

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(Rev. 12/05)

PROJECT TITLE: N. Town Plaza - Starbucks & Jimmy Johns ZONE MAP/DRG. FILE # E-19/2015  
 DRB#: N/A EPC#: \_\_\_\_\_ WORK ORDER#: N/A

LEGAL DESCRIPTION: LOT A-4 (Portion of)  
 CITY ADDRESS: Wyo. / Academy NE 5901 WYOMING

ENGINEERING FIRM: Clark Consulting Engineers CONTACT: Phil  
 ADDRESS: 19 Ryan Road PHONE: 281-2444  
 CITY, STATE: Edgewood, New Mexico 87015 ZIP CODE: \_\_\_\_\_

OWNER: Weingarten CONTACT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

ARCHITECT: Masterworks CONTACT: Timi  
 ADDRESS: \_\_\_\_\_ PHONE: 242-1866  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

SURVEYOR: AS-BLT Terrametrics CONTACT: Phil  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

CONTRACTOR: Clayton CONTACT: Randy Bush  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

## TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL  
☐ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☒ ENGINEER'S CERT (HYDROLOGY)  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT  
☐ ENGINEER/ARCHITECT CERT (TCL)  
☐ ENGINEER/ARCHITECT CERT (DRB S.P.)  
☐ ENGINEER/ARCHITECT CERT (AA)  
☐ OTHER (SPECIFY) \_\_\_\_\_

## CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☒ BUILDING PERMIT APPROVAL  
☒ CERTIFICATE OF OCCUPANCY (PERM)  
☐ ~~CERTIFICATE OF OCCUPANCY (TEMP)~~  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ OTHER (SPECIFY) \_\_\_\_\_

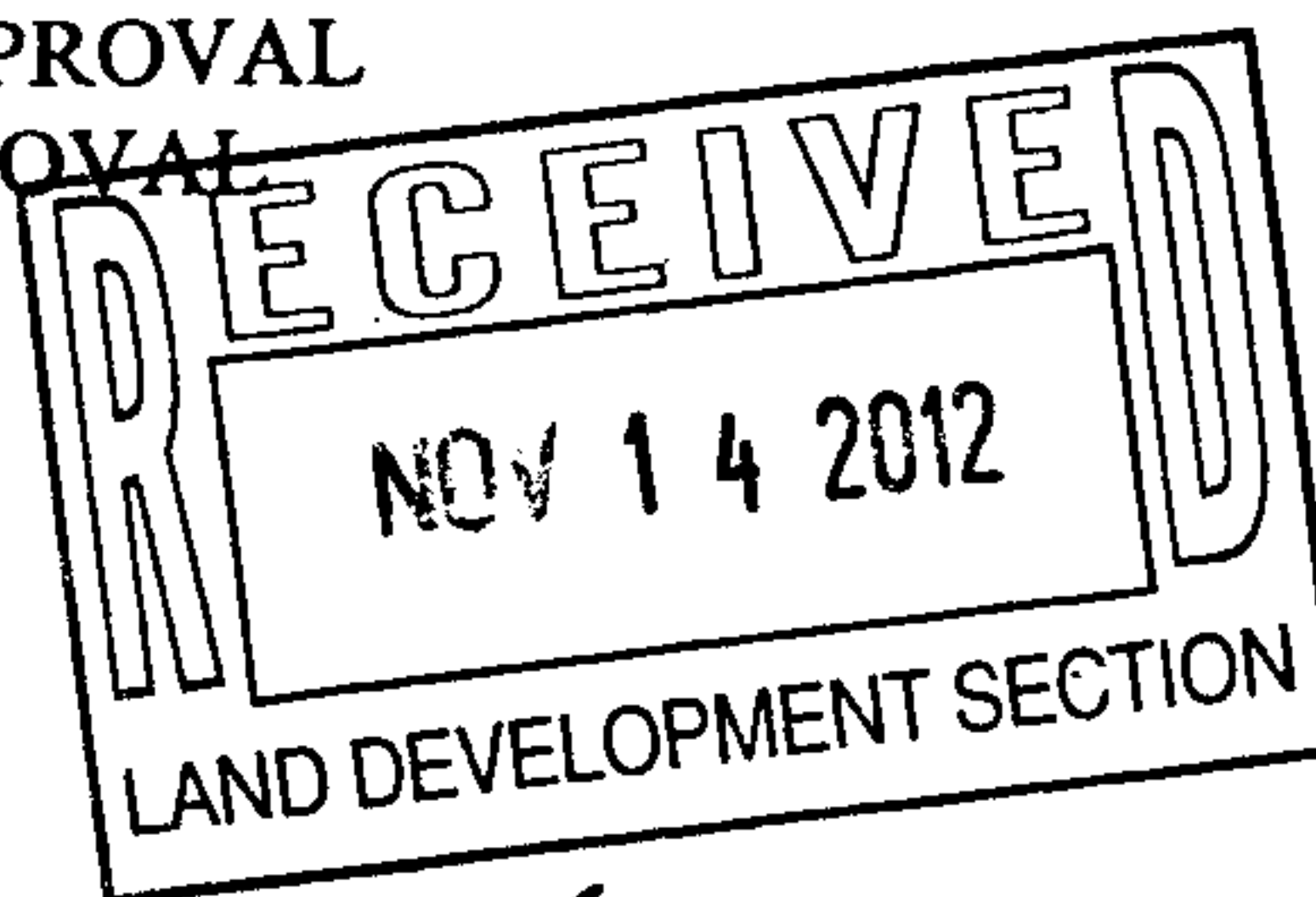
WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES  
☐ NO  
☐ COPY PROVIDED

SUBMITTED BY: [Signature] DATE: 11/14/12

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
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3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



# CITY OF ALBUQUERQUE



November 16, 2012

Philip W. Clark, P.E.  
Clark Consulting Engineers  
19 Ryan Road  
Edgewood, NM 87015

**Re: North Town Plaza Restaurant, 5901 Wyoming  
Final Certification of Occupancy – Approved  
Engineer's Stamp Date 6/01/2012 (E19/D015)**

Dear Mr. Clark,

Based on the Certification received 11/14/2012, the site is approved for a release of a Permanent Certificate of Occupancy by Hydrology. Please be advised that the handicap grades as shown on the as-built certification exceed 2% slope.

PO Box 1293

If you have any questions, you can contact me at 924-3695.

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)

Sincerely,

Shahab Biazar, P.E.  
Senior Engineer, Planning Dept.  
Development and Building Services

C: CO Clerk—Katrina Sigala  
e-mail



# CITY OF ALBUQUERQUE



November 16, 2012

James Benjamin Clark III, R.A.  
Masterworks Architects, Inc.  
516 11th St. NW  
Albuquerque, NM 87102

Re: North Towne Plaza, 5901 Wyoming Blvd NE  
Permanent Certificate of Occupancy - Transportation Development  
Architect's Stamp dated 01-25-12 (E19-D015)  
Certification dated 11-07-12

Dear Mr. Clark,

Based upon the information provided in your submittal received 11-14-12, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, you can contact me at 924-3991.

Sincerely,

Kristal D. Metro, P.E.  
Traffic Engineer, Planning Dept.  
Development and Building Services

CO Clerk  
File

7 November 2012  
Project MW 1139

Traffic Engineering, Planning Department  
Development and Building Services  
City of Albuquerque  
P.O. Box 1293  
Albuquerque, New Mexico 87103

**Re: Traffic Certification for Final CO**

**Project:** North Towne Plaza Pad Site Shell Building, 5901 Wyoming Blvd NE  
Traffic Circulation Layout  
Administrative Amendment File # AA-120007, Project #1007561  
Architect's Stamp dated 23 Mar 12 (E-19)

I, James B. Clark, NMRA #1047, of Masterworks Architects, Inc., hereby certify that this project is in substantial compliance with and in accordance with the design intent of the Administrative Amendment TCL Plan dated 3/23/12.

Modifications were made during construction that do not alter the validity of the approved TCL Plan:

- a. At the request of Tenant Starbucks, the drive up lane queue was moved further from the pickup window which required a change in traffic control;
- b. The landscape planting area was increased by relocation of the drive through header curb.

I further certify that I personally visited the site on 17 October 2012 and have determined by visual inspection that the survey data provided is representative of the actual site conditions and is true and correct to the best of my knowledge and belief.

