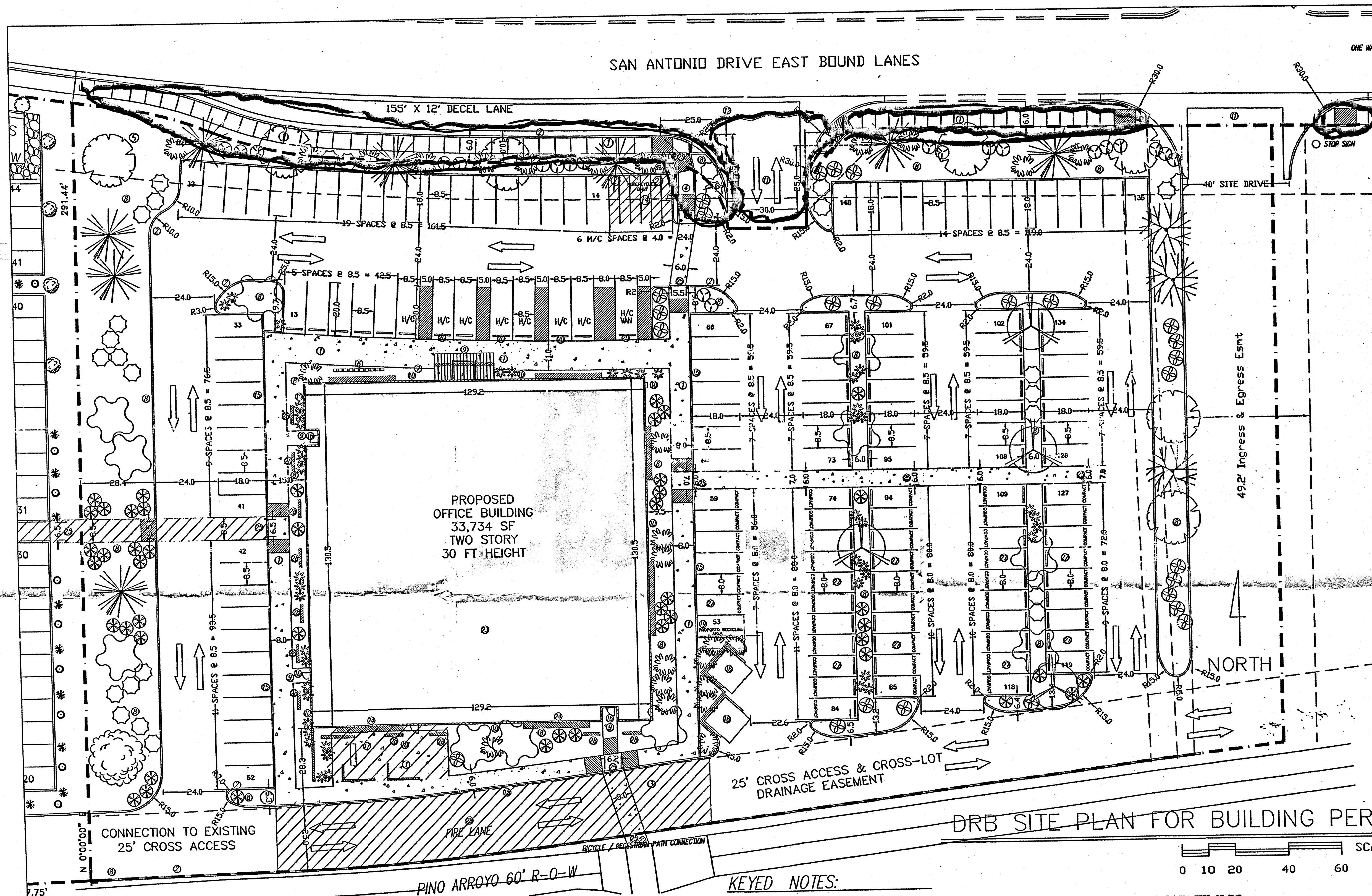


KEYED NOTES:

- NEW CONCRETE SIDEWALK PER COA STD 2430.
- NEW CONCRETE CURB & GUTTER PER COA STD 2415.
- NEW CONCRETE SIDEWALK PER CIVIL DETAILS.
- NEW CONC. HEADER CURB PER CIVIL DETAILS.
- AGENCY SIGN TO BE SUBMITTED TO THE CITY FOR APPROVAL. SEE DRB ELEV SHEET FOR DETAIL. SIGN WILL BE PERPENDICULAR TO SAN ANTONIO.
- BICYCLE RACK, MINIMUM 8 SPACES.
- FLAG POLE
- LANDSCAPED AREA, XERISCAPE WITH IRRIGATION SYSTEM.
- 25' CLEAR SIGHT TRIANGLE
- EXTERIOR BUILDING LIGHTING PER NEW MEXICO NIGHT SKY PROTECTION ACT AND WITH FULL-SHIELDED FIXTURES BY PHOTO CELL.
- DRIVEWAY PER CITY OF ALBUQUERQUE STD 2426.
- LARGE VEHICLE PARKING - 2011 AA
- FIRE HYDRANT.
- MOTORCYCLE PARKING WITH SIGNAGE PER COA CODE.
- NEW TURN DOWN SIDEWALK AROUND THE PERIMETER OF THE BUILDING.
- SECURITY FENCE (WROUGHT IRON) - 2011 AA
- EMPLOYEE PATIO.
- ALL ITEMS IN THE CITY ROW SHALL BE CONSTRUCTED UNDER CITY PROJECT NO. 735184.
- REFUSE ENCLOSURE PER CITY OF ALBUQUERQUE STANDARDS.
- PROPOSED RECYCLE AREA, PER CITY OF ALBUQUERQUE STANDARDS.
- HANDICAP SIGNAGE LOCATION.
- CURB & GUTTER PER CIVIL DETAILS.
- CONNECTION TO PUBLIC WALK/BIKE TRAIL.
- PAVED PARKING PER CIVIL DETAILS.
- BOLLARD LIGHTING AT ALL CROSSWALK LOCATIONS WILL NOT INTERFERE WITH ADA CLEARANCE.
- NO PARKING AREA LIGHTING, NO PUBLIC USE AFTER 5 PM ANTICIPATED.
- STRIPED FIRE LANE, NO PARKING PER FIRE MARSHALL.

"THE SUBJECT PROPERTY IS LOCATED ON A FORMER LANDFILL. THEREFORE, CERTAIN PRECAUTIONARY MEASURES MAY NEED TO BE TAKEN TO ENSURE THE HEALTH AND SAFETY OF THE PUBLIC. RECOMMENDATIONS MADE BY A PROFESSIONAL ENGINEER WITH EXPERTISE IN LANDFILL GAS ISSUES (AS REQUIRED BY THE MOST CURRENT VERSION OF THE "INTERIM GUIDELINES FOR DEVELOPMENT WITHIN 1,000 FEET OF LANDFILLS") SHALL BE CONSULTED PRIOR TO DEVELOPMENT OF THE SITE."

ADMINISTRATIVE AMENDMENT
FILE #11-10021/PROJECT #1002455
adjust parking at NE corner + add security parking
MAurone 6/28/11
APPROVED BY **DATE**



GENERAL NOTES:

LEGAL DESCRIPTION: LOT 2, 43 SUBDIVISION, CITY OF ALBUQUERQUE, NEW MEXICO, COUNTY OF BERNALILLO

PROPOSED USE: STATE OF NEW MEXICO, OFFICE BUILDING, TWO STORY, HEIGHT 30 FT 0 INCH

CURRENT ZONING: SU-1/C-1

UTILITY ACCESS: ALL UTILITIES ARE AVAILABLE AT THE PROPERTY BOUNDARY LINES.

PARKING, REGULAR: REQUIRED PER COA CODE: FIRST FLOOR: 16,867 SF NET LEASABLE SF = 84 SPACES (25% OF SPACES ARE FOR COMPACT CARS); SECOND FLOOR: 16,867 SF NET LEASABLE SF = 87 SPACES; 141 TOTAL REQ.

PARKING, HANDICAP: PROVIDED: 151 TOTAL SPACES (93 REG., 47 COMPACT, 8 HANDICAP) (25% OF SPACES ARE FOR COMPACT CARS); REQUIRED PER COA CODE: 8 SPACES (with 101 to 300 req. pricing. spcs.); 7 SPACES, 1 VAN ACCESSIBLE

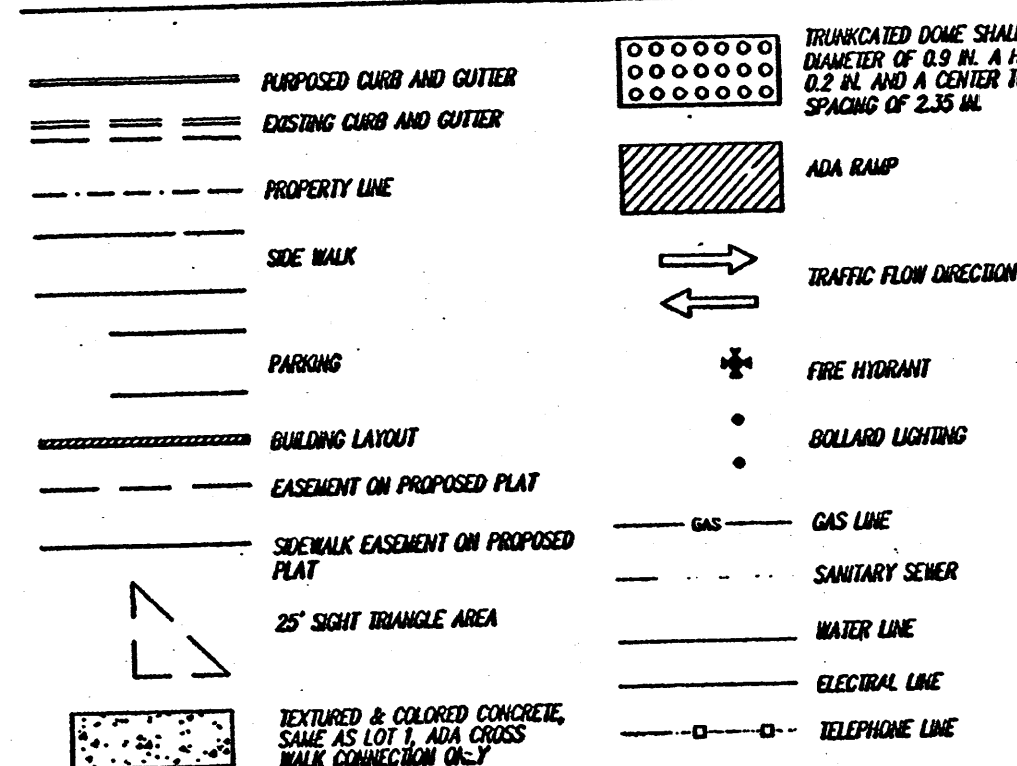
PARKING, MOTORCYCLE: REQUIRED PER COA CODE: 7 SPACES (with 101 to 300 req. pricing. spcs.); PROVIDED: 7 SPACES

BICYCLE RACKS: REQUIRED PER COA CODE: 8 SPACES (with 101 to 300 req. pricing. spcs.); PROVIDED: 8 SPACES

ADA NOTE: THERE ARE NO FIRE HYDRANTS, ELECTRIC-POLE OR OTHER OBSTRUCTIONS WHICH ARE IN ADA PATHWAYS OR WOULD IMPEDE ADA PATHWAYS.

PHASING: THERE WILL BE NO PHASING PLAN IN THIS PROJECT.

LINE TYPE LEGEND



KEYED NOTES:

- NEW CONCRETE SIDEWALK PER COA STD 2430.
- NEW CONCRETE CURB & GUTTER PER COA STD 2415.
- REMOVE LOT LINE-PER PLAT.
- NEW FIRE HYDRANT LOCATION.
- AGENCY SIGN TO BE SUBMITTED TO THE CITY FOR APPROVAL. SEE DRB ELEV SHEET FOR DETAIL. SIGN WILL BE PERPENDICULAR TO SAN ANTONIO.
- BICYCLE RACK, MINIMUM 8 SPACES.
- FLAG POLE
- LANDSCAPED AREA, XERISCAPE WITH IRRIGATION SYSTEM.
- SECURITY LIGHTING AT ALL ENTRANCES.
- EXTERIOR BUILDING LIGHTING PER NEW MEXICO NIGHT SKY PROTECTION ACT AND WITH FULL-SHIELDED FIXTURES BY PHOTO CELL.
- DRIVEWAY PER CITY OF ALBUQUERQUE STD 2426.
- EXISTING FIRE HYDRANT, TO BE RELOCATED.
- EXISTING FIRE HYDRANT.
- MOTORCYCLE PARKING WITH SIGNAGE PER COA CODE.

- NEW TURN DOWN SIDEWALK AROUND THE PERIMETER OF THE WALKWAYS THAT SURROUNDS THE BUILDING.
- CYPHER LOCK ON ENTRANCE.
- EMPLOYEE PATIO WITH 25% COVERAGE, WOOD TRUSSES AND COLORED SHEET METAL TO MATCH THE COLOR OF THE WINDOW AWNINGS PATIO FURNITURE, TRASH RECEPTACLES, PICNIC TABLE & BBQ PIT.
- DUMPSTER ENCLOSURE, TO MATCH THE COLOR OF THE BUILDING PER CITY OF ALBUQUERQUE STANDARDS.
- PROPOSED RECYCLE AREA, PER CITY OF ALBUQUERQUE STANDARDS.
- HANDICAP SIGNAGE LOCATION.
- MOTORCYCLE SIGNAGE LOCATION.
- PINO ARROYO BICYCLE & PEDESTRIAN TRAIL.
- ROOF TOP COLOR AND MATERIAL WILL BE NON-REFLECTIVE.
- LANDFILL GAS VENTING SYSTEM IN WALL SYSTEM.
- BOLLARD LIGHTING AT ALL CROSSWALK LOCATIONS WILL NOT INTERFERE WITH ADA CLEARANCE.
- NO PARKING AREA LIGHTING, NO PUBLIC USE AFTER 5 PM ANTICIPATED.

- ALL COMPACT SPACES TO BE LABELED ON PAVEMENT.
- SHADING WALLS.
- STRIPED FIRE LANE, NO PARKING PER FIRE MARSHALL.
- KNOX BOX LOCATION PER FIRE MARSHALL.
- ALL ROOF TOP OR GROUND MOUNTED EQUIPEMENT SHALL BE SCREENED FROM VIEW OR PAINTED TO MATCH ADJACENT STRUCTURAL, PER DESIGN CRITERION 12 ON SHT. SDP.

"THE SUBJECT PROPERTY IS LOCATED ON A FORMER LANDFILL. DUE TO THE SUBJECT PROPERTY BEING NEAR A FORMER LANDFILL, CERTAIN PRECAUTIONARY MEASURES MAY NEED TO BE TAKEN TO ENSURE THE HEALTH AND SAFETY OF THE PUBLIC. RECOMMENDATIONS MADE BY A PROFESSIONAL ENGINEER WITH EXPERTISE IN LANDFILL GAS ISSUES (AS REQUIRED BY THE MOST CURRENT VERSION OF THE "INTERIM GUIDELINES FOR DEVELOPMENT WITHIN 1,000 FEET OF LANDFILLS") SHALL BE CONSULTED PRIOR TO DEVELOPMENT OF THE SITE."

VICINITY MAP N.T.S.

PROJECT NUMBER: 1002455
Application Number: 70446

Is an Infrastructure List required? (X) Yes () No
If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

[Signature] 12-03-08
Traffic Engineering, Transportation Division Date

[Signature] 12-3-08
City Engineer Date

[Signature] 12/3/08
Parks and Recreation Department Date

[Signature] 4/1/09
City Engineer Date

[Signature] 4/3/09
Environmental Health Department Date

[Signature] 4/1/09
Solid Waste Management Date

[Signature] 4/3/09
City Chairperson, Planning Department Date

NOTE:
1. ALL RAMPS WITHIN THE SITE HAVE A MAX. SLOPE OF 1:12
2. ALL ITEMS IN CITY ROW TO BE COMPLETED UNDER SEPARATE WORK ORDER.

JOB NO:	
DATE:	1 MAY 2007
	02 JULY 2008
	09 OCTOBER 2008
	27 OCTOBER 2008
	04 NOVEMBER 2008
	10 NOVEMBER 2008
	24 NOVEMBER 2008

DRB SITE PLAN
FOR BUILDING PERMIT

Sheet Title

DRB SITE PLAN
FOR BUILDING PERMIT

Checked By: T. OTT

TM OTT / DEVELOPER
6620 VENICE AVE NE, SUITE G
ALBUQUERQUE, NM 87113
(505) 250-4675

MICHAEL DEL MASTRO / ARCHITECT
7008 DELWOOD RD NE, (505) 885-8929
ALBUQUERQUE, NEW MEXICO 87110

Project Name
STATE ENGINEERING.
ALBUQUERQUE BUILDING
ALBUQUERQUE, NEW MEXICO

SHEET NO.
DRB SP