

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

June 6, 2025

Larae Deagen
Deaco Group
402 Burl Moore Rd
Ennis, TX 75119

**RE: 7-Eleven 44808 / Speedway 8690
6100 San Mateo Blvd NE
Grading and Drainage Plan
Engineer's Stamp Date: 2/28/2025
Hydrology File: E18D064
Case # HYDR-2025-00165**

Dear Ms. Deagen:

PO Box 1293

Based upon the information provided in your submittal received 5/9/2025, the Grading plan is **approved** for Building Permit and Grading Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

Albuquerque

PRIOR TO CERTIFICATE OF OCCUPANCY:

NM 87103

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.

www.cabq.gov

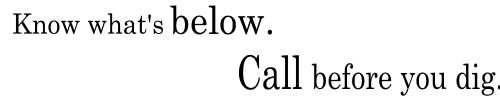
As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 505-924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 505-924-3314 or amontoya@cabq.gov.

Sincerely,

Anthony Montoya, Jr., P.E., CFM
Senior Engineer, Hydrology
Planning Department, Development Review Services

CORE STATES, INC.



Project:

7-ELEVEN INC

6100 SAN MATEO BOULEVARD NE
ALBUQUERQUE, NM 87109

Client:

7-ELEVEN INC

3200 HACKBERRY ROAD
IRVING, TX 75063

Owner:

7-ELEVEN INC

3200 HACKBERRY ROAD
IRVING, TX 75063

Revision/Issue:

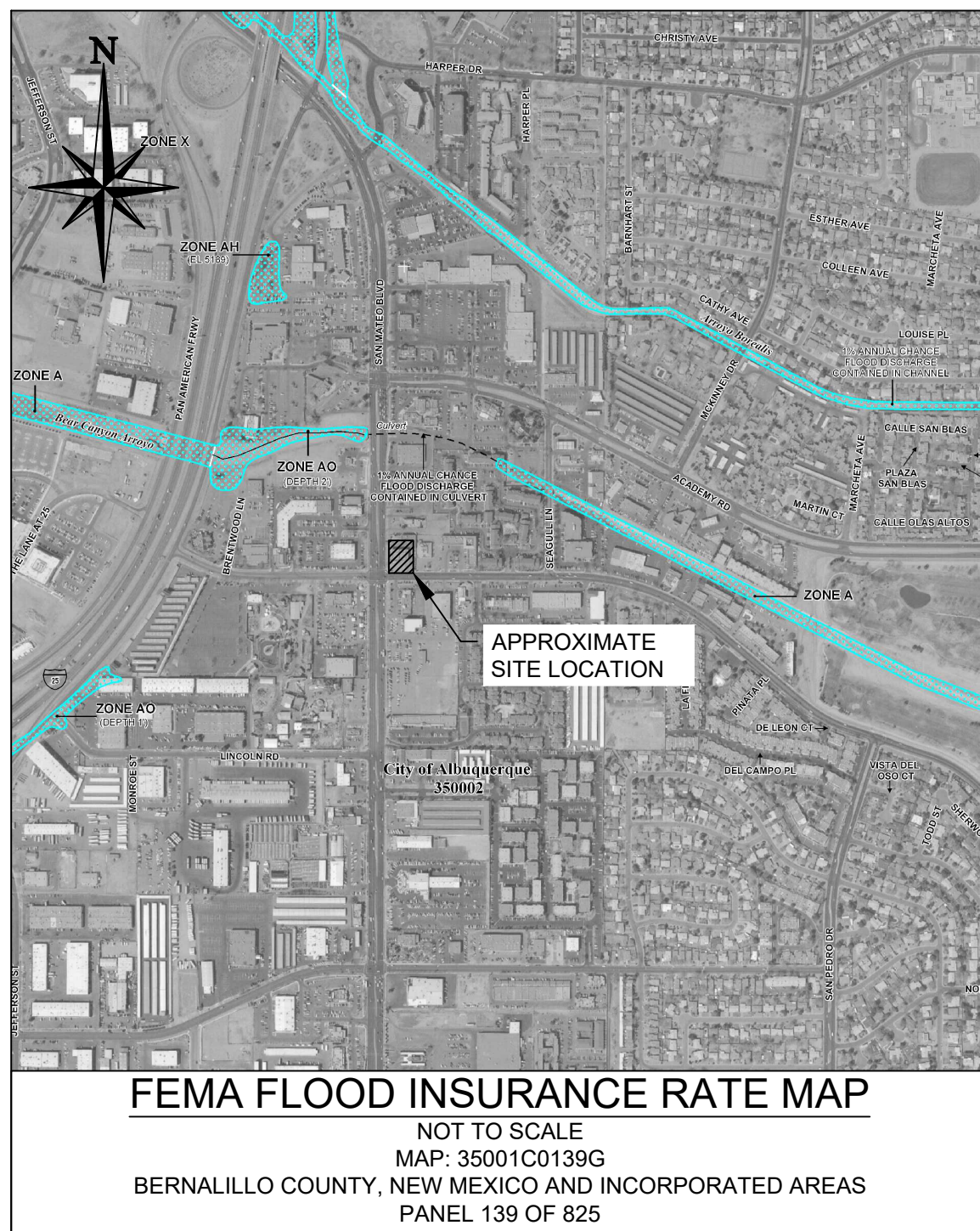
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Reviewed: ME
Sheet Date: 2/28/2025
Proj. Number: SPW.24.39899.01.SEL

Sheet Title:




















GRADING PLAN

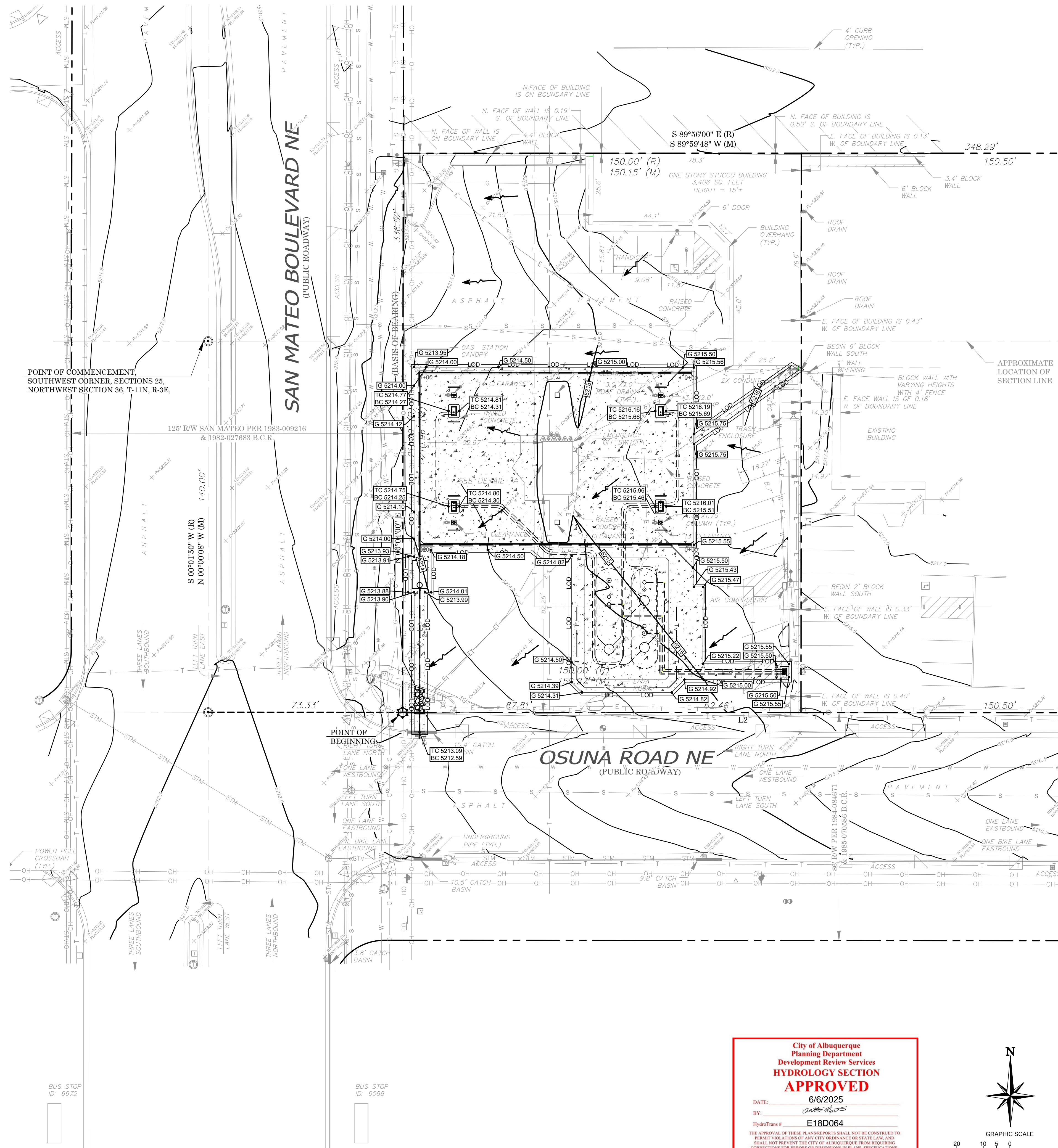
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SITE LEGEND

- | | |
|---|-----------------------------------|
|  | PROPERTY BOUNDARY LINE |
|  | ADJOINING PROPERTY LINE |
|  | EXISTING UTILITY EASEMENT |
|  | EXISTING CURB AND GUTTER |
|  | EXISTING CURB |
|  | EXISTING EDGE OF PAVEMENT |
|  | EXISTING FENCE |
|  | EXISTING 5' INTERVAL CONTOUR LINE |
|  | EXISTING 1' INTERVAL CONTOUR LINE |
|  | EXISTING STORMWATER STRUCTURES |
|  | EXISTING SANITARY STRUCTURES |
|  | EXISTING WATER MAIN |
|  | EXISTING WATER STRUCTURE |
|  | EXISTING OVERHEAD WIRES |
|  | EXISTING ELECTRIC STRUCTURE |
|  | EXISTING GAS MAIN |
|  | EXISTING SANITARY |
|  | EXISTING STORM |
|  | PROPOSED CONCRETE PAVEMENT |



City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED

DATE: 6/6/2025

BY: anth m

HydroTrans # E18D064

THE APPROVAL OF THESE PLANS/REPORTS SHALL NOT BE CONSTRUED TO PERMIT VIOLATIONS OF ANY CITY ORDINANCE OR STATE LAW, AND SHALL NOT PREVENT THE CITY OF ALBUQUERQUE FROM REQUIRING CORRECTIONS FOR ERRORS OR DIMENSIONS IN PLANS, SPECIFICATIONS, OR CONSTRUCTION DOCUMENTS. SUCH APPROVED PLANS/REPORTS SHALL NOT BE CHANGED, MODIFIED OR ALTERED WITHOUT AUTHORIZATION.

THE APPROVAL OF THESE PLANS/REPORTS SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE IF NO BUILDING PERMIT HAS BEEN PULLED ON THE DEVELOPMENT.