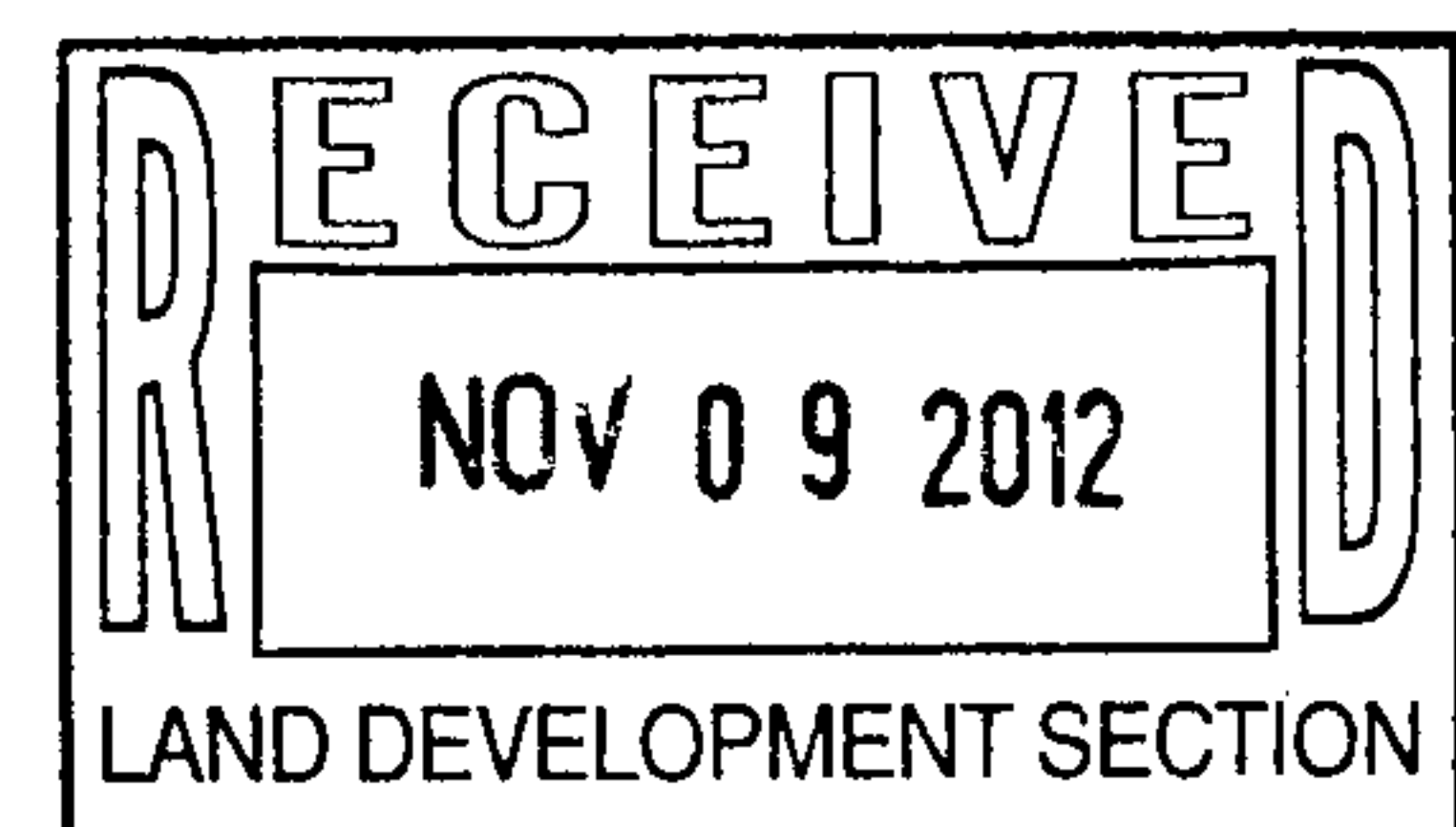
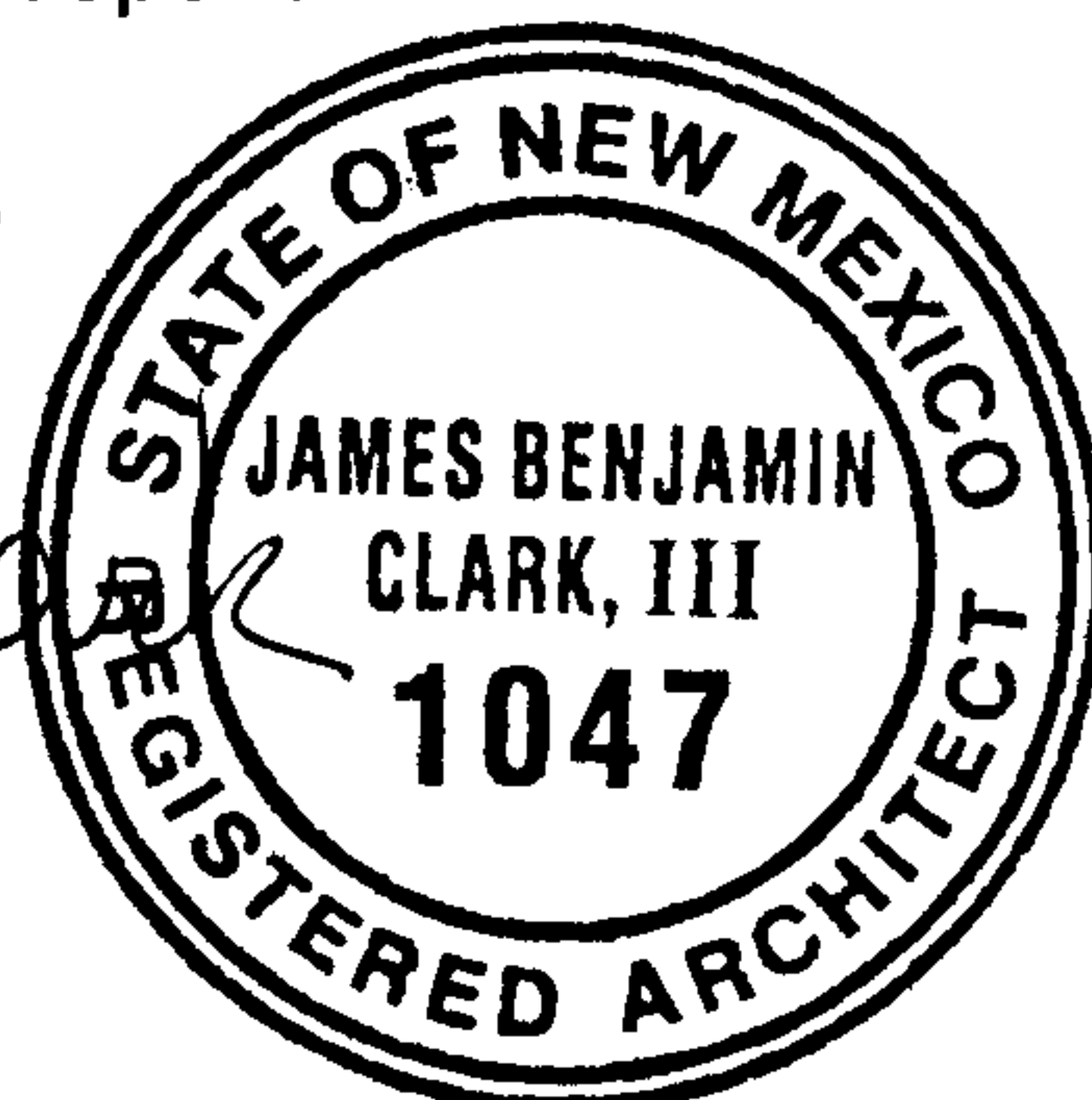
This Certification is submitted in support of a request for Certificate of Occupancy (Perm).

The record information presented hereon is not necessarily complete and is intended only to verify substantial compliance of the traffic aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Respectfully submitted,



James B. Clark, RA  
President

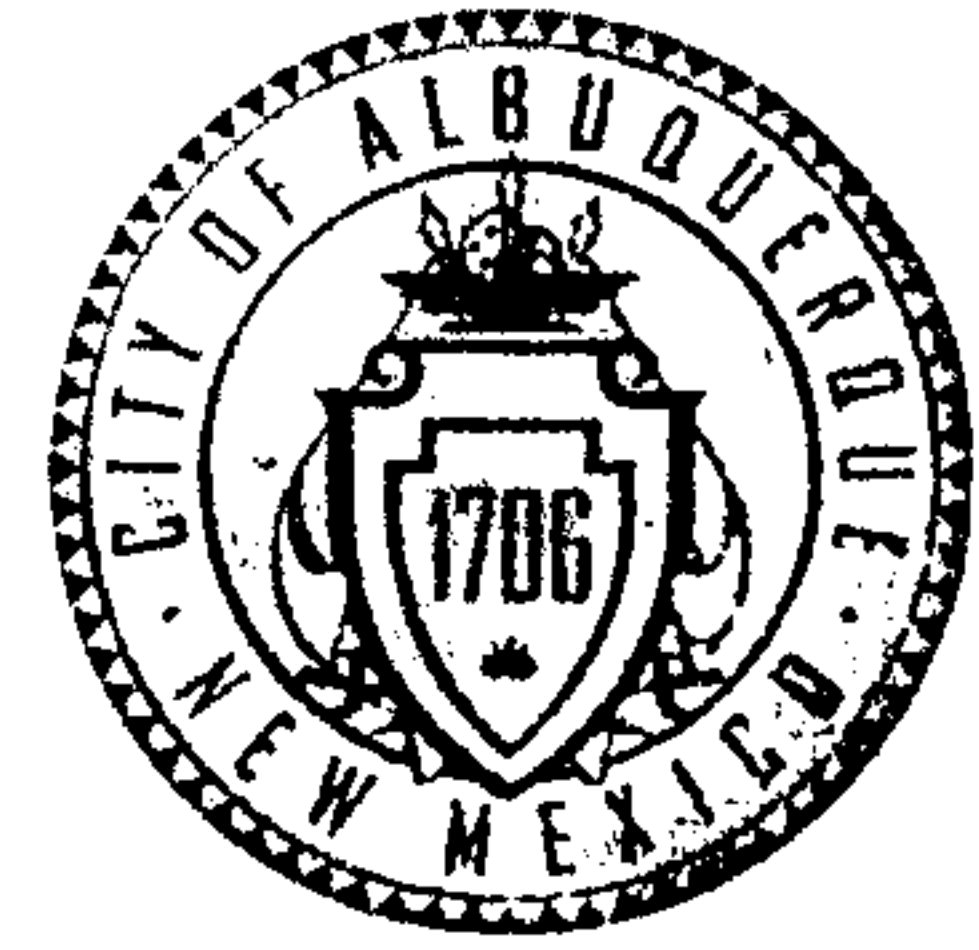


Encl: Administrative Amendment TCL Plan dated 3/23/12  
As-Built TCL Plan dated 19 October 2012





# CITY OF ALBUQUERQUE



**Planning Department  
Transportation Development Services Section**

November 9, 2012

James B. Clark, Registered Architect  
Masterworks Architects, Inc.  
516 Eleven Street NW  
Albuquerque, NM 87102

Re: Certification for Permanent Certificate of Occupancy (**C.O.**)  
Northtown Plaza, [E-19/D015]  
5901 Wyoming Blvd. NE  
Architect's Stamp Dated 11/07/12

Dear Mr. Clark:

Based upon the information provided in your submittal received 11-09-12, Transportation Development has **REJECTED** the request Permanent Certificate of Occupancy. You'll need to provide the approved Administrative Amendment Site Plans that are included in the Building Permit Set approval process and provide any redlines to reflect the minor changes to the plans.

If you have any questions, please contact me at (505)924-3630.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.  
Senior Traffic Engineer  
Development and Building Services  
Planning Department

c: Engineer  
Hydrology file  
CO Clerk

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

**DRAINAGE AND TRANSPORTATION INFORMATION SHEET**  
(Rev. 12/05)

PROJECT TITLE: NORTH TOWN PLAZA PAD SITE ZONE MAP/DRG. FILE # E-19/D015  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: LOT 4A, BLOCK -0-, NORTH TOWN PLAZA  
CITY ADDRESS: 5901 WYOMING BLVD. NE 87109

ENGINEERING FIRM: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

OWNER: WEINGARTEN REALTY CONTACT: GREG RABB  
ADDRESS: 4440 N. 36TH ST #200 PHONE: 602-263-1166  
CITY, STATE: PHOENIX, AZ ZIP CODE: 85018

ARCHITECT: MASTERWORKS ARCHITECTS, INC CONTACT: JIM CLARK  
ADDRESS: 516 11th St NW PHONE: 242-1866  
CITY, STATE: ABQ NM ZIP CODE: 87102

SURVEYOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

<b>TYPE OF SUBMITTAL:</b>	<b>CHECK TYPE OF APPROVAL SOUGHT:</b>
<input type="checkbox"/> DRAINAGE REPORT	<input type="checkbox"/> SIA/FINANCIAL GUARANTEE RELEASE
<input type="checkbox"/> DRAINAGE PLAN 1 <sup>st</sup> SUBMITTAL	<input type="checkbox"/> PRELIMINARY PLAT APPROVAL
<input type="checkbox"/> DRAINAGE PLAN RESUBMITTAL	<input type="checkbox"/> S. DEV. PLAN FOR SUB'D APPROVAL
<input type="checkbox"/> CONCEPTUAL G & D PLAN	<input type="checkbox"/> S. DEV. FOR BLDG. PERMIT APPROVAL
<input type="checkbox"/> GRADING PLAN	<input type="checkbox"/> SECTOR PLAN APPROVAL
<input type="checkbox"/> EROSION CONTROL PLAN	<input type="checkbox"/> FINAL PLAT APPROVAL
<input type="checkbox"/> ENGINEER'S CERT (HYDROLOGY)	<input type="checkbox"/> FOUNDATION PERMIT APPROVAL
<input type="checkbox"/> CLOMR/LOMR	<input type="checkbox"/> BUILDING PERMIT APPROVAL
<input type="checkbox"/> TRAFFIC CIRCULATION LAYOUT	<input checked="" type="checkbox"/> CERTIFICATE OF OCCUPANCY (PERM)
<input checked="" type="checkbox"/> ENGINEER/ARCHITECT CERT (TCL)	<input type="checkbox"/> CERTIFICATE OF OCCUPANCY (TEMP)
<input type="checkbox"/> ENGINEER/ARCHITECT CERT (DRB S.P.)	<input type="checkbox"/> GRADING PERMIT APPROVAL
<input type="checkbox"/> ENGINEER/ARCHITECT CERT (AA)	<input type="checkbox"/> PAVING PERMIT APPROVAL
<input type="checkbox"/> OTHER (SPECIFY) _____	<input type="checkbox"/> WORK ORDER APPROVAL
	<input type="checkbox"/> OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:  
☐ YES  
☐ NO  
☐ COPY PROVIDED

SUBMITTED BY: James B. Clark DATE: 7 November 2012



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970.104

**DRAINAGE AND TRANSPORTATION INFORMATION SHEET**  
(Rev. 12/05)

PROJECT TITLE: NORTH TOWN PLAZA PAD SITE ZONE MAP/DRG. FILE # E-19/DO15  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: LOT 4A, BLOCK -0-, NORTH TOWN PLAZA  
CITY ADDRESS: 5901 WYOMING BLVD NE 87109

ENGINEERING FIRM: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

OWNER: WEINGARTEN REALTY CONTACT: GREG RABB  
ADDRESS: 4440 N. 36TH ST #200 PHONE: 602-263-1166  
CITY, STATE: PHOENIX, AZ ZIP CODE: 85018

ARCHITECT: MASTERWORK ARCHITECTS INC. CONTACT: JIM CLARK  
ADDRESS: 516 11TH ST NW PHONE: 242-1866  
CITY, STATE: ATLANTA, GA ZIP CODE: 30302

SURVEYOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
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**TYPE OF SUBMITTAL:**

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☐ CONCEPTUAL G & D PLAN  
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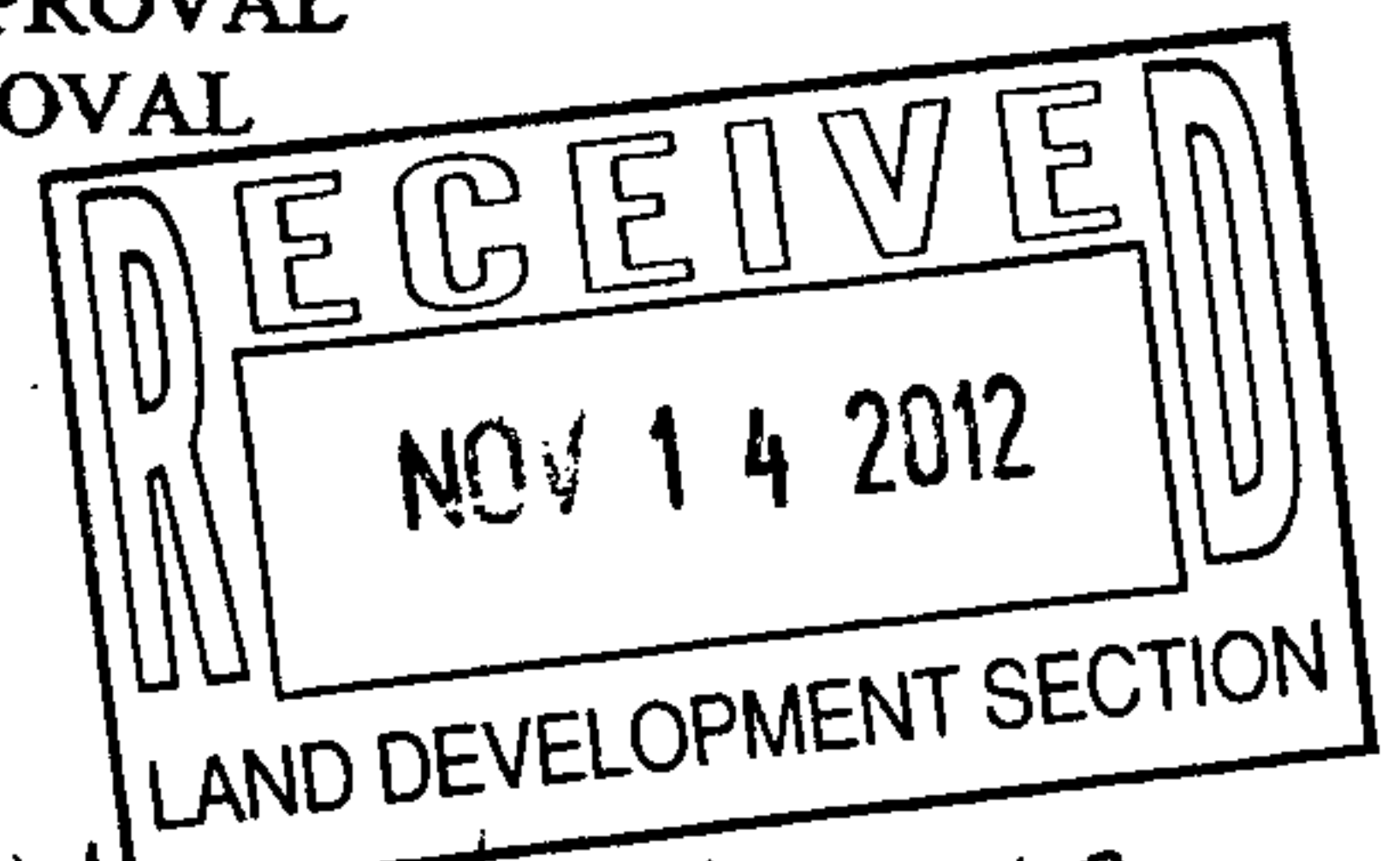
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☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ OTHER (SPECIFY) \_\_\_\_\_

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES  
☐ NO  
☐ COPY PROVIDED

SUBMITTED BY: James B. Clark DATE: 14 November 2012



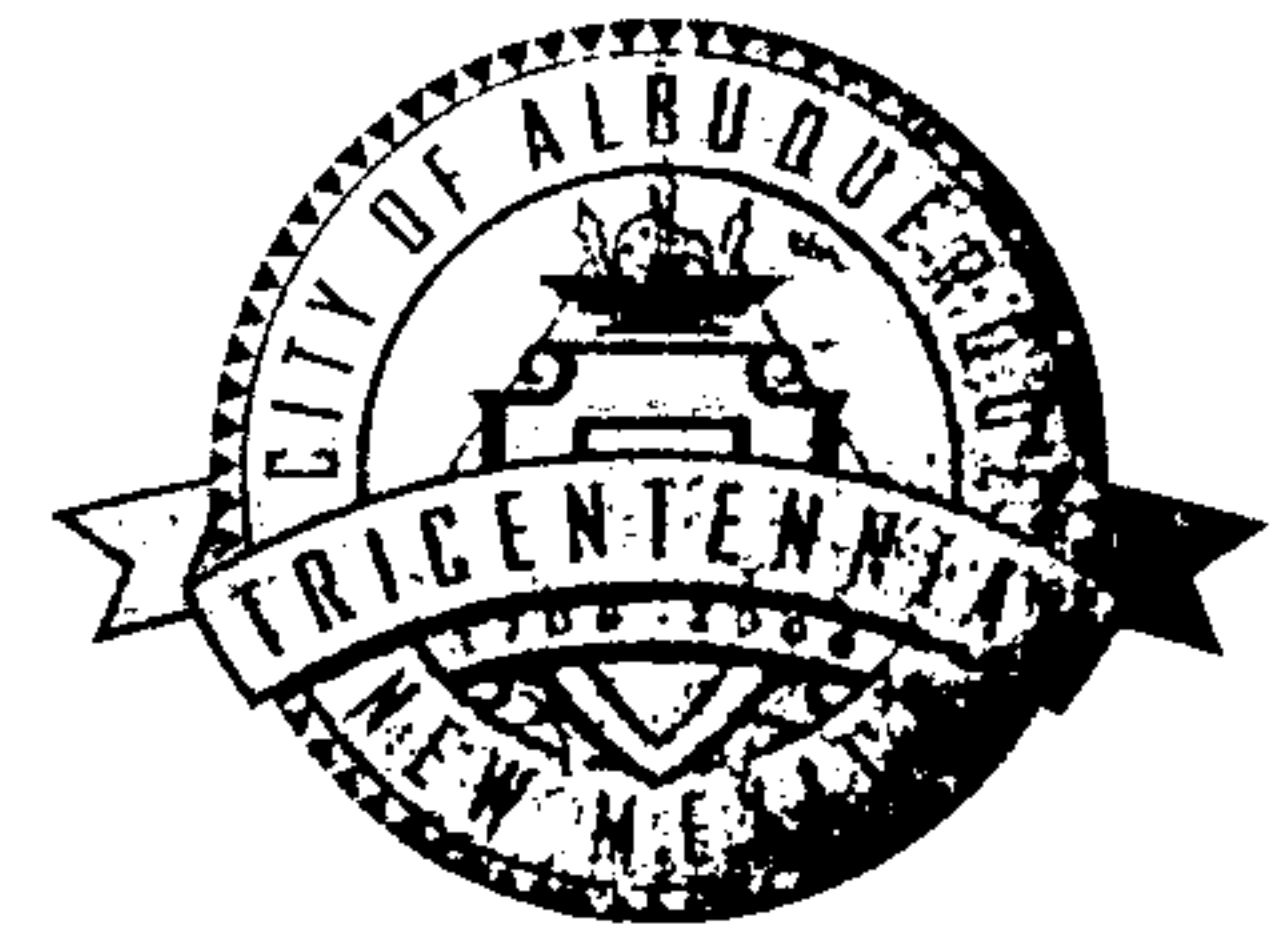
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NOV 14 2012



# CITY OF ALBUQUERQUE



**Planning Department  
Transportation Development Services Section**

April 17, 2007

Jorge De La Torre, Registered Architect  
2400 Louisiana NE Bldg 3, Ste. 110  
Albuquerque, NM 87110

Re: Certification Submittal for Final Building Certificate of Occupancy for  
North Towne Plaza 3K Shell, [E-19 / D15]  
5901 Wyoming NE  
Architect's Stamp Dated 04/17/07

Dear Mr. De La Torre:

The TCL / Letter of Certification submitted on April 17, 2007 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.  
Senior Traffic Engineer  
Development and Building Services  
Planning Department

c: Engineer  
Hydrology file  
CO Clerk

P.O. Box 1293

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)



DRAINAGE AND TRANSPORTATION INFORMATION SHEET  
(Rev. 12/05)

PROJECT TITLE: NORTH TOWNE 3K SHEL ZONE MAP/DRG. FILE # E-19/D015  
DRB#: 95-153 EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_  
LEGAL DESCRIPTION: TRACT A-4, NORTH TOWNE PLAZA, PEAR CANYON VILLAGE  
CITY ADDRESS: 5901 WYOMING NE  
ENGINEERING FIRM: ISAACSON & ARFMAN  
ADDRESS: 128 MONROE ST  
CITY, STATE: ALBUQUERQUE NM 87108  
OWNER: WEINGARTEN REALTY INVESTORS  
ADDRESS: 2000 CITADEL PLAZA DR  
CITY, STATE: HOUSTON, TX  
ARCHITECT: DE LA TORRE ARCHITECTS  
ADDRESS: 2400 LOUISIANA  
CITY, STATE: ALBUQUERQUE NM  
SURVEYOR: ISAACSON & ARFMAN  
ADDRESS: 128 MONROE ST  
CITY, STATE: ALBUQUERQUE NM  
CONTRACTOR: ENTERPRISE BUILDERS  
ADDRESS: PO BOX 3187  
CITY, STATE: ALBUQUERQUE NM

CONTACT: FRED ARFMAN  
PHONE: 208-8828  
ZIP CODE: 87108  
CONTACT: GEORGE VESELY  
PHONE: 602-217-8850  
ZIP CODE: 74008  
CONTACT: JASON HALL  
PHONE: 888-7418  
ZIP CODE: 87110  
CONTACT: FRED ARFMAN  
PHONE: 208-8828  
ZIP CODE: 87108  
CONTACT: APRIL GUERRERO  
PHONE: 857-8850  
ZIP CODE: 87190

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL  
☐ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL G & D PLAN  
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☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ OTHER (SPECIFY) \_\_\_\_\_

WAS A PRE-DESIGN CONFERENCE ATTENDED:

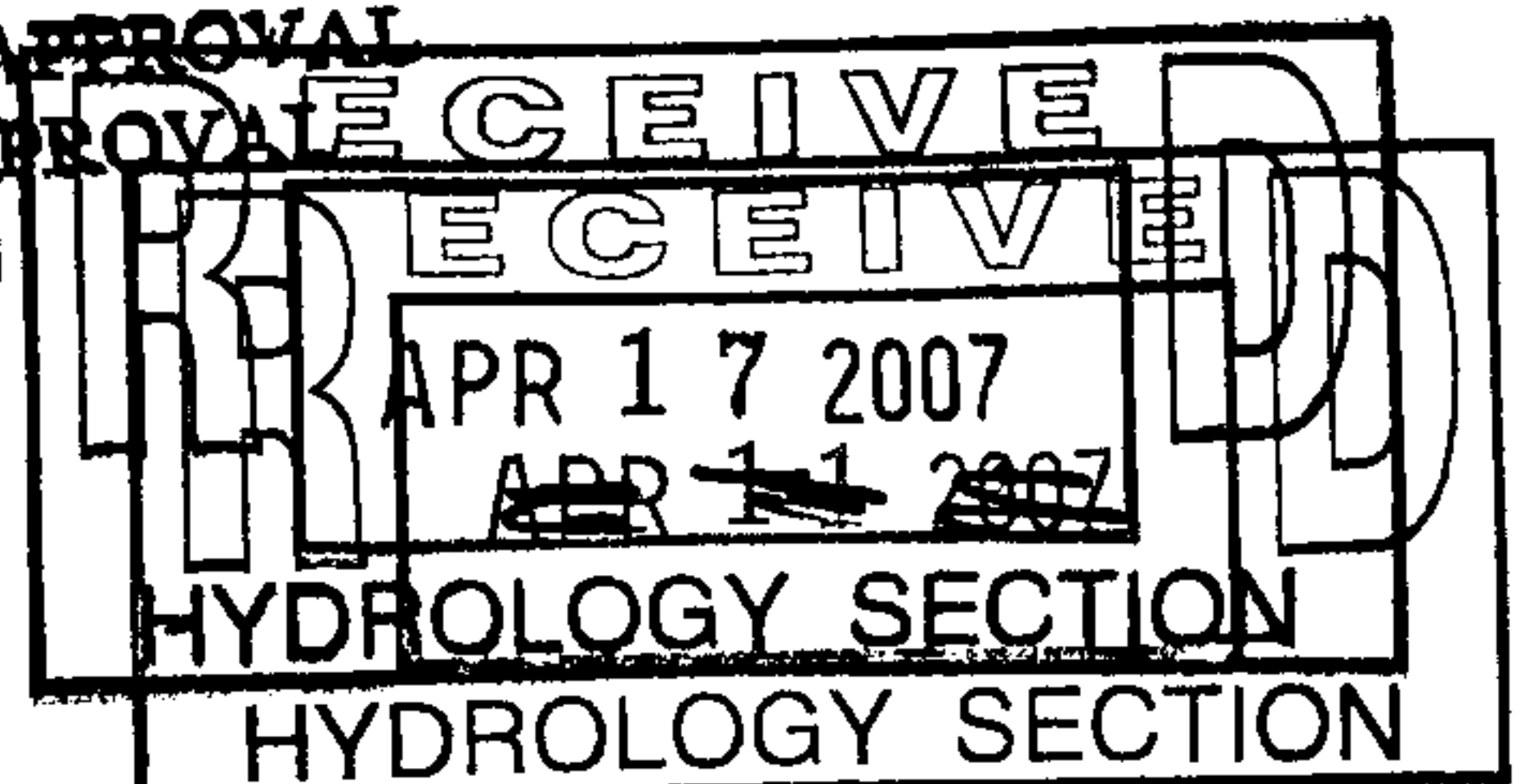
- ☐ YES  
☒ NO  
COPY PROVIDED

SUBMITTED BY: LYNN HALL

DATE: 4.6.07

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April 16<sup>th</sup> 2007

City of Albuquerque  
Transportation Division

Re: North Towne 3K Shell – 5901 Wyoming Blvd.

Zone Map: E19  
UPC #: 101-906-238-406-240-402  
Legal Description: Tract A-4, North Towne Plaza, situated within Bear Canyon Village

To Whom It May Concern:

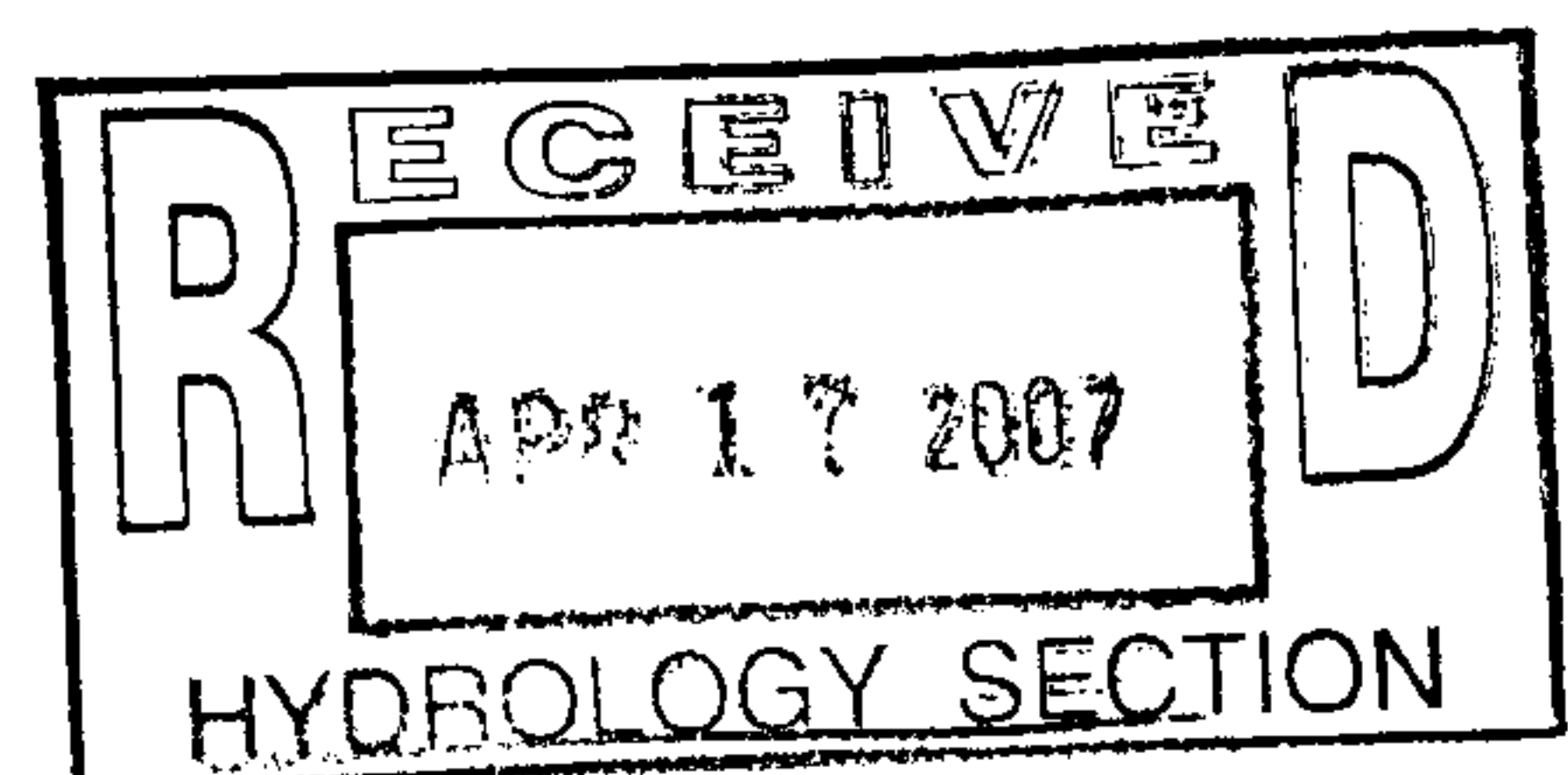
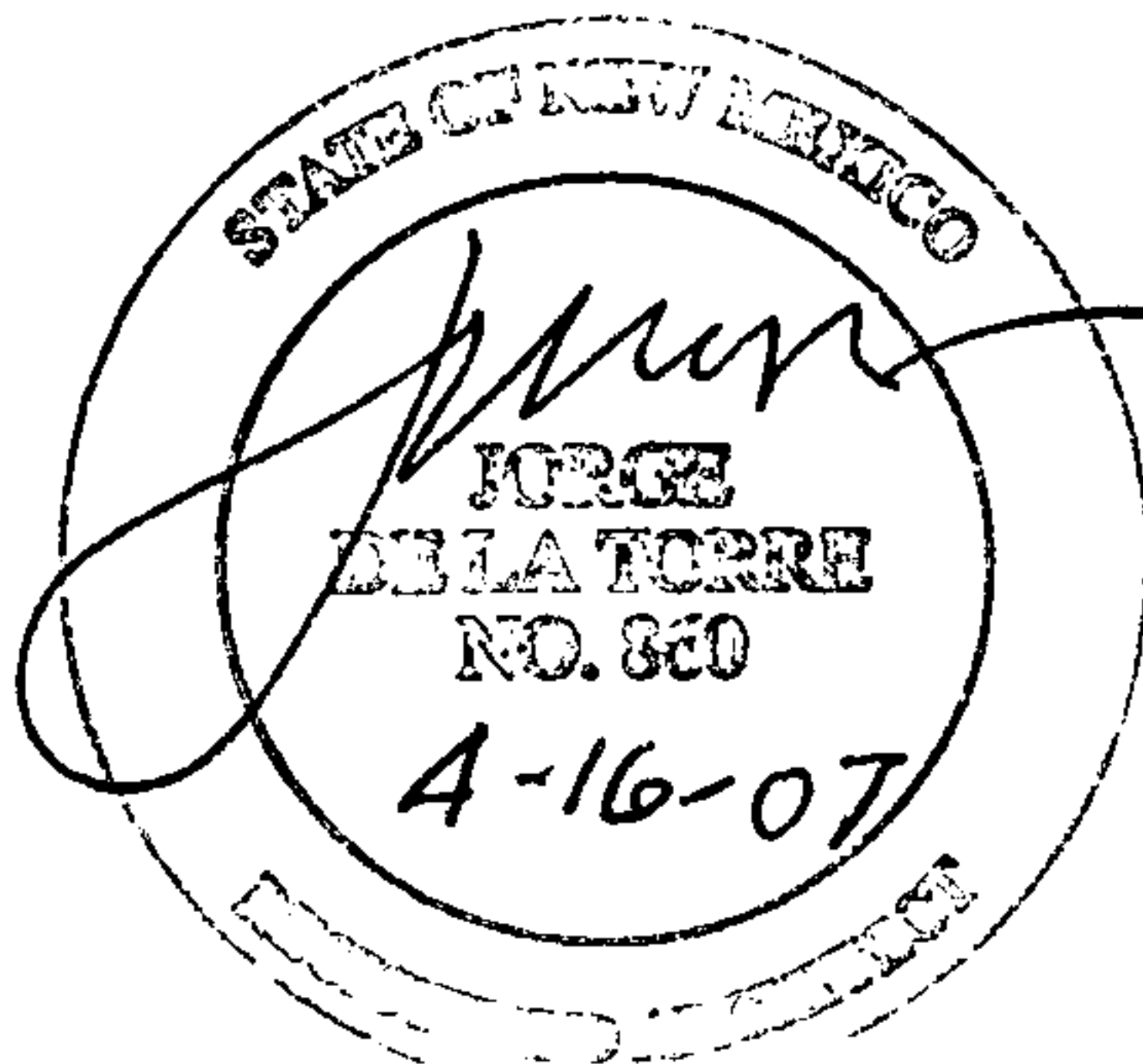
I, Jorge de la Torre, P.A. AIA, licensed under the laws of the State of New Mexico, do hereby certify that this project was constructed in accordance with the approved Traffic Circulation Layout with no changes made in the field. I am requesting a Permanent Certificate of Occupancy for the building indicated above.

After inspection, we find the project to be in substantial compliance and have no safety concerns or issues for the buildings indicated above, as well as the required parking and landscape areas for these buildings.

If you have any questions or comments, please feel free to contact me.

Thanks,

  
Jorge de la Torre  
de la Torre Architects





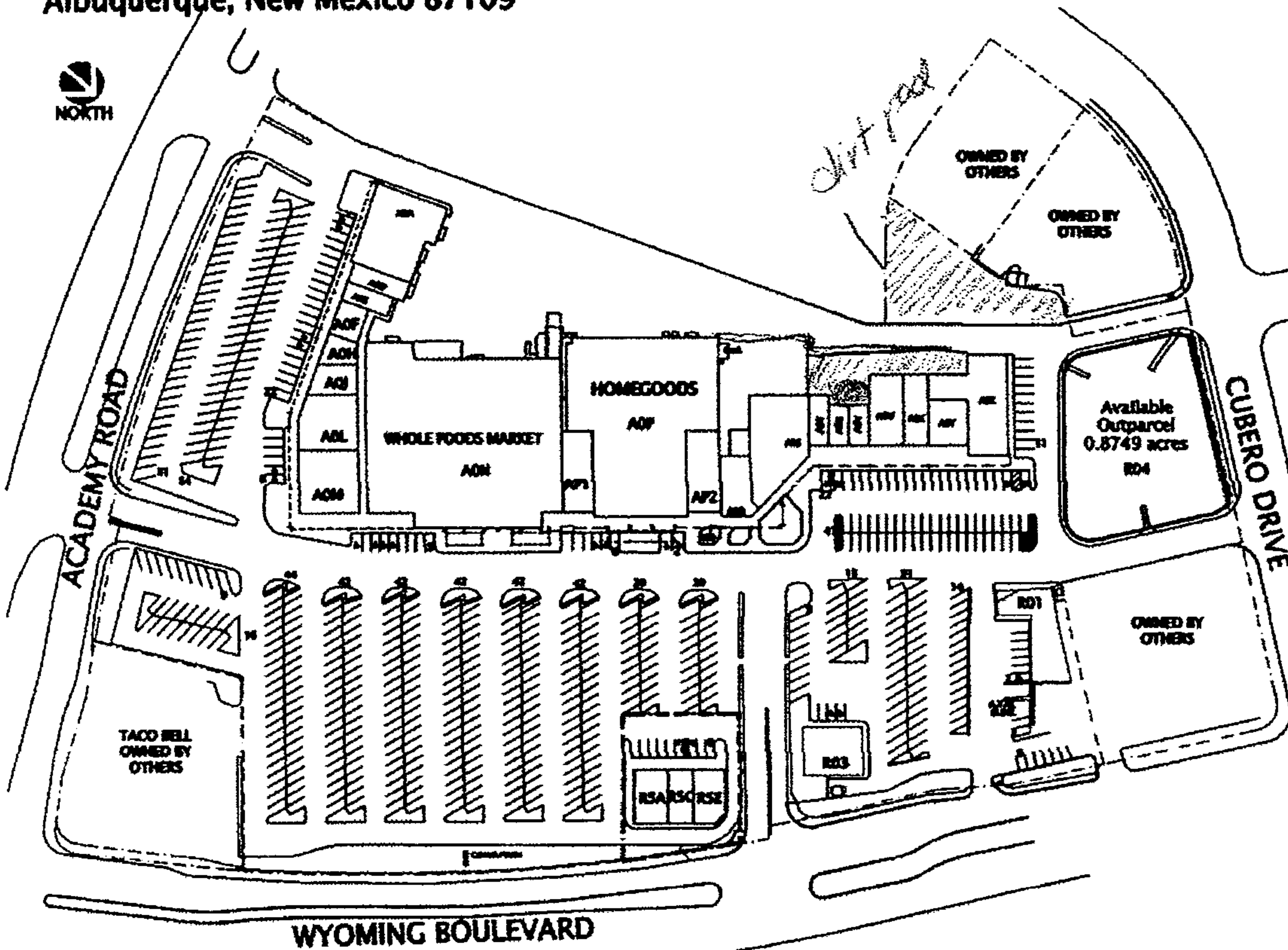
35.147447  
- 106.557406  
5417

Sean Mills  
602-330-5150  
Sean@TheFSG.com

vacate private drainage easement  
on tract A-4?

# NORTH TOWNE PLAZA

Academy Road & Wyoming Boulevard  
Albuquerque, New Mexico 87109



SITE SUMMARY	
Building Area	112,666 SF
ADA Am Taylor Loft	5,912 SF
ADD Ramsey Fitness	1,100 SF
AGE Livingston Audiology and Hearing Aid Center	1,000 SF
ADP Hugel Mail & Sign	1,650 SF
ADH Love Pieson Vegetarian Bar	924 SF
ABH The UPS Store	1,363 SF
ADL Smith & Sohn	3,214 SF
ADH Chick's	3,896 SF
ADH Whole Foods Market	34,020 SF
ADP HomeGoods	22,514 SF
ADQ Pottery Innovations	2,300 SF
ADH How We're Cooking	5,343 SF
ADT Hair Salon	1,000 SF
ADU The Cleanery	800 SF
ADV The Joiner	800 SF
ADW Pacific Dental	2,439 SF
ADK Moching Bank Cakes	1,750 SF
ADY Country Club	1,800 SF
ADZ Sherwin Williams	5,000 SF
AP1 White House Black Market	2,516 SF
AP2 5 Star Burgers	2,789 SF
BS1 Bank of Albuquerque	3,370 SF
BS2 Wells Fargo ATM	123 SF
BS3 Massage Envy	3,600 SF
RD4 Available Outparcel (36,110 sq. ft. Land)	
B3A Jimmy John's Gourmet Sandwiches	1,630 SF
B3C 1618 Salon	1,400 SF
B3E Starbucks	1,730 SF

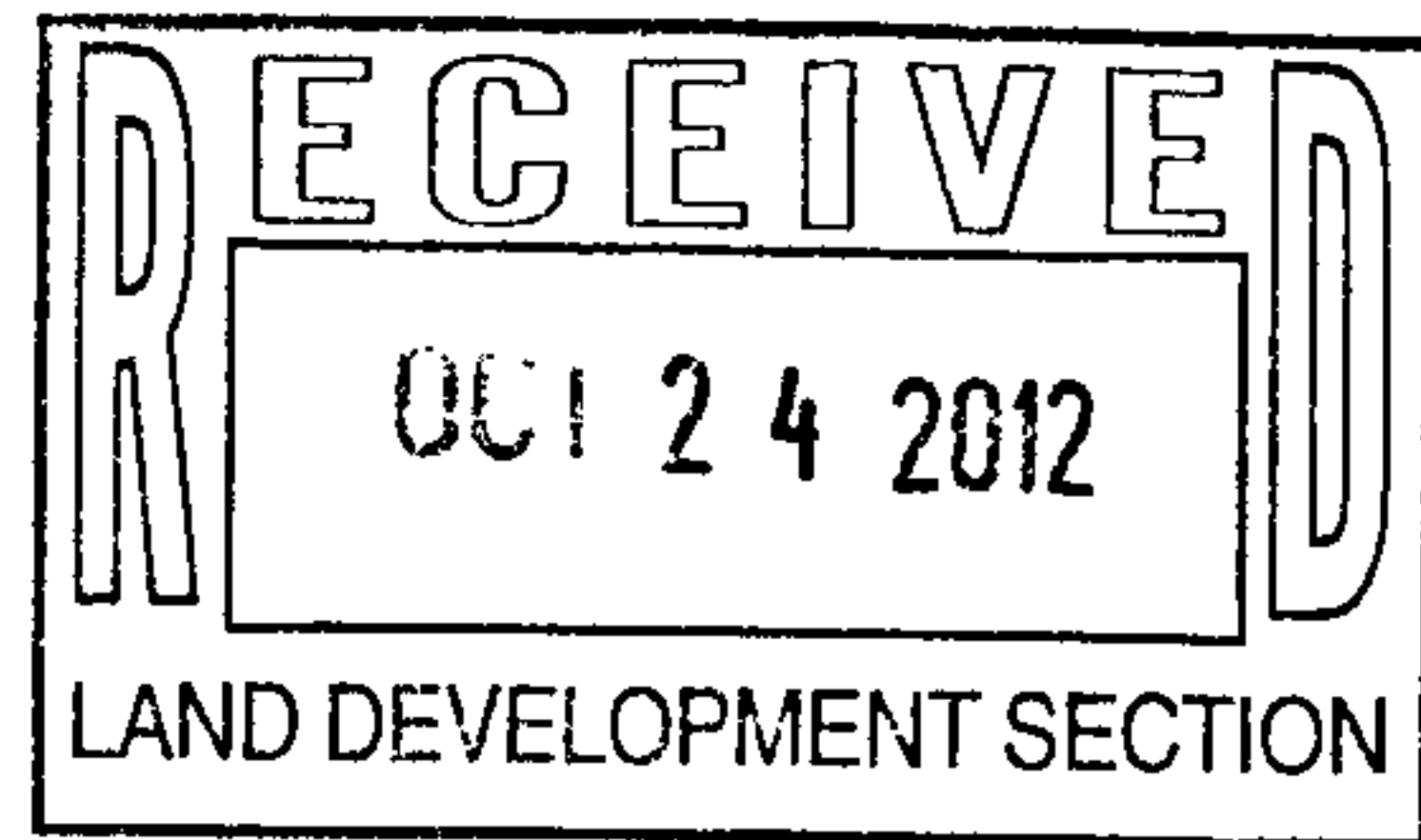
WEINGARTEN REALTY  
PHOENIX OFFICE  
602.283.1106 TOLL FREE (800) 800.0886  
CORPORATE OFFICE (713) 886.8000  
www.weingarten.com

Land Area: 608,588 sq./13.92 Acres  
Building Area: 112,666 sq.  
Parking: 618 Spaces @ 5.48 /1000sq.

Scale: 1"=50'  
Rev: 07-02-2012

0133

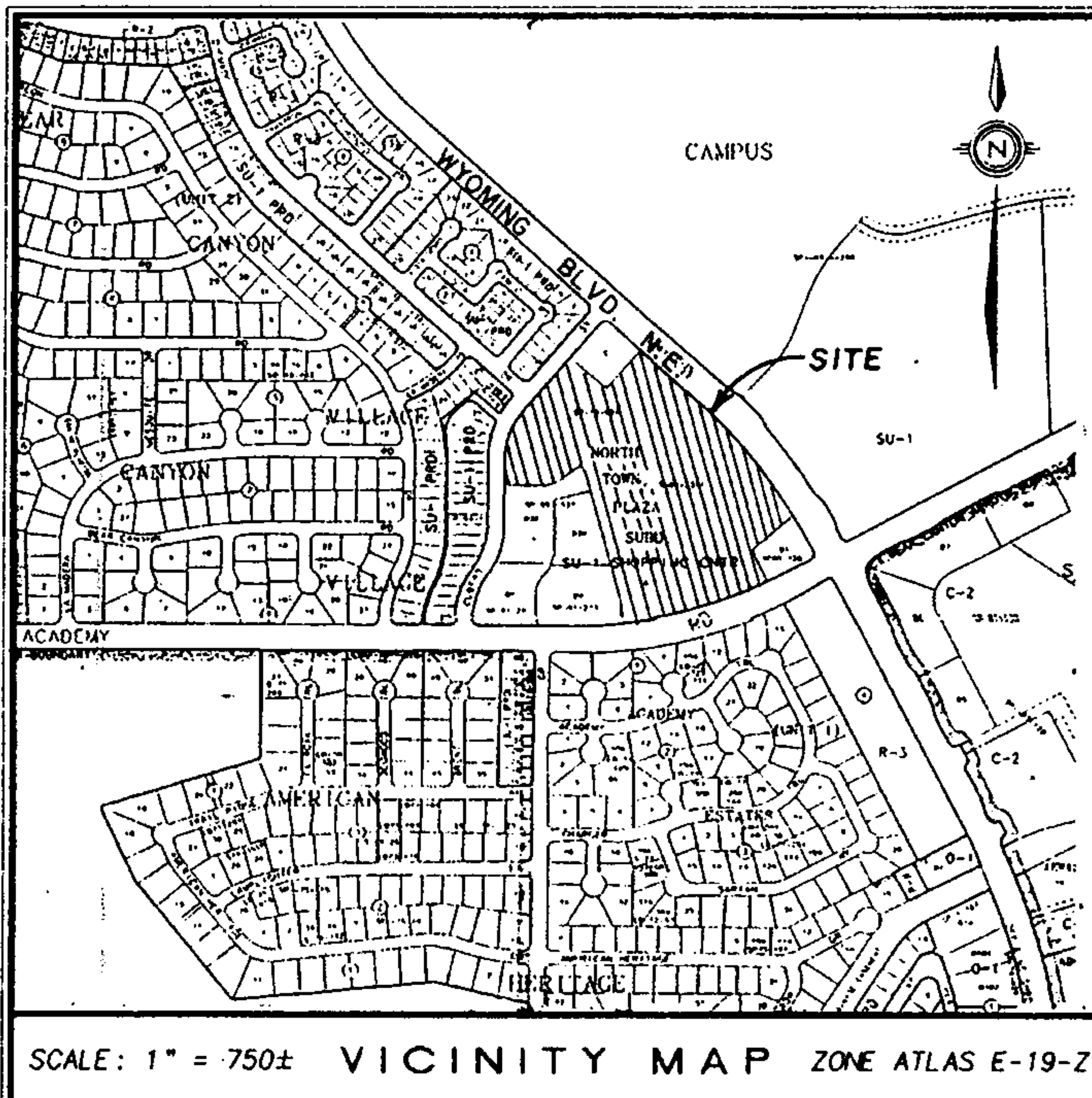
11-6-12  
cc  
DRB  
1. Vacate private easement  
2. Replot tracts  
M and M





95C-234(1)

95C-234(1)



SCALE: 1" = 750± VICINITY MAP ZONE ATLAS E-19-Z

## SUBDIVISION DATA:

CASE NO. DRB-95-153  
 GROSS SUBDIVISION ACREAGE 15.0553 AC  
 ZONE ATLAS INDEX NO. E19  
 NO. OF EXISTING TRACTS 1  
 NO. OF TRACTS CREATED 4  
 NO. OF PARCELS CREATED 0  
 MILES OF FULL-WIDTH STREETS CREATED 0  
 DATE OF SURVEY July 1994  
 S.P./TALOS LOG NO. SP 95-03-20-1038-0237

## NOTES:

- THE PURPOSE OF THIS PLAT IS TO SUBDIVIDE TRACT A OF NORTH TOWN PLAZA CONTAINING 15.0553 ACRES INTO FOUR TRACTS PER THE APPROVED SITE PLAN (EPC #2-95-25).
- BEARINGS ARE BASED ON THE PLAT OF THIS PROPERTY 'REPLAT OF TRACTS A & B, BEAR CANYON VILLAGE, AN ADDITION TO THE CITY OF ALBUQUERQUE, NEW MEXICO NOW COMPRISING NORTH TOWN PLAZA TRACT A THRU D, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO, NEW MEXICO ON DECEMBER 19, 1979 IN PLAT BOOK C16, PAGE 26.
- ROTATE PLAT BEARING CLOCKWISE 00°08'47" TO CONFORM WITH NEW MEXICO STATE PLANE BEARING BASE, CENTRAL ZONE, DELTA ALPHA = 00°10'35".
- BEARINGS AND DISTANCES SHOWN IN PARENTHESES ARE FROM RECORD PLATS.
- ALL DIMENSIONS PUBLISHED ALONG CURVED LINES ARE ARC DISTANCES.
- BENCHMARK FOR THIS PLAT IS THE CITY OF ALBUQUERQUE ACS MONUMENT "12-F-19" ELEVATION IS 5412.82.
- UNLESS OTHERWISE NOTED, ALL CORNERS ARE EVIDENCED BY A #5 REBAR WITH ALUMINUM CAP STAMPED "P.S. #4972".
- CITY OF ALBUQUERQUE WATER AND SEWER SERVICE TO THESE LOTS MUST BE VERIFIED AND COORDINATED WITH THE PUBLIC WORKS DEPARTMENT, CITY OF ALBUQUERQUE.
- PUBLIC UTILITY EASEMENTS (P.U.E.) SHOWN ON THIS PLAT ARE TEN (10) FEET WIDE AND ARE GRANTED FOR THE COMMON AND JOINT USE OF:
- THE PUBLIC SERVICE COMPANY OF NEW MEXICO FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
- THE GAS COMPANY OF NEW MEXICO FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
- U.S. WEST FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
- JONES INTERCABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH UNDERGROUND LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.
- INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVE GROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OR POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON THIS PLAT.
- PRIOR TO DEVELOPMENT, CITY OF ALBUQUERQUE WATER AND SANITARY SEWER SERVICE TO THESE TRACTS MUST BE VERIFIED AND COORDINATED WITH THE PUBLIC WORKS DEPARTMENT, CITY OF ALBUQUERQUE, VIA A REQUEST FOR A WATER AND SANITARY SEWER AVAILABILITY STATEMENT.

## LEGAL DESCRIPTION

A PARCEL OF LAND COMPRISED ALL OF TRACT "A" OF NORTH TOWN PLAZA, AS THE SAME IS SHOWN AND DESIGNATED ON THE REPLAT OF TRACTS A AND B, BEAR CANYON VILLAGE, AN ADDITION TO THE CITY OF ALBUQUERQUE, NEW MEXICO, PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 19, 1979 IN MAP BOOK C16 PAGE 26 AND PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A POINT BEING A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF ACADEMY BOULEVARD N.E. (106' R/W), SAID POINT BEING THE SOUTHWEST CORNER OF THE PARCEL HEREIN DESCRIBED WHENCE FOR A TIE THE CITY OF ALBUQUERQUE ACS CONTROL BRASS CAP "12-F-19" (HAVING NEW MEXICO STATE PLANE COORDINATES X=408,413.13 AND Y=1,508,196.42, CENTRAL ZONE) BEARS S47°14'11"W, 163.70 FEET; THENCE ALONG THE WESTERLY PROPERTY LINE OF THE PARCEL HEREIN DESCRIBED N07°35'43"W, 100.52 FEET TO AN ANGLE POINT; THENCE N15°58'16"W, 539.54 FEET TO AN ANGLE POINT; THENCE N35°59'58"W, 20.66 FEET TO AN ANGLE POINT; THENCE S54°00'02"W, 83.37 FEET TO A POINT OF CURVATURE; THENCE SOUTHWESTERLY 109.01 FEET ALONG THE ARC OF A CURVE BEARING TO THE RIGHT, (SAID ARC HAVING A RADIUS OF 172.40 FEET, A CENTRAL ANGLE OF 036°13'38", AND A CHORD THAT BEARS S72°06'51"W, 107.20 FEET) TO A POINT OF TANGENCY; THENCE N89°46'20"W, 128.28 FEET TO AN ANGLE POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF CUBERO STREET N.E. (64' R/W); THENCE, ALONG SAID EASTERLY RIGHT-OF-WAY LINE N00°13'40"E, 97.12 FEET TO A POINT OF CURVATURE; THENCE NORTHEASTERLY 198.21 FEET ALONG THE ARC OF A CURVE BEARING TO THE RIGHT, (SAID ARC HAVING A RADIUS OF 275.94 FEET, A CENTRAL ANGLE OF 041°09'20", AND A CHORD THAT BEARS N20°48'20"E, 193.97 FEET) TO A POINT OF TANGENCY; THENCE N41°23'00"E, 295.00 FEET TO AN ANGLE POINT; THENCE S48°37'00"E, 187.20 FEET TO AN ANGLE POINT; THENCE N41°23'00"E, 190.00 FEET TO AN ANGLE POINT; THENCE S48°37'00"E, 89.54 FEET TO AN ANGLE POINT; THENCE S40°29'11"E, 84.85 FEET TO AN ANGLE POINT; THENCE S48°37'00"E, 98.26 FEET TO A POINT OF CURVATURE; THENCE SOUTHEASTERLY 72.77 FEET, ALONG THE ARC OF A CURVE BEARING TO THE RIGHT, (SAID ARC HAVING A RADIUS OF 2,110.09 FEET, A CENTRAL ANGLE OF 001°58'33", AND A CHORD THAT BEARS S47°37'43"E, 72.76 FEET TO A POINT OF TANGENCY; THENCE N54°00'02"E, 12.21 FEET TO A STARTING POINT OF A CURVE; THENCE SOUTHEASTERLY 532.96 FEET, ALONG THE ARC OF A CURVE BEARING TO THE RIGHT, (SAID ARC HAVING A RADIUS OF 2,122.09 FEET, A CENTRAL ANGLE OF 014°23'23", AND A CHORD THAT BEARS S39°23'06"E, 531.56 FEET) TO A POINT OF TANGENCY; THENCE S54°00'02"W, 197.07 FEET TO AN ANGLE POINT; THENCE S21°32'21"E, 153.36 FEET TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF ACADEMY BOULEVARD N.E. AND A STARTING POINT OF A CURVE; THENCE SOUTHWESTERLY 126.11 FEET ALONG THE ARC OF A CURVE BEARING TO THE RIGHT, (SAID ARC HAVING A RADIUS OF 1,740.00 FEET, A CENTRAL ANGLE OF 004°09'09", AND A CHORD THAT BEARS S66°23'05"W, 126.08 FEET) TO THE END OF CURVE; THENCE S21°32'21"E, 12.00 FEET TO A STARTING POINT OF CURVE; THENCE SOUTHWESTERLY 456.38 FEET ALONG THE ARC OF A CURVE BEARING TO THE RIGHT, (SAID ARC HAVING A RADIUS OF 1,752.00 FEET, A CENTRAL ANGLE OF 014°55'31", AND A CHORD THAT BEARS S75°55'24"W, 455.09 FEET) TO THE TRUE POINT OF BEGINNING OF THE PARCEL HEREIN DESCRIBED.

THE ABOVE DESCRIBED ENCLOSURE CONTAINS 655,811 SQUARE FEET OR 15.0553 ACRES MORE OR LESS.

## FREE CONSENT AND DEDICATION

THE SUBDIVISION SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) THEREOF AND SAID OWNER(S) AND/OR PROPRIETOR(S) SO HEREBY DEDICATE ALL STREETS AND PUBLIC RIGHTS-OF-WAY SHOWN HEREON TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS AND DO HEREBY GRANT: ALL ACCESS, UTILITY AND DRAINAGE EASEMENTS SHOWN HEREON INCLUDING THE RIGHT TO CONSTRUCT, OPERATE, INSPECT AND MAINTAIN FACILITIES THEREIN; AND ALL PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS (SEE NOTE 9). SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY CONSENT TO ALL OF THE FOREGOING AND DO HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED.

## WEINGARTEN REALTY INVESTORS

A TEXAS REAL ESTATE INVESTMENT TRUST

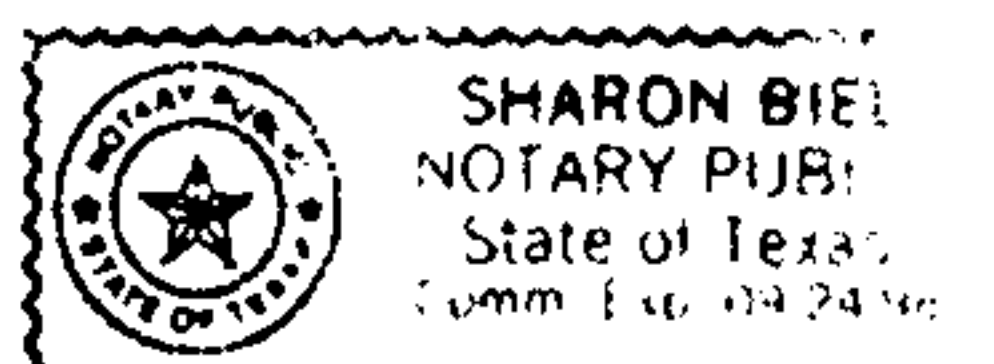
BY: Bill Robertson Jr. VICE PRESIDENT AND TRUST MANAGER  
 Executive

STATE OF NEW TEXAS ) SS  
 COUNTY OF HARRIS )

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THIS 7 DAY OF April 1995, BY BILL ROBERTSON JR., THE VICE PRESIDENT AND TRUST MANAGER OF WEINGARTEN REALTY INVESTORS, A TEXAS REAL ESTATE INVESTMENT TRUST, ON BEHALF OF SAID TRUST.

TYPE, PRINT OR STAMP NAME  
 OF NOTARY AND COMMISSION  
 EXPIRATION DATE BELOW

Sharon Biel  
 NOTARY PUBLIC IN AND FOR  
 THE STATE OF TEXAS



## TREASURER'S CERTIFICATION

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC:

TRACT A, UPC# 1-019-062-372065-40402

PROPERTY OWNER OF RECORD: WEINGARTEN REALTY INVESTORS

BERNALILLO COUNTY TREASURER'S OFFICE:

BY: Norma S. CarrilloDATE: 6-27-95

95063496

REPLAT OF  
 TRACT A, NORTH TOWN PLAZA  
 FOR  
 TRACTS A-1, THROUGH A-4  
**NORTH TOWN PLAZA**

SITUATE WITHIN  
 SECTION 3, T10N, R2E, N.M.P.M.  
 CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
 APRIL 1995

State of New Mexico ) SS  
 County of Bernalillo  
 This instrument was filed for record on

JUN 2 7 1995

Records of said County File # 234

Andy Woodward Clerk & Recorder  
 Deputy Clerk

## APPROVALS:

SUBDIVISION CASE NUMBER: SP-95-146  
 CITY CLERK OF ALBUQUERQUE, BERNALILLO CO. PLANNING DIVISION  
 PARKS AND GENERAL SERVICE DEPARTMENT  
 TRAFFIC ENGINEER, TRANSPORTATION DEPARTMENT  
 CITY ENGINEER, ENGINEERING DIVISION  
 ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY  
 UTILITY DEVELOPMENT  
 CITY SURVEYOR, ENGINEERING DIVISION  
 PROPERTY MANAGEMENT  
 GAS COMPANY OF NEW MEXICO  
 PUBLIC SERVICE COMPANY OF NEW MEXICO  
 U.S. WEST COMMUNICATION INC.

6-27-95

DATE

5-16-95

DATE

6-09-95

DATE

6-19-95

DATE

6-19-95

DATE

5-16-95

DATE

050145

DATE

6-13-95

DATE

6-7-95

DATE

6-7-95

DATE

5-3-95

DATE

I, approving this plat, P.N.M./GAS CO  
 OF N.M. do not waive or release any  
 interest or easement rights which may  
 have been granted by prior plat, replat,  
 or other document which are not shown

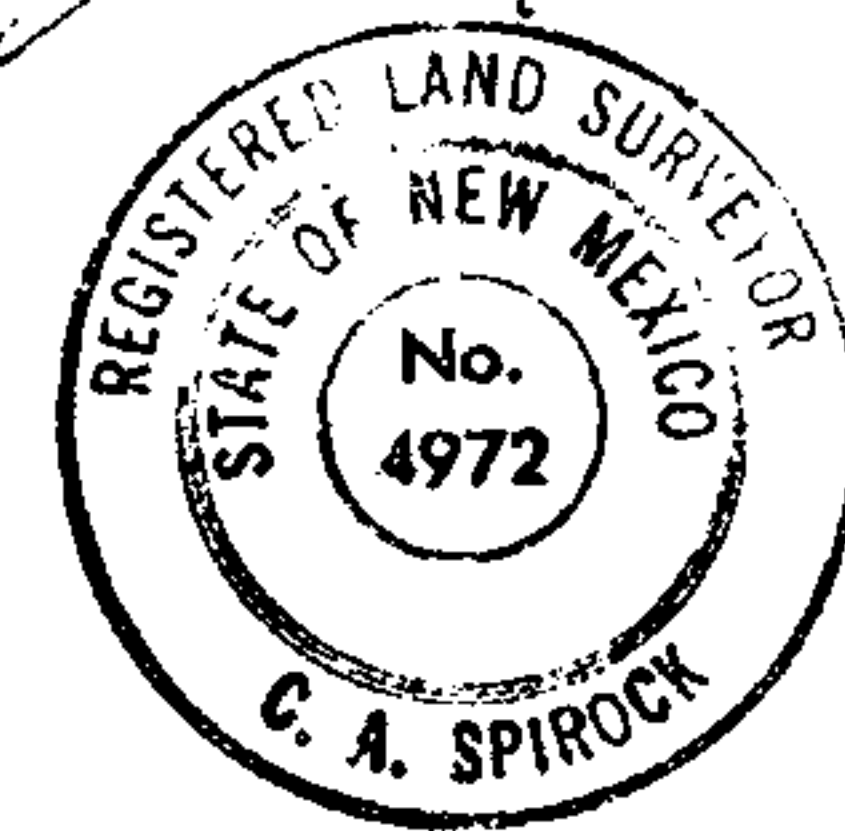
## SURVEYOR'S CERTIFICATION:

I, C. A. SPIROCK, HEREBY AFFIRM THAT I AM A DULY QUALIFIED REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO AND DO CERTIFY THAT THIS PLAT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION; SHOWS ACCURATE DIMENSIONS, AND LAND AREAS; SHOWS ALL EASEMENTS AND RESTRICTIONS AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNERS AND/OR PROPRIETORS OF THE SUBDIVISION SHOWN HEREON, TITLE COMPANIES, UTILITY COMPANIES OR OTHER PARTIES EXPRESSING AN INTEREST. I FURTHER CERTIFY THAT THIS PLAT MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, MEETS THE "MINIMUM STANDARDS FOR LAND SURVEYS" SET FORTH BY THE STATE OF NEW MEXICO AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

C. A. SPIROCK, N.M.P.S. #4972

4/27/95

DATE



SHEET 1 OF 2

DATE: APRIL 3, 1995	community sciences corporation
SCALE: 1" = 100'	
DESIGNED: SLC	
DRAWN: SPS	
JOB NO. 227-02-025	LAND PLANNING P.O. Box 1328 Corrales, N.M. 87048

95C-234(1)

95C-234(1)



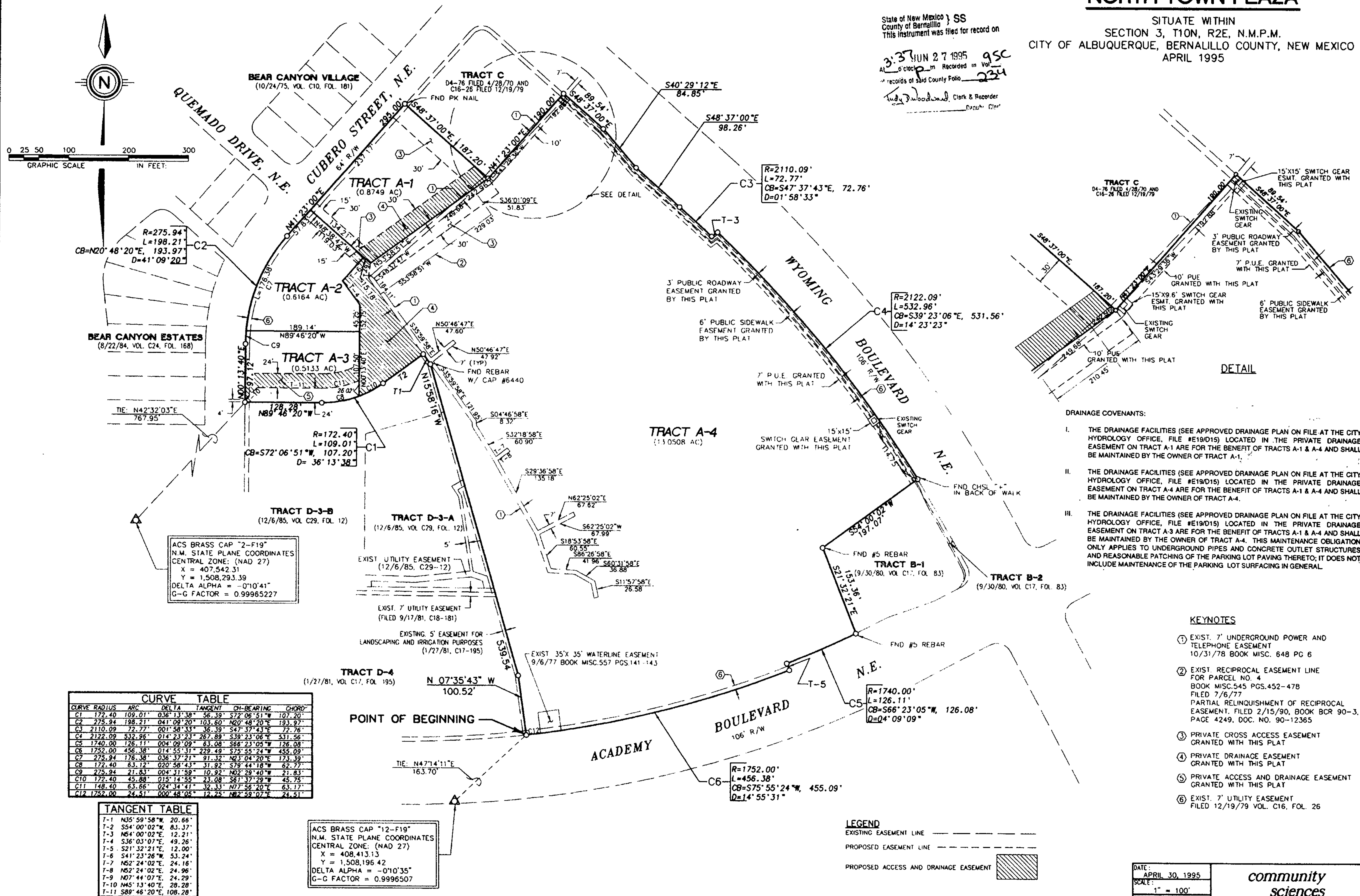
95063496

REPLAT OF  
TRACT A, NORTH TOWN PLAZA  
FOR  
TRACTS A-1, THROUGH A-4  
**NORTH TOWN PLAZA**

SITUATE WITHIN  
SECTION 3, T10N, R2E, N.M.P.M.  
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
APRIL 1995

State of New Mexico } SS  
County of Bernalillo }  
This instrument was filed for record on

3:37 JUN 27 1995  
At 3:37 p.m. Recorded in Vol. 95C  
Records of said County Folio 234  
Indy. Woodward, Clerk & Recorder





# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

February 29, 1996

Stephen Crawford, PE  
Crawford Dev. Services  
PO Box 1573  
Los Lunas, NM 87031

RE: GRADING & DRAINAGE PLAN FOR NORTH TOWNE PLAZA (E19/D15)  
RECEIVED FEBRUARY 15, 1996 FOR GRADING/PAVING & S.O.19  
ENGINEER'S STAMP DATED 1-30-96

Dear Mr. Crawford:

Based on the information included in the submittal referenced above and the supplemental calculations received February 29, 1996; City Hydrology approves a Grading/Paving permit & S.O.19 for this project.

A separate permit is required for construction of private drainage facilities within the City right of way. A copy of this letter must be on hand when applying for the excavation permit.

Engineer's Certification of grading & drainage per DPM checklist is required for this project. Include the revised 18" PVC Outlet detail and a copy of the "green tag" for the S.O.19 in the Engineer's Certification.

If you have any questions about this project, You may contact me at 768-2727.

Sincerely,

John P. Curtin, P.E.  
Civil Engineer, Hydrology

c: Andrew Garcia  
Arlene Portillo  
Gary Wankum, Weingarten Realty, P.O. Box 924133, Houston TX 77292



L V 153

DRAINAGE COVENANT

This Drainage Covenant, between Weingarten Realty Investors ("Owner"), whose address is P.O. Box 9241334, Houston, TX 77292, and the City of Albuquerque, New Mexico municipal corporation ("City"), whose address is P.O. Box 1293, Albuquerque, New Mexico 87103, is made in Albuquerque, Bernalillo County, New Mexico and is entered into as of the date Owner signs this Covenant.

1. Recital. Owner is the owner of certain real property described as: Tract A-1 and A-4 North Towne Plaza V 95C, F 234, Albuquerque, NM in Bernalillo County, New Mexico (the "Property").

Pursuant to City ordinances, regulations and other applicable laws, the Owner is required to construct and maintain certain Drainage Facilities on the Property, and the parties wish to enter into this Agreement to establish the obligations and responsibilities of the parties.

2. Description and Construction of Drainage Facilities. Owner shall construct the following "Drainage Facility" within the Property at Owner's sole expense in accordance with the standards, plans and specifications approved by the City pursuant to Drainage File No. E19/D15:  
Rundown channel, 42" CMP, Detention, and outlet pipe

The Drainage Facility is more particularly described in the attached Exhibit A. The Owner will not permit the Drainage Facility to constitute a hazard to the health or safety of the general public.

3. Maintenance of Drainage Facility. The Owner will maintain the Drainage Facility at Owner's cost in accordance with the approved Drainage Report and plans.

4. City's Right of Entry. The City has the right to enter upon the Property at any time and perform whatever inspection, maintenance or repair of the Drainage Facility it deems appropriate, without liability to the Owner.

5. Demand for Construction or Repair. The City may send written notice ("Notice") to the Owner requiring the Owner to construct or repair the Drainage Facility within 30 days ("Deadline") of receipt of the Notice, as provided in Section 11, and the Owner will comply promptly with the requirements of the Notice. The Owner will perform all required work by the Deadline, at Owner's sole expense.

6. Failure to Perform by Owner and Emergency Work by City. If the Owner fails to comply with the terms of the Notice by the Deadline, or if the City determines that an emergency condition exists, the City may perform the work itself. The City may assess the Owner for the cost of the work and for any other expenses or damages which result from Owner's failure to perform. The Owner agrees promptly to pