CITY OF ALBUQUERQUE

Planning Department Alan Varela, Director



Mayor Timothy M. Keller

June 6, 2025

Larae Deagen Deaco Group 402 Burl Moore Rd Ennis, TX 75119

RE: 7-Eleven 44808 / Speedway 8690 6100 San Mateo Blvd NE Grading and Drainage Plan Engineer's Stamp Date: 2/28/2025 Hydrology File: E18D064 Case # HYDR-2025-00165

Dear Ms. Deagen:

PO Box 1293 Based upon the information provided in your submittal received 5/9/2025, the Grading plan is **approved** for Building Permit and Grading Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

Albuquerque **PRIOR TO CERTIFICATE OF OCCUPANCY:**

NM 87103

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.

www.cabq.gov

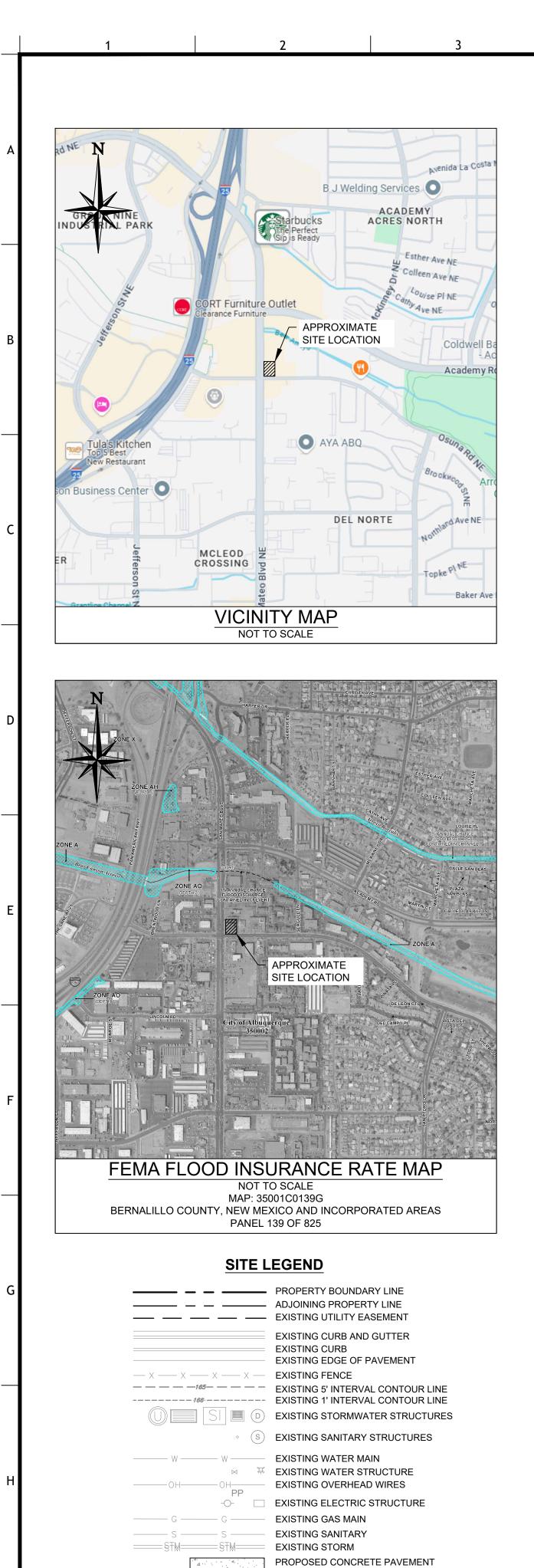
As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, <u>jhughes@cabq.gov</u>, 505-924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 505-924-3314 or amontoya@cabq.gov.

