

# STARBUCKS-SAN MATEO AND PAN AMERICAN

## TRAFFIC CIRCULATION LAYOUT SITE PLAN SUBMITTAL

LOT A-1, LAND OF JACK RUST, ELENA GALLEGOS GRANT, LOCATED IN SECTION 26, TOWNSHIP 11 NORTH, RANGE 3 EAST,  
NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, COUNTY OF BERNALILLO, STATE OF NEW MEXICO

### SITE DATA

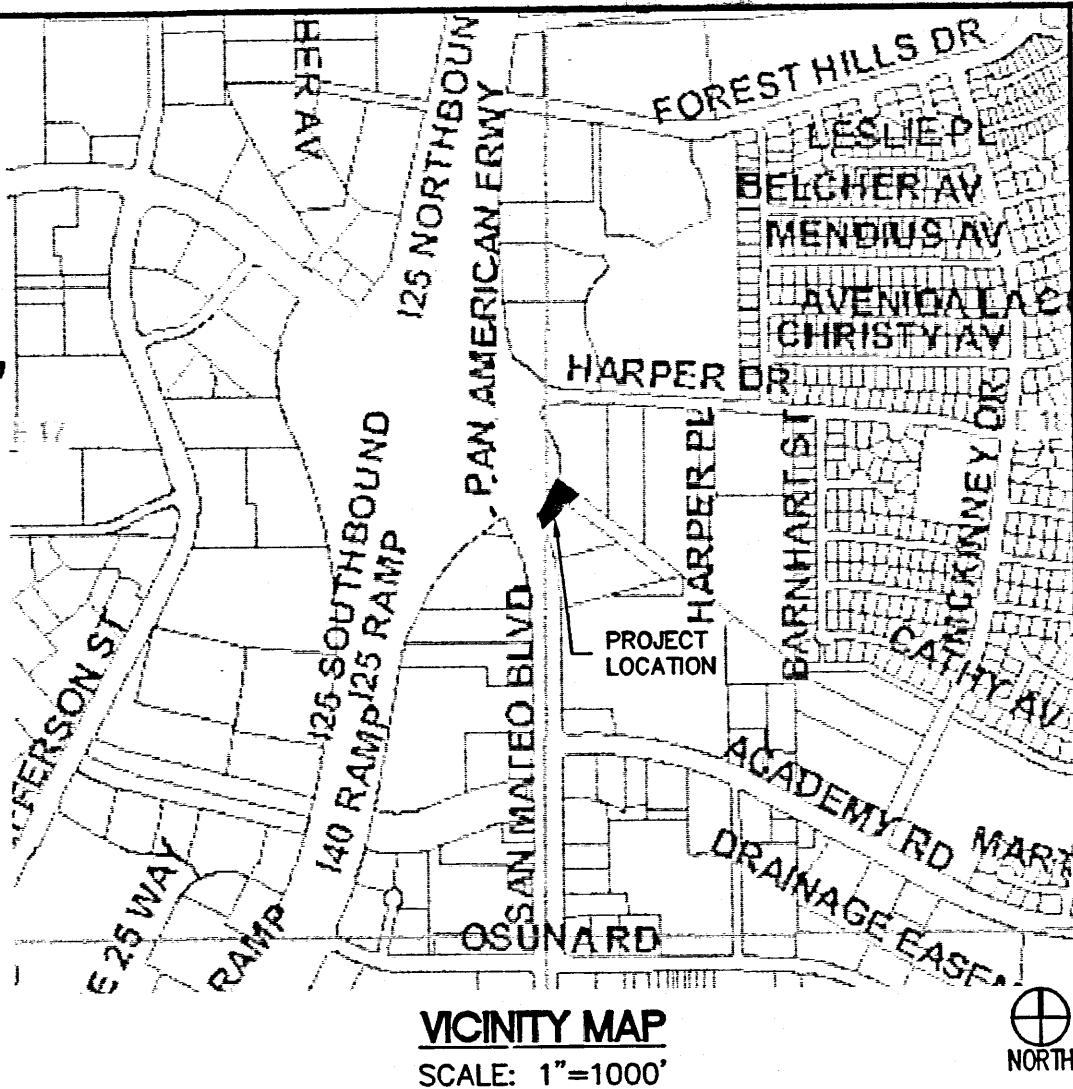
LOT	TYPE OF LAND USE/ZONING
LOT A-1	RESTAURANT W/ DRIVE THRU/C-2
ITEM	SQUARE FOOTAGE
TOTAL SITE AREA	33,176
BUILDING AREA	2,005
LANDSCAPE AREA	10,028
PAVING/HARDSCAPE AREA	21,143
ITEM	DESCRIPTION
PARKING REQUIREMENT	1 STALL PER 4 SEATS
TOTAL SEATS ALLOWED	72
PARKING REQUIRED	18
PARKING PROVIDED	18
ACCESSIBLE STALLS REQ.	1 (1-25 STALLS)
ACCESSIBLE STALLS PROV.	1
STACKING REQUIRED	5 SPACES
STACKING PROVIDED	5 SPACES
BICYCLE PARKING REQUIRED	2
BICYCLE PARKING PROVIDED	2

### LEGEND

- 9 PROPOSED 9' X 20' STANDARD PARKING STALL COUNT PER ROW  
1A PROPOSED 11' X 20' ACCESSIBLE PARKING STALL COUNT PER ROW  
PROPOSED 9' X 20' DRIVE THRU STACKING SPACE  
PROPOSED HEAVY DUTY ASPHALT PAVEMENT (3" ASPHALT/4" BASE)  
PROPOSED LIGHT DUTY ASPHALT PAVEMENT (2" ASPHALT/4" BASE)  
PROPOSED ACCESSIBLE ROUTE  
PROPOSED TRAFFIC CIRCULATION