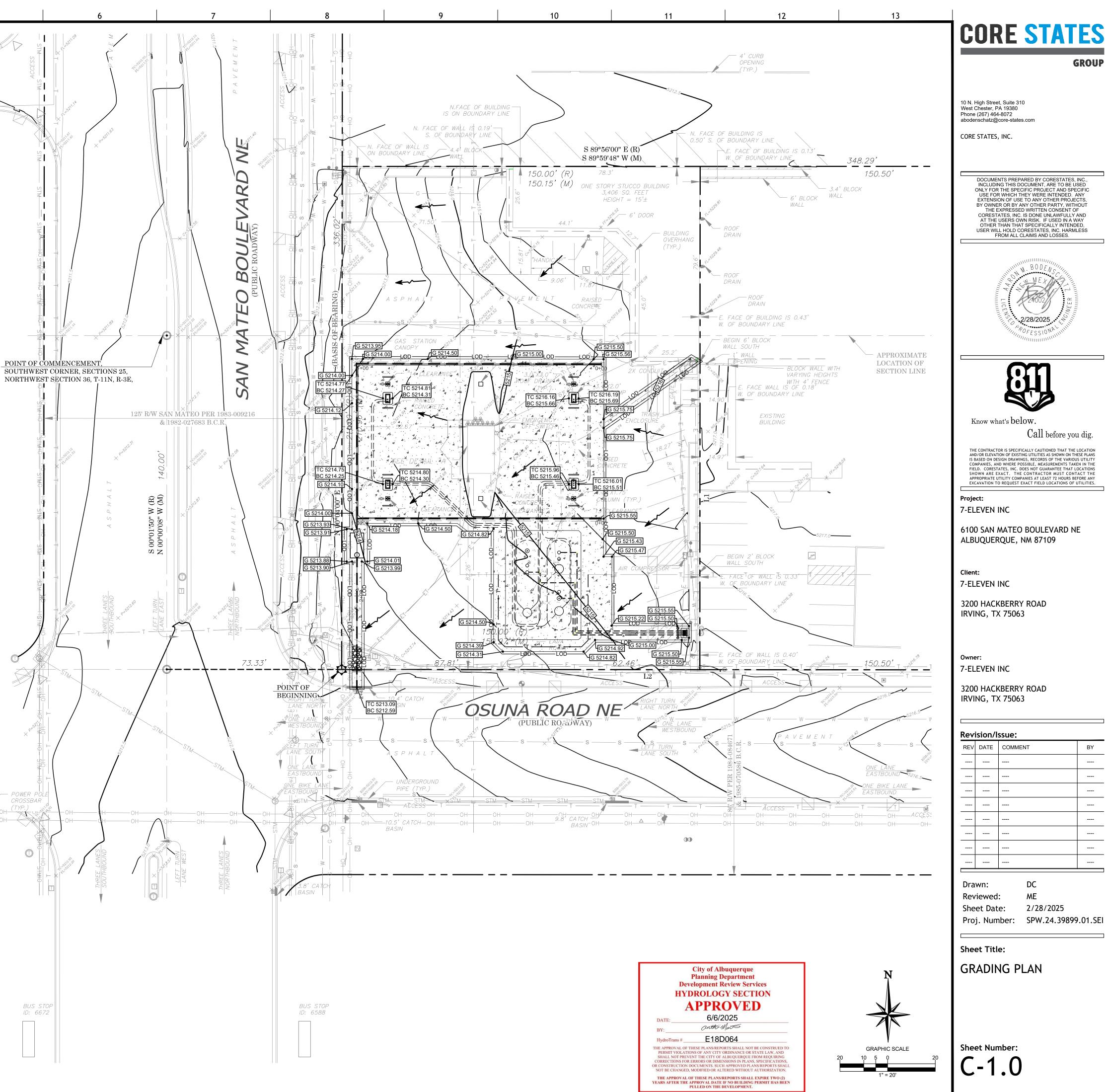
Sincerely,

anthe Mart

Anthony Montoya, Jr., P.E., CFM Senior Engineer, Hydrology Planning Department, Development Review Services



USER: DCAPUTO DATE: 10/4/2024 FILE: Q:\Convenience\7-Eleven, Inc\FL\Albuquerque, NM (FL, Site 8690, Store 44808) - SPW.24.39899.01.SEI\Design Files\Civil\Drawings\Presentation\SPW.24.39899.01.SEI-P-SITE.dwg



	City of Albuquerque Planning Department velopment Review Services DROLOGY SECTION
F	APPROVED
DATE:	6/6/2025
BY:	anthe Mart
HydroTrans #	E18D064
PERMIT VIOLATI SHALL NOT PREV CORRECTIONS FOR OR CONSTRUCTION NOT BE CHANGED	THESE PLANS/REPORTS SHALL NOT BE CONSTRUED TO IONS OF ANY CITY ORDINANCE OR STATE LAW, AND /ENT THE CITY OF ALBUQUERQUE FROM REQUIRING & ERRORS OR DIMENSIONS IN PLANS, SPECIFICATIONS, DOCUMENTS. SUCH APPROVED PLANS/REPORTS SHALL , MODIFIED OR ALTERED WITHOUT AUTHORIZATION.
	OF THESE PLANS/REPORTS SHALL EXPIRE TWO (2) APPROVAL DATE IF NO BUILDING PERMIT HAS BEEN PULLED ON THE DEVELOPMENT.

STORMWATER CALCULATIONS

HYDROLOGY											
BASIN	AREA (AC)	LA	Q100								
		A (CN=77)	B (CN=79)	C (CN=86)	D (CN=98)	(CFS)					
	EXISTING CONDITIONS										
EX1	0.42	0.00	0.00	0.012	0.413	1.40					
EX2	0.30	0.00	0.00	0.006	0.297	1.00					
TOTAL	0.72	0.00	0.00	0.020	0.710	2.40					
	PROPOSED CONDITIONS										
A1	0.42	0.00	0.00	0.012	0.413	1.40					
A2	0.30	0.00	0.00	0.006	0.297	1.00					
TOTAL	0.72	0.00	0.00	0.020	0.710	2.40					

SWQV

STORMWATER QUALITY

= AREA OF NEW IMPERVIOUS x 0.26 IN.

= 30,959 SF x 0.26 IN. = 30,959 SF x (0.26/12)

= 670.8 CF

THE OWNER HAS ELECTED TO PAY THE PAYMENT IN LIEU FOR THE REQUIRED STORMWATER QUALITY VOLUME

PAYMENT = SQQV (CF) x \$8/CF

= 670.8 CF x \$8/CF = \$5,367

STORM STRUCTURE TABLE										
STRUCTURE NAME	STRUCTURE TYPE	RIM	UPSTREAM PIPE NAME	UPSTREAM PIPE INV	DOWNSTREAM PIPE NAME	DOWNSTREAM PIPE INV	DOWNSTREAM PIPE LENGTH	DOWNSTREAM PIPE SIZE AND TYPE	DOWNSTREAM PIPE SLOPE	
A1	TRENCH DRAIN ENDCAP	5215.65	N/A	N/A	STM 1	5214.90'	102.57'	6 INCH TRENCH DRAIN	1.61%	
A2	90 DEGREE ELBOW	5213.94	STM 1	5213.25'	STM 2	5213.25'	64.98'	6 INCH TRENCH DRAIN	0.81%	
A3	6" CLEANOUT	5214.05	STM 2 STM 4	5212.72' 5212.72'	STM 3	5211.55'	6.00'	6 INCH HDPE Pipe	1.03%	
A4	OIL/WATER SEPARATOR IN	5213.99	STM 3	5211.49'	N/A	N/A	N/A	N/A	N/A	
A5	OIL/WATER SEPARATOR OUT	5213.89	N/A	N/A	STM 5	5211.24'	55.13'	6 INCH HDPE PIPE	1.03%	
A6	EXISTING CATCH BASIN	5212.59	STM 5	5210.67'	N/A	N/A	N/A	N/A	N/A	
Α7	TRENCH DRAIN ENDCAP	5215.68	N/A	N/A	STM 4	5214.93'	102.42'	6 INCH TRENCH DRAIN	2.15%	



THE SITE IS A 0.728 ACRE DEVELOPED PROPERTY BOUNDED TO THE EAST BY SAN MATEO BOULEVARD, TO THE SOUTH BY OSUNA ROAD NORTHEAST, TO THE WEST BY A DEVELOPED PROPERTY AND TO THE NORTH BY A DEVELOPED PROPERTY.

LAND USE:

- EXISTING: GAS STATION/FUELING FACILITIES

- PROPOSED: NO CHANGE

ZONE:

- EXISTING: MX-H (MIXED-USE HIGH INTENSITY)
- PROPOSED: NO CHANGE

PARKING: 5-5(C)(2)

- LIGHT VEHICLE FUELING STATION 4 SPACES/ 1,000 SF OF GFA
- REQUIRED: (3,406 SF / 1,000 SF) x 4 SPACES = 14 SPACES -- EXISTING: 18 SPACES (INCLUDING 1 ADA SPACE)
- -- PROPOSED: NO CHANGE

PROPOSED IMPROVEMENTS:

THE PROPOSED SITE IMPROVEMENTS INCLUDE REMOVAL AND REPLACEMENT OF UNDERGROUND FUEL STORAGE AND FUEL DISPENSERS. NO ADDITIONAL PROPOSED COVERAGE IS BEING DEVELOPED AND ALL DEMOLISHED PAVEMENT REQUIRED FOR PROPOSED IMPROVEMENTS WILL BE REPLACED IN KIND. PROPOSED IMPROVEMENTS WILL MATCH THE EXISTING DRAINAGE PATTERN OF THE SITE. EXISTING DRAINAGE PATTERNS SHEET FLOW TO THE ADJACENT STREETS OF OSUNA ROAD NORTHEAST AND SAN MATEO BOULEVARD NORTHEAST.

FLOOD HAZARD:

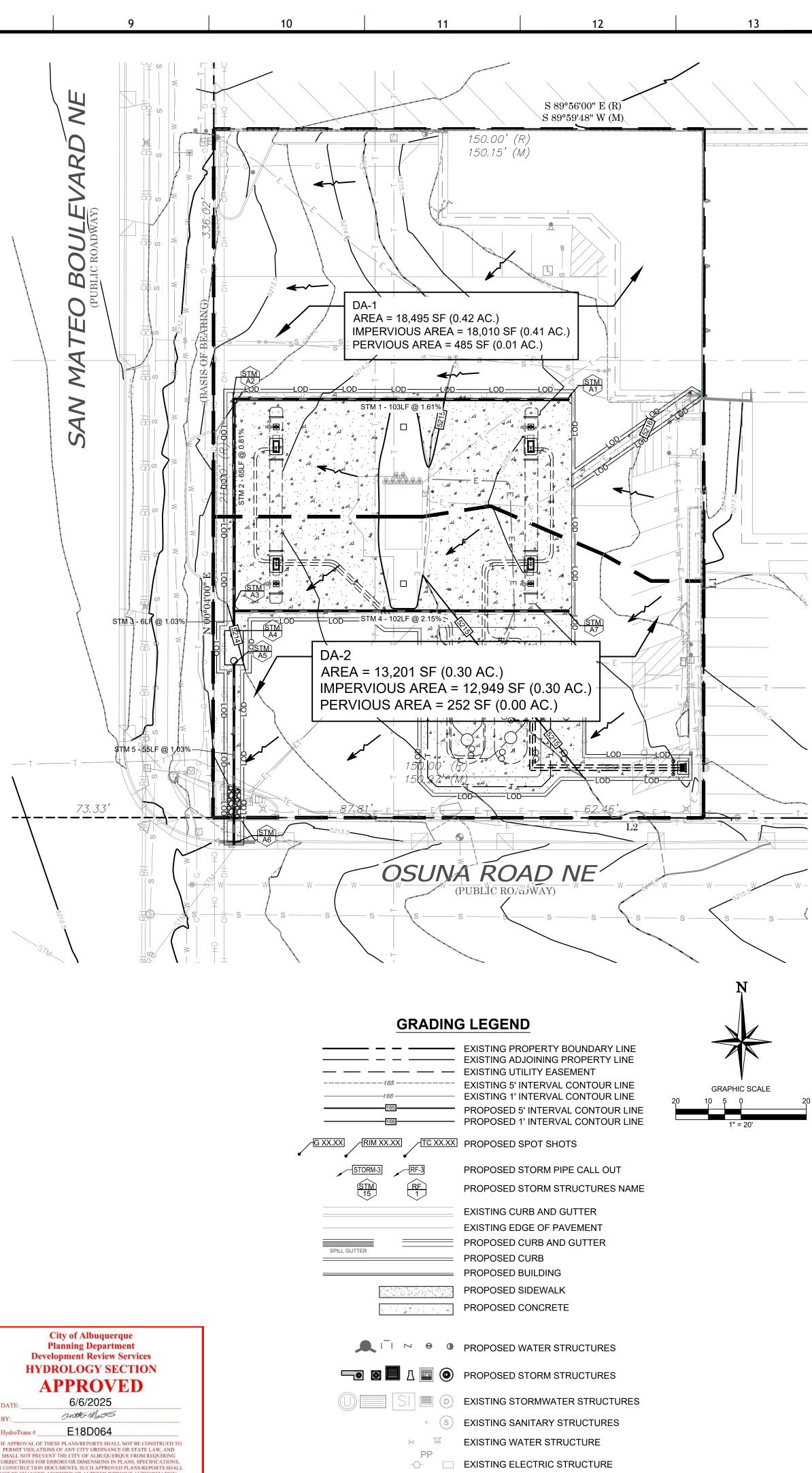
ACCORDING TO FEMA FIRM MAP, BERNALILLO COUNTY, NEW MEXICO #35001C0139G, THE SITE IS LOCATED WITHIN ZONE X AND IS OUTSIDE THE 500-YEAR FLOODPLAIN.

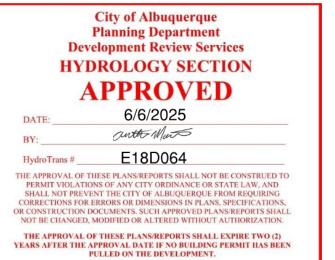
BENCHMARK:

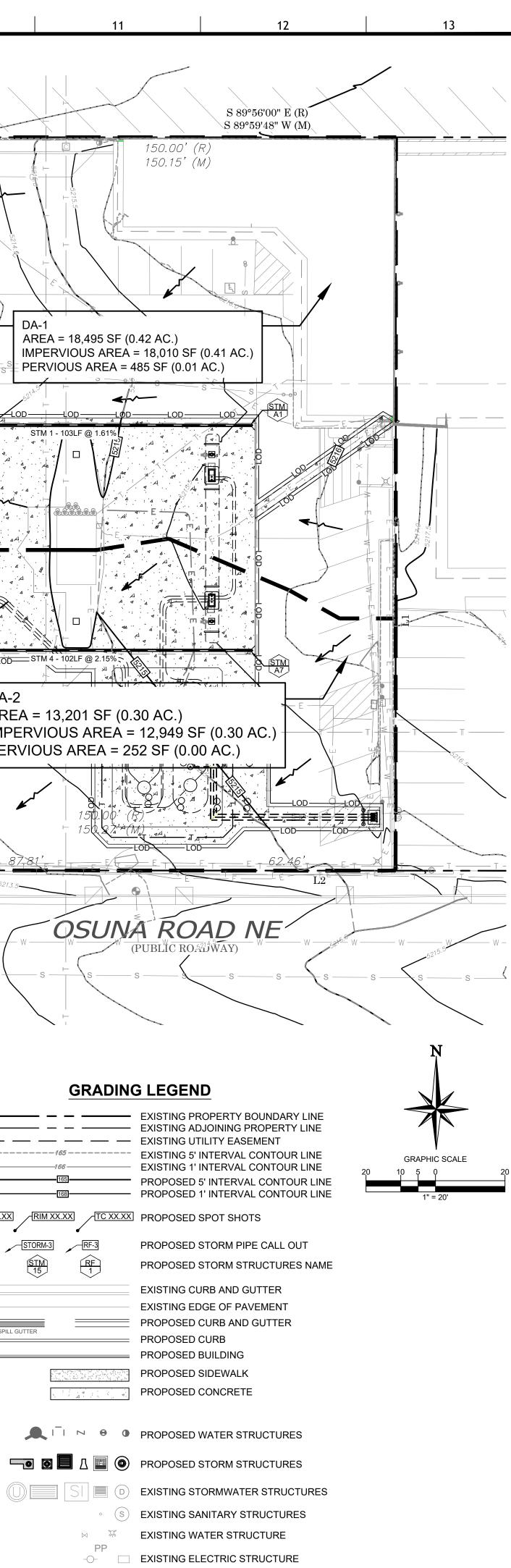
THE BENCHMARK USED FOR THIS SURVEY IS A COUNTY OF BERNALILLO BENCHMARK POINT ID 8_F18R, BEING A ¹/₄" CITY OF ALBUQUERQUE BRASS CAP FLUSH STAMPED "1981 1993", HAVING A DEFINED LOCATION PER THE DATA SHEET OF "tHE STATION IS LOCATED 5.6 MILES NORTHEAST OF DOWNTOWN ALBUQUERQUE ON THE NORTH SIDE OF OSUNA ROAD. TO REACH THE STATION FROM THE INTERSECTION OF SAN MATEO BOULEVARD AND I-25 GO SOUTH ON SAN MATEO BOULEVARD TO OSUNA ROAD. TURN LEFT GO EAST ON OSUNA ROAD 0.3 MILES TO THE STATION ON THE LEFT. THE STATION MARK IS A CITY OF ALBUQUERQUE SURVEY CONTROL 3-1/4" BRASS DISC STAMPED 8-F18 1981, RESET 1993" SET FLUSH IN THE TOP OF THE CURB". JAVING AN ELEVATION OF 5235.657 FEET, NAVD88.

IMPACT STATEMENT

A SERIES OF TRENCH DRAINS DOWNSTREAM FROM THE FUELING PAD WILL CAPTURE AND DISCHARGE STORMWATER INTO AN OIL/WATER SEPARATOR. THE OIL/WATER SEPARATOR WILL ULTIMATELY DISCHARGE VIA A 6 INCH HDPE PIPE AT MINIMUM 1.04% TO AN EXISTING CATCH BASIN LOCATED ON THE NORTH SIDE OF OSUNA ROAD NE. THE REMOVAL AND REPLACEMENT OF EXISTING FUEL TANKS AND DISPENSERS WILL CAUSE NO DISRUPTION TO EXISTING DRAINAGE PATTERNS AS THE CONCRETE PAVEMENT WILL BE REPLACED IN KIND TO MATCH THE EXISTING GRADES.







CORE STATES GROUP 10 N. High Street, Suite 310 West Chester, PA 19380 Phone (267) 464-8072 abodenschatz@core-states.com CORE STATES, INC. DOCUMENTS PREPARED BY CORESTATES, INC. INCLUDING THIS DOCUMENT, ARE TO BE USED ONLY FOR THE SPECIFIC PROJECT AND SPECIFIC USE FOR WHICH THEY WERE INTENDED. ANY EXTENSION OF USE TO ANY OTHER PROJECTS, BY OWNER OR BY ANY OTHER PARTY, WITHOUT THE EXPRESSED WRITTEN CONSENT OF CORESTATES, INC. IS DONE UNLAWFULLY AND AT THE USERS OWN RISK. IF USED IN A WAY OTHER THAN THAT SPECIFICALLY INTENDED USER WILL HOLD CORESTATES, INC. HARMLESS FROM ALL CLAIMS AND LOSSES. Know what's below. Call before you dig. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON DESIGN DRAWINGS, RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. CORESTATES, INC. DOES NOT GUARANTEE THAT LOCATIONS SHOWN ARE EXACT. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES. Project: 7-ELEVEN INC 6100 SAN MATEO BOULEVARD NE ALBUQUERQUE, NM 87109 Client: 7-ELEVEN INC 3200 HACKBERRY ROAD IRVING, TX 75063 Owner: 7-ELEVEN INC 3200 HACKBERRY ROAD IRVING, TX 75063 **Revision/Issue:** REV DATE COMMENT BY --------------------------------------_____ -- | ---- | --------

DC Drawn: ME Reviewed: 2/28/2025 Sheet Date: Proj. Number: SPW.24.39899.01.SEI

Sheet Title:

GRADING & DRAINAGE PLAN

Sheet Number: **C-1.1**