### KEYNOTES

- PROPOSED CONCRETE PAVEMENT (6" THICK MIN.) REFUSE PICK-UP AND DELIVERY AREA
- PROPOSED ACCESSIBLE STALL WITH STRIPE AISLE AND SIGN
- PROPOSED OFF-SITE ACCESSIBLE RAMP (6' WIDE) PER COA STANDARD DETAIL 2426
- PROPOSED ACCESSIBLE RAMP (6' WIDE) WITH FLARED SIDES
- PROPOSED ACCESSIBLE RAMP (5' WIDE) WITH HEADER CURB SIDES (FOR DELIVERIES AND REFUSE PICK-UP)
- PROPOSED ZERO HEIGHT CURB (6' WIDE) WITH 2' TRANSITIONS TO FULL HEIGHT CURB
- PROPOSED OFF-SITE STANDARD CURB AND GUTTER PER COA STANDARD DETAIL 2415A
- PROPOSED ON-SITE CURB AND GUTTER (6" VERTICAL CURB, 1.5" PAN)
- PROPOSED ON-SITE CURB AND GUTTER (6" VERTICAL CURB, 1.0" PAN)
- PROPOSED ON-SITE 3' WIDE CONCRETE VALLEY GUTTER
- PROPOSED OFF-SITE 6' WIDE CONCRETE SIDEWALK PER COA STANDARD DETAIL 2430
- PROPOSED ON-SITE CONCRETE SIDEWALK (LAYOUT PER PLAN)
- PROPOSED PRIVATE ENTRANCE PER COA STANDARD DETAIL 2426 (ALL CONCRETE)
- PROPOSED 4" SOLID YELLOW STRIPE LANE DELINEATOR
- PROPOSED 4" SOLID YELLOW STRIPE PAINTED GORE
- PROPOSED 4" SOLID YELLOW STRIPE AISLE
- PROPOSED 4" SOLID YELLOW STRIPE ISLAND
- PROPOSED GUARD RAIL
- PROPOSED STOP SIGN
- PROPOSED DO NOT ENTER SIGN
- PROPOSED RIGHT TURN ONLY SIGN
- EXISTING STALLS TO REMAIN
- EXISTING OFF-SITE CONCRETE SIDEWALK TO REMAIN
- EXISTING CURB AND GUTTER TO REMAIN
- PROPOSED DOOR LOCATION
- PROPOSED MENU BOARD AND ORDER POST
- PROPOSED DRIVE THRU WINDOW
- PROPOSED OFF-SITE ACCESSIBLE RAMP (5' WIDE) PER COA STANDARD DETAIL 2440 & 2441
- EXISTING GUARD RAIL TO REMAIN
- PROPOSED BIKE RACK
- PROPOSED DRIVE THRU ENTRY CLEARANCE BAR
- PROPOSED PIPE BOLLARD
- PROPOSED LIMITS OF CONSTRUCTION



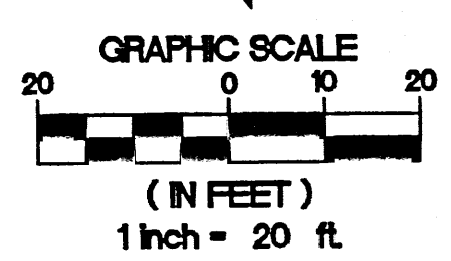
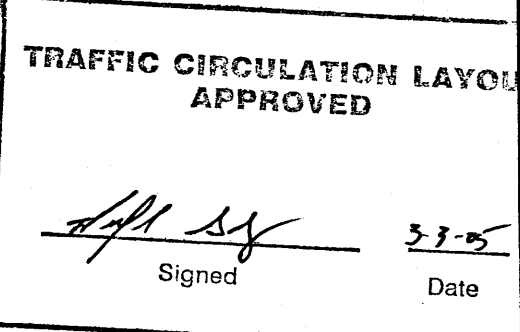
VICINITY MAP  
SCALE: 1"=1000'

### GENERAL SITE PLAN NOTES

- THE CONSTRUCTION COVERED BY THESE PLANS ON PRIVATE PROPERTY SHALL CONFORM TO STANDARD SPECIFICATIONS OF THE CITY OF ALBUQUERQUE.
- ALL WORK WITHIN PUBLIC RIGHT OF WAY AND EASEMENTS SHALL CONFORM TO THE TECHNICAL SPECIFICATIONS AND DESIGN CRITERIA FOR PUBLIC IMPROVEMENT PROJECTS OF THE CITY OF ALBUQUERQUE AND THE GRANTOR OF THE EASEMENT.
- THE CONTRACTOR SHALL NOT CHANGE OR DEViate FROM THE PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE OWNER AND ENGINEER.
- THE EXISTING UTILITY LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MAY NOT INCLUDE ALL LINES PRESENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING NEW MEXICO ONE CALL AT 1-800-321-2537, AND COORDINATING FIELD LOCATION OF EXISTING UNDERGROUND UTILITIES PRIOR TO BEGINNING GRADING WORK. 11STOP!! CALL BEFORE YOU DIG!!
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS NOT OBTAINED BY THE OWNER OR OWNER'S REPRESENTATIVES, AND PAYING ALL FEES AS REQUIRED BY THE CONSTRUCTION COVERED IN THESE PLANS.
- ALL WORK AND MATERIALS SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE OWNER OR THE OWNER'S REPRESENTATIVE.
- ALL WORK SHALL CONFORM TO ALL LOCAL, STATE, AND FEDERAL APPLICABLE LAWS AND REGULATIONS.
- CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY UPON DISCOVERY OF ANY ERRORS OR INCONSISTENCIES.
- ALL ESTIMATES OF QUANTITIES ARE FOR INFORMATIONAL PURPOSES ONLY. CONTRACTOR AND SUBCONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING ALL QUANTITIES. CONTRACTOR SHALL PROVIDE ALL WORK AND MATERIALS AS SHOWN ON PLANS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR JOB SITE SAFETY OF HIS OWN PERSONNEL, ALL VISITORS TO THE SITE, AND THE GENERAL PUBLIC.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ALL EXISTING AREAS, FENCES, WALLS, SHEDS, STRUCTURES OR OTHER IMPROVEMENTS DAMAGED DURING CONSTRUCTION ACTIVITIES TO EQUAL OR BETTER CONDITION.
- THE CONTRACTOR SHALL REMOVE ALL DEBRIS RESULTING FROM WORK UNDER THIS CONTRACT TO AN APPROVED DUMP SITE.
- ALL DIMENSIONS SHOWN ARE TO FACE OF CURB LINE IN CURBED AREA AND EXTERIOR FACE OF THE FOUNDATION IN BUILDING AREAS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ACCESS TO ADJACENT PARCELS DURING ALL HOURS OF OPERATION FOR THE BUSINESSES LOCATED ON THOSE PARCELS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE PUBLIC STREETS AND ACCESS ROUTES IN THE VICINITY OF THE JOB SITE CLEAN AND FREE OF ROCKS, SOIL, AND DEBRIS.
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL PROPERTY CORNERS. ANY PROPERTY CORNERS DISTURBED OR DAMAGED BY GRADING ACTIVITIES SHALL BE RESET BY A PROFESSIONAL LAND SURVEYOR LICENSED IN THE STATE OF NEW MEXICO, AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING THE OWNER OR THE OWNER'S REPRESENTATIVE WITH AS-BUILTS SURVEYS, CERTIFIED BY A PROFESSIONAL LAND SURVEYOR IN THE STATE OF NEW MEXICO.
- THE GRADING INFORMATION SHOWN ON THIS TRAFFIC CIRCULATION LAYOUT SITE PLAN IS FOR INFORMATIONAL PURPOSES ONLY. CONTRACTOR SHALL OBTAIN A COPY OF THE APPROVED GRADING AND DRAINAGE SUBMITTAL FOR THIS PROJECT FOR GRADING CONSTRUCTION PURPOSES.
- ALL PAVEMENT MARKINGS FOR STANDARD PARKING STALLS AND ACCESSIBLE PARKING STALLS SHALL BE 4" WIDE YELLOW MARKINGS, CONFORMING TO AASHTO M248 READY MIXED YELLOW TRAFFIC PAINT.

### ADA NOTES

- THE CONTRACTOR IS RESPONSIBLE FOR INSURING THAT ALL ACCESSIBLE AREA ARE BUILT IN ACCORDANCE WITH THE PLANS AND THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG). THE SITE WILL BE INSPECTED BY CITY PERSONAL FOR COMPLIANCE WITH ADAAG.
- ALL ADA ACCESSIBLE PARKING STALLS SHALL MEET ADA REQUIREMENTS PER THE ADAAG SECTION 4.6. ALL ADA ACCESSIBLE PARKING SHALL BE CONSTRUCTED WITH A MAXIMUM SLOPE OF 2.00% IN ANY DIRECTION.
- ALL ADA ACCESSIBLE ROUTES SHALL MEET ADA REQUIREMENTS PER THE ADAAG SECTION 4.3. ALL ADA ACCESSIBLE ROUTES SHALL BE CONSTRUCTED WITH A MAXIMUM CROSS SLOPE OF 2.00% AND A MAXIMUM LONGITUDINAL SLOPE OF 5.00%.
- ALL ADA MANEUVERING AREAS AT DOORS SHALL MEET ADA REQUIREMENTS PER THE ADAAG SECTION 4.13.6. ALL ADA MANEUVERING AREAS SHALL BE CONSTRUCTED WITH A MAXIMUM SLOPE OF 2.00% IN ANY DIRECTION.
- ALL ADA ACCESSIBLE RAMPS SHALL MEET THE ADA REQUIREMENTS PER ADAAG SECTION 4.7 & 4.8.



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STARBUCKS-SAN MATEO AND PAN AMERICAN  
TRAFFIC CIRCULATION LAYOUT  
SITE PLAN SUBMITTAL

ALBUQUERQUE, NEW MEXICO 87109

2004

drawn by: WCE  
checked by: MJY  
approved by: MJY  
project no.: 2004-0936  
dwg name:  
date: 01/25/05

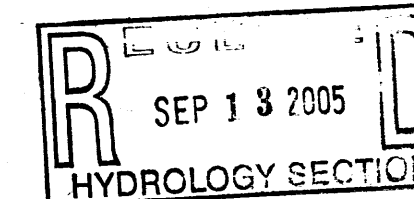
SHEET  
TCL02  
2 OF 2 SHEETS



# STARBUCKS-SAN MATEO AND PAN AMERICAN

## GRADING AND DRAINAGE SUBMITTAL

LOT A-1, LAND OF JACK RUST, ELENA GALLEGOS GRANT, LOCATED IN SECTION 26, TOWNSHIP 11 NORTH, RANGE 3 EAST,  
NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, COUNTY OF BERNALILLO, STATE OF NEW MEXICO



### DRAINAGE CERTIFICATION WITH VERIFICATION BY ENGINEER OF RECORD

#### DRAINAGE CERTIFICATION

I, Michael J. Yost, NMPE, OF THE FIRM OLSSON ASSOCIATES, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 9/8/05. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR REVISION.

(DESCRIBE ANY EXCEPTIONS AND/OR QUALIFICATIONS HERE IN A SEPARATE PARAGRAPH)

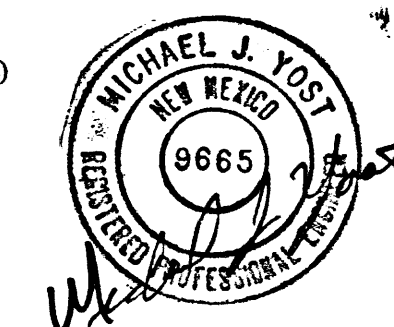
THE PLANS WERE MODIFIED ON 5/20/05 FOR SOME ONSITE CHANGES. THE CHANGES ARE AS FOLLOWS: TRASH ENCLOSURE WAS SHIFTED SOUTH WHICH ELIMINATED A PARKING STALL ON THE FRONT SIDE OF THE BUILDING, CHANGED THE LAYOUT OF THE SIDEWALK ON THE EAST SIDE OF THE BUILDING, AND MADE THE STRIPED ISLAND ON THE EAST SIDE OF THE BUILDING A CURBED ISLAND.

NO CHANGES TO THE DRAINAGE AREAS WERE MADE.

(DESCRIBE ANY DEFICIENCIES AND/OR REQUIRED CORRECTIONS HERE IN A SEPARATE PARAGRAPH)

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

Michael J. Yost  
Michael J. Yost, NMPE 9665  
Date 9/8/05



### GENERAL SITE AND GRADING NOTES:

1. THE CONSTRUCTION COVERED BY THESE PLANS ON PRIVATE PROPERTY SHALL CONFORM TO STANDARD SPECIFICATIONS OF THE CITY OF ALBUQUERQUE.
2. ALL WORK WITHIN PUBLIC RIGHT OF WAY AND EASEMENTS SHALL CONFORM TO THE TECHNICAL SPECIFICATIONS AND DESIGN CRITERIA FOR PUBLIC IMPROVEMENT PROJECTS OF THE CITY OF ALBUQUERQUE AND THE GRANTOR OF THE EASEMENT.
3. THE CONTRACTOR SHALL NOT CHANGE OR DEVIATE FROM THE PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE OWNER AND ENGINEER.
4. THE EXISTING UTILITY LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MAY NOT INCLUDE ALL LINES. PRESENT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING NEW MEXICO ONE CALL AT 1-800-321-2537, AND COORDINATING FIELD LOCATION OF EXISTING UNDERGROUND UTILITIES PRIOR TO BEGINNING GRADING WORK. 11STOP!! CALL BEFORE YOU DIG!!
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS NOT OBTAINED BY THE OWNER OR OWNER'S REPRESENTATIVES, AND PAYING ALL FEES AS REQUIRED BY THE CONSTRUCTION COVERED IN THESE PLANS.
6. ALL WORK AND MATERIALS SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE OWNER OR THE OWNER'S REPRESENTATIVE.
7. ALL WORK SHALL CONFORM TO ALL LOCAL, STATE, AND FEDERAL APPLICABLE LAWS AND REGULATIONS.
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12. THE CONTRACTOR SHALL REMOVE ALL DEBRIS RESULTING FROM WORK UNDER THIS CONTRACT TO AN APPROVED DUMP SITE.
13. ALL DIMENSIONS SHOWN ARE TO FACE OF CURB LINE IN CURBED AREA AND EXTERIOR FACE OF THE FOUNDATION IN BUILDING AREAS.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ACCESS TO ADJACENT PARCELS DURING ALL HOURS OF OPERATION FOR THE BUSINESSES LOCATED ON THOSE PARCELS.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE PUBLIC STREETS AND ACCESS ROUTES IN THE VICINITY OF THE JOB SITE CLEAN AND FREE OF ROCKS, SOIL AND DEBRIS.
16. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL PROPERTY CORNERS. ANY PROPERTY CORNERS DISTURBED OR DAMAGED BY GRADING ACTIVITIES SHALL BE RESET BY A PROFESSIONAL LAND SURVEYOR LICENSED IN THE STATE OF NEW MEXICO, AT THE CONTRACTOR'S EXPENSE.
17. THE CONTOUR LINES, SPOT ELEVATIONS AND BUILDING FLOOR ELEVATIONS SHOWN ARE TO FINISH GRADE FOR SURFACE OF PAVEMENT, TOP OF SIDEWALKS AND CURBS, ETC. REFER TO TYPICAL SECTIONS FOR MULCH, SOIL, PAVING, SLAB AND AGGREGATE BASE THICKNESS TO DEDUCT FOR GRADING LINE ELEVATIONS.
18. ALL TOP OF CURB AND SIDEWALK ELEVATIONS SHALL BE 0.5' ABOVE GUTTER ELEVATIONS UNLESS OTHERWISE NOTED. IN AREAS WITH SIDEWALK ABUTTING BACK OF CURB, TOP OF CURB ELEVATIONS SHALL BE EQUAL TO SIDEWALK ELEVATIONS.
19. THE CONTRACTOR SHALL FINISH GRADE SLOPES AS SHOWN NO STEEPER THAN ONE FOOT VERTICAL IN THREE FEET HORIZONTAL.
20. ALL PROPOSED STRUCTURES UTILITY VALVES, METER PITS, ETC. SHALL BE BUILT OR ADJUSTED TO FINISH GRADE. ALL EXISTING STRUCTURES, UTILITY VALVES, METER PITS, ETC. AFFECTED BY THE WORK SHALL BE ADJUSTED AS REQUIRED TO MATCH FINISH GRADE.
21. CONTRACTOR SHALL GRADE LANDSCAPED AREAS TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS AND SIDEWALKS WHEN FINISH LANDSCAPE MATERIALS ARE IN PLACE. SLOPE SHALL BE A 2% MINIMUM.
22. SITE PREPARATION, GRADING AND EXCAVATION PROCEDURES SHALL CONFORM TO THE RECOMMENDATIONS OUTLINED IN THE GEOTECHNICAL REPORT PREPARED FOR THIS PROJECT.
23. THE OWNER AND ENGINEER MAKE NO ASSURANCES OF THE ACCURACY OF THE SOIL BORINGS INCLUDED IN THE GEOTECHNICAL REPORT. THE CONTRACTOR SHALL MAKE HIS OWN ASSUMPTIONS ON THE LOCATION AND CONSISTENCY OF ANY EXISTING ROCK LAYERS UNDERLYING THE PROJECT SITE.
24. THE CONTRACTOR SHALL CLEAN OUT ALL EXISTING AND PROPOSED INLETS, PIPES AND MANHOLES OF DEBRIS AND SEDIMENTATION AT COMPLETION OF SITEWORK. THIS WORK SHALL BE DONE TO THE SATISFACTION OF THE OWNER.
25. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING THE OWNER OR THE OWNER'S REPRESENTATIVE WITH AS-BUILT SURVEYS, CERTIFIED BY A PROFESSIONAL LAND SURVEYOR IN THE STATE OF NEW MEXICO.

### ADA NOTES:

1. THE CONTRACTOR IS RESPONSIBLE FOR INSURING THAT ALL ACCESSIBLE AREA ARE BUILT IN ACCORDANCE WITH THE PLANS AND THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG). THE SITE WILL BE INSPECTED BY CITY PERSONAL FOR COMPLIANCE WITH ADAAG.
2. ALL ADA ACCESSIBLE PARKING STALLS SHALL MEET ADA REQUIREMENTS PER THE ADAAG SECTION 4.6. ALL ADA ACCESSIBLE PARKING SHALL BE CONSTRUCTED WITH A MAXIMUM SLOPE OF 2.00% IN ANY DIRECTION.
3. ALL ADA ACCESSIBLE ROUTES SHALL MEET ADA REQUIREMENTS PER THE ADAAG SECTION 4.3. ALL ADA ACCESSIBLE ROUTES SHALL BE CONSTRUCTED WITH A MAXIMUM CROSS SLOPE OF 2.00% AND A MAXIMUM LONGITUDINAL SLOPE OF 5.00%.
4. ALL ADA MANEUVERING AREAS AT DOORS SHALL MEET ADA REQUIREMENTS PER THE ADAAG SECTION 4.13.6. ALL ADA MANEUVERING AREAS SHALL BE CONSTRUCTED WITH A MAXIMUM SLOPE OF 2.00% IN ANY DIRECTION.
5. ALL ADA ACCESSIBLE RAMPS SHALL MEET THE ADA REQUIREMENTS PER ADAAG SECTION 4.7 & 4.8.

### LEGEND

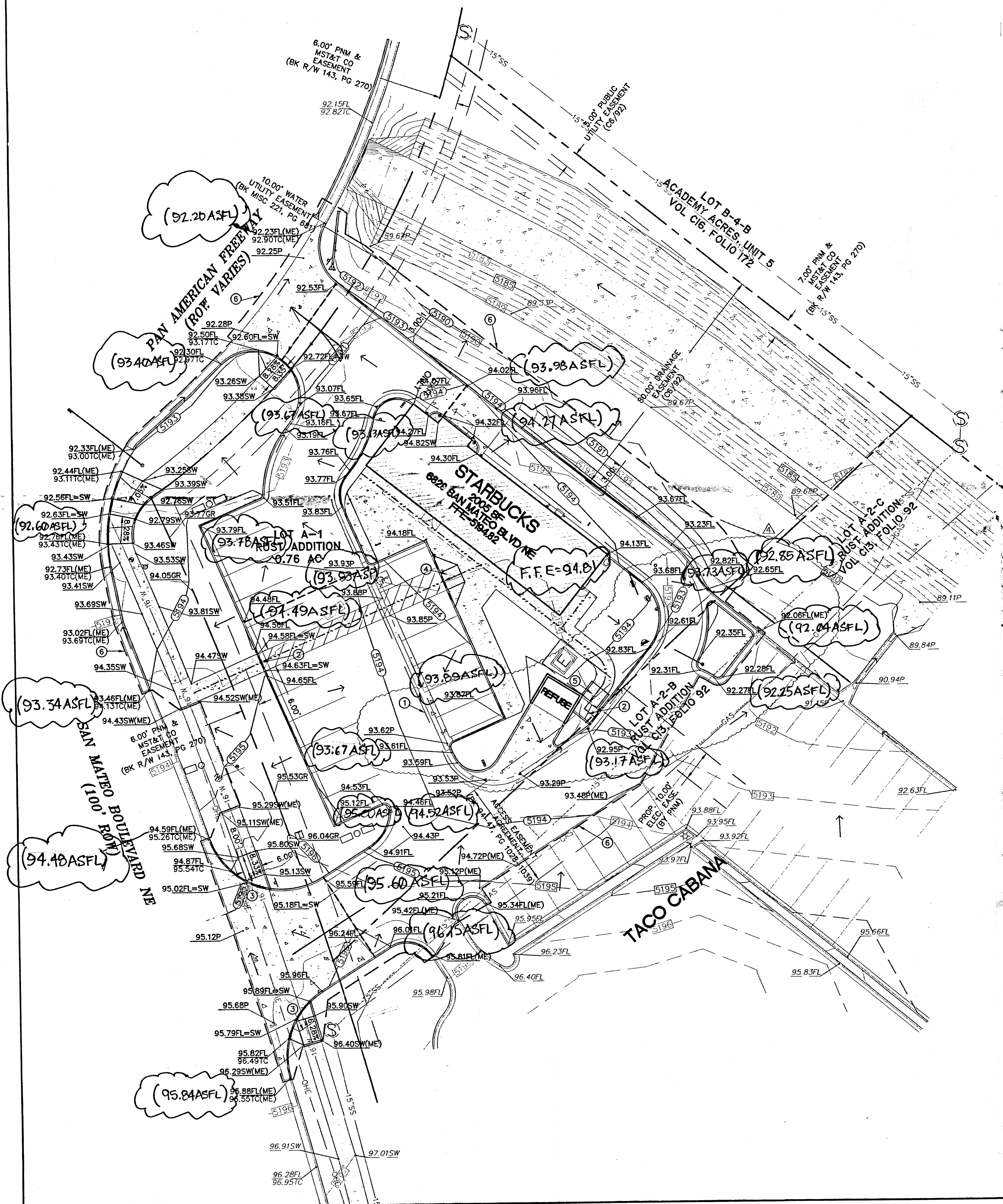
- ✓ DRAINAGE FLOW ARROWS
- GRADE BREAK RIDGE
- 3.00:1 SLOPE GRADES
- PROPOSED ACCESSIBLE ROUTE
- EXISTING ACCESSIBLE ROUTE
- PROPOSED CRITICAL SPOT ELEVATIONS (BREAK IN GRADE)  
FL=FLOWLINE  
P=PAVEMENT  
SW=SIDEWALK  
TC=TOP BACK OF CURB  
RIM=RIM ELEVATION  
GR=FINISHED GROUND  
(ME)=MATCH EXISTING
- PROPOSED SPOT ELEVATIONS  
FL=FLOWLINE  
P=PAVEMENT  
SW=SIDEWALK  
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### KEYNOTES

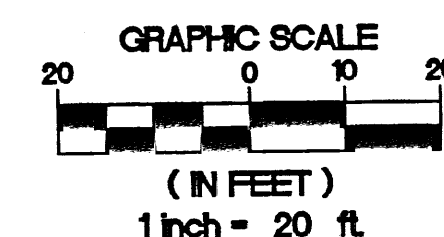
1. FOR DETAILED SPOT ELEVATIONS IN THE BUILDING PAD AREA, SEE SHEET GD03
2. ZERO HEIGHT CURB (6" WIDE), WITH 2' TRANSITIONS TO FULL HEIGHT CURB
3. ACCESSIBLE RAMP (6" WIDE), PER COA STANDARD DETAIL 2426
4. ACCESSIBLE RAMP (6" WIDE), WITH FLARED SIDES
5. ACCESSIBLE RAMP (5' WIDE), WITH HEADER CURB SIDES
6. PROPOSED LIMITS OF CONSTRUCTION

### SPOT ELEVATION NOTE

1. ALL SPOT ELEVATIONS SHOWN HAVE A BASE ELEVATION OF 5100 FEET.



70.00 ASFL AS BUILT ELEVATIONS



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ARIZONA

**STARBUCKS-SAN MATEO AND PAN AMERICAN**  
GRADING AND DRAINAGE SUBMITTAL  
ALBUQUERQUE, NEW MEXICO 2004

drawn by: WCE  
checked by: MJY  
approved by: MJY  
project no.: 2004-0936  
dwg name:  
date: 02/28/05

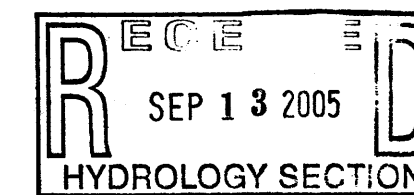
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**GD02**  
2 of 4 SHEETS



# STARBUCKS-SAN MATEO AND PAN AMERICAN

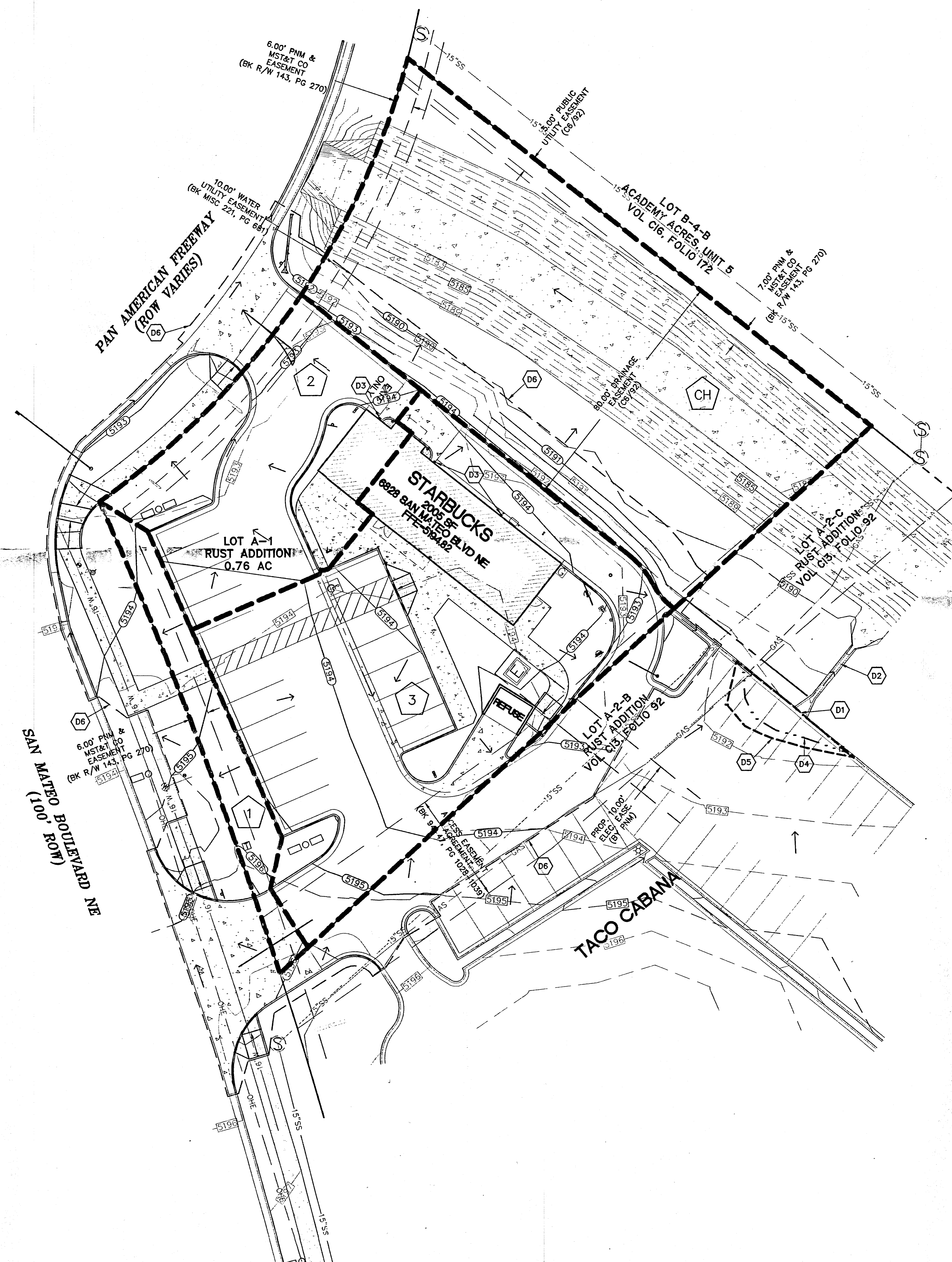
## GRADING AND DRAINAGE SUBMITTAL

LOT A-1, LAND OF JACK RUST, ELENA GALLEGOS GRANT, LOCATED IN SECTION 26, TOWNSHIP 11 NORTH, RANGE 3 EAST,  
NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, COUNTY OF BERNALILLO, STATE OF NEW MEXICO



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ARIZONA  
NEW MEXICO

**ALBUQUERQUE, NEW MEXICO 87109**



Basin Breakdown by Land Treatment					Basin Breakdown by Land Treatment					Basin Breakdown by Land Treatment					Basin Breakdown by Land Treatment								
A	B	C	D	Total	A	B	C	D	Total	A	B	C	D	Total	A	B	C	D	Total				
square feet	0	0	1395	272	1658	square feet	0	0	1067	4340	5407	square feet	0	0	1492	11021	12513	square feet	0	0	6042	7557	13599
acres	0.00	0.00	0.03	0.01	0.04	acres	0.00	0.00	0.02	0.10	0.12	acres	0.00	0.00	0.03	0.25	0.29	acres	0.00	0.00	0.14	0.17	0.31
Excess Precipitation-6 Hour Storm (Inches)					Excess Precipitation-6 Hour Storm (Inches)					Excess Precipitation-6 Hour Storm (Inches)					Excess Precipitation-6 Hour Storm (Inches)								
Zone 3	A	B	C	D	Zone 3	A	B	C	D	Zone 3	A	B	C	D	Zone 3	A	B	C	D				
2 Year	0.00	0.00	0.02	0.09	2 Year	0.00	0.00	0.06	0.20	2 Year	0.00	0.00	0.06	0.20	2 Year	0.00	0.00	0.06	0.20				
10 Year	0.19	0.36	0.62	1.50	10 Year	0.19	0.36	0.62	1.50	10 Year	0.19	0.36	0.62	1.50	10 Year	0.19	0.36	0.62	1.50				
100 Year	0.66	0.92	1.29	2.36	100 Year	0.66	0.92	1.29	2.36	100 Year	0.66	0.92	1.29	2.36	100 Year	0.66	0.92	1.29	2.36				
Weighted Excess Precipitation-6 Hour Storm					Weighted Excess Precipitation-6 Hour Storm					Weighted Excess Precipitation-6 Hour Storm					Weighted Excess Precipitation-6 Hour Storm								
E <sub>2</sub>	0.313				E <sub>2</sub>	0.754				E <sub>2</sub>	0.803				E <sub>2</sub>	0.583							
E <sub>10</sub>	0.764				E <sub>10</sub>	1.326				E <sub>10</sub>	1.395				E <sub>10</sub>	1.109							
E <sub>100</sub>	1.466				E <sub>100</sub>	2.149				E <sub>100</sub>	2.232				E <sub>100</sub>	1.855							
Runoff Volume-6 Hour Storm					Runoff Volume-6 Hour Storm					Runoff Volume-6 Hour Storm					Runoff Volume-6 Hour Storm								
V <sub>2</sub>	0.00	0.00	0.00	0.00	V <sub>2</sub>	0.01	0.01	0.01	0.01	V <sub>2</sub>	0.02	0.02	0.02	0.02	V <sub>2</sub>	0.02	0.02	0.02	0.02				
V <sub>10</sub>	0.00	0.00	0.00	0.00	V <sub>10</sub>	0.01	0.01	0.01	0.01	V <sub>10</sub>	0.03	0.03	0.03	0.03	V <sub>10</sub>	0.03	0.03	0.03	0.03				
V <sub>100</sub>	0.00	0.00	0.00	0.00	V <sub>100</sub>	0.02	0.02	0.02	0.02	V <sub>100</sub>	0.05	0.05	0.05	0.05	V <sub>100</sub>	0.05	0.05	0.05	0.05				
Runoff Volume-6 Hour Storm					Runoff Volume-6 Hour Storm					Runoff Volume-6 Hour Storm					Runoff Volume-6 Hour Storm								
V <sub>2</sub>	43				V <sub>2</sub>	340				V <sub>2</sub>	642				V <sub>2</sub>	661							
V <sub>10</sub>	106				V <sub>10</sub>	558				V <sub>10</sub>	1455				V <sub>10</sub>	1257							
V <sub>100</sub>	202				V <sub>100</sub>	968				V <sub>100</sub>	2328				V <sub>100</sub>	2136							
Peak Discharge-6 Hour Storm (cfs/ac)					Peak Discharge-6 Hour Storm (cfs/ac)					Peak Discharge-6 Hour Storm (cfs/ac)					Peak Discharge-6 Hour Storm (cfs/ac)								
Zone 3	A	B	C	D	Zone 3	A	B	C	D	Zone 3	A	B	C	D	Zone 3	A	B	C	D				
2 Year	0.00	0.21	0.78	2.04	2 Year	0.00	0.21	0.78	2.04	2 Year	0.00	0.21	0.78	2.04	2 Year	0.00	0.21	0.78	2.04				
10 Year	0.58	1.19	2.00	3.39	10 Year	0.58	1.19	2.00	3.39	10 Year	0.58	1.19	2.00	3.39	10 Year	0.58	1.19	2.00	3.39				
100 Year	1.87	2.60	3.45	5.02	100 Year	1.87	2.60	3.45	5.02	100 Year	1.87	2.60	3.45	5.02	100 Year	1.87	2.60	3.45	5.02				
Peak Discharge-6 Hour Storm					Peak Discharge-6 Hour Storm					Peak Discharge-6 Hour Storm					Peak Discharge-6 Hour Storm								
Q <sub>2</sub>	0.04				Q <sub>2</sub>	0.22				Q <sub>2</sub>	0.54				Q <sub>2</sub>	0.46							
Q <sub>10</sub>	0.08				Q <sub>10</sub>	0.39				Q <sub>10</sub>	0.93				Q <sub>10</sub>	0.87							
Q <sub>100</sub>	0.14				Q <sub>100</sub>	0.58				Q <sub>100</sub>	1.39				Q <sub>100</sub>	1.35							
PROPOSED DRAINAGE BASIN 1 ONSITE, TO SAN MATEO					PROPOSED DRAINAGE BASIN 2 ONSITE, TO PAN AMERICAN					PROPOSED DRAINAGE BASIN 3 ONSITE, TO TACO CABANA OUTLET					PROPOSED DRAINAGE BASIN 4 ONSITE, TO CONCRETE CHANNEL								

**TACO CABANA SITE**  
TOTAL EXISTING PEAK DISCHARGE FROM TACO CABANA SITE=5.88 CFS (PER DRAINAGE PLAN E18-D19A1)

**TACO CABANA OUTLET ANALYSIS**  
TOTAL EXISTING PEAK DISCHARGE TO TACO CABANA OUTLET=6.41 CFS (TACO CABANA SITE PLUS PORTION OF LOT A-1)

**EXISTING WEIR ANALYSIS**  
WIDE BROAD CRESTED WEIR WIDTH (L)=4'  
WEIR COEFFICIENT (C)=3.1  
 $Q=C*L*H^{1.5}$   
DEPTH OF FLOW (H)=0.64'  
CURB HEIGHT AT WEIR=0.67'

**EXISTING CHANNEL ANALYSIS**  
CONCRETE CHANNEL WIDTH (B)=1'  
CONCRETE CHANNEL SLOPE (S)=5.5%  
ROUGHNESS COEFFICIENT (N)=0.013  
 $Q=(1.486/N)*A*R^{2/3}*S^{1/2}$   
 $Q=(1.486/N)*(B*H)*((B+H)/(B+2H))^{2/3}*S^{1/2}$   
DEPTH OF FLOW (H)=0.58'  
CURB HEIGHT AT CHANNEL=0.50'

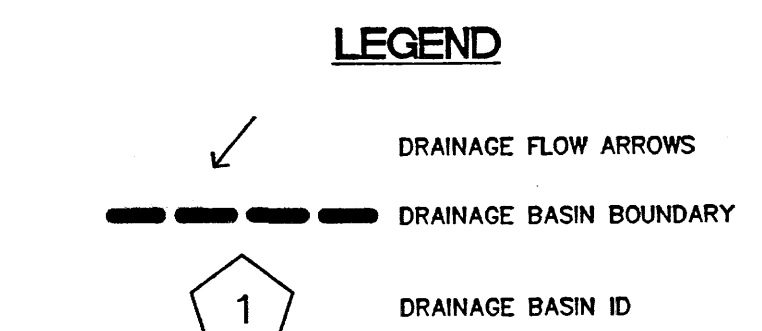
**WEIR CONDITION CONTROLS IN EXISTING CONDITIONS**  
EXISTING 100-YEAR WATER SURFACE DEPTH=0.64'  
EXISTING 100-YEAR WATER SURFACE ELEVATION=5191.79

**OTAL EXISTING PEAK DISCHARGE TO TACO CABANA OUTLET=7.27 CFS (TACO CABANA SITE PLUS BASIN 3)**

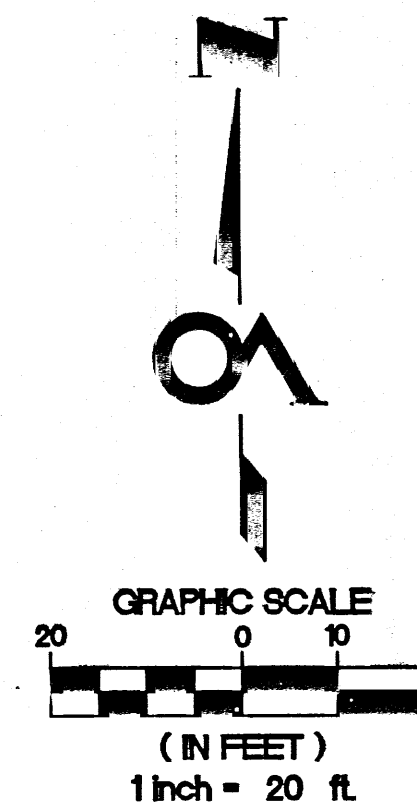
**PROPOSED WEIR ANALYSIS**  
WIDE BROAD CRESTED WEIR WIDTH (L)=4'  
WEIR COEFFICIENT (C)=3.1  
 $Q=C*L*H^{1.5}$   
DEPTH OF FLOW (H)=0.70'  
CURB HEIGHT AT WEIR=0.67'

**PROPOSED CHANNEL ANALYSIS**  
CONCRETE CHANNEL WIDTH (B)=1'  
CONCRETE CHANNEL SLOPE (S)=5.5%  
ROUGHNESS COEFFICIENT (N)=0.013  
 $Q=(1.486/N)*A*R^{2/3}*S^{1/2}$   
 $Q=(1.486/N)*(B*H)*((B+H)/(B+2H))^{2/3}*S^{1/2}$   
DEPTH OF FLOW (H)=0.63'  
CURB HEIGHT AT CHANNEL=0.50'

**WEIR CONDITION CONTROLS IN PROPOSED CONDITIONS**  
PROPOSED 100-YEAR WATER SURFACE DEPTH=0.70'  
PROPOSED 100-YEAR WATER SURFACE ELEVATION=5191.85  
CHANGE IN WATER SURFACE DEPTH=0.06'



- KEYNOTES**
- D1 EXISTING TACO CABANA OUTLET WEIR, 4' WIDE, 0.67' DEEP
  - D2 EXISTING TACO CABANA OUTLET CHANNEL, 1' WIDE, 0.5' DEEP, 5.5% SLOPE
  - D3 PROPOSED ROOF DRAIN LOCATION
  - D4 100-YEAR WATER SURFACE ELEVATIONS, EXISTING DRAINAGE CONDITIONS
  - D5 100-YEAR WATER SURFACE ELEVATIONS, PROPOSED DRAINAGE CONDITIONS
  - D6 PROPOSED LIMITS OF CONSTRUCTION



**DRAINAGE PLAN**

**STARBUCKS-SAN MATEO AND PAN AMERICAN  
GRADING AND DRAINAGE SUBMITTAL**

**ALBUQUERQUE, NEW MEXICO 2004**

drawn by: WCE  
checked by: MJY  
approved by: MJY  
project no.: 2004-0936  
dwg name:  
date: 02/28/05

**SHEET  
GD04  
4 OF 4 SHEETS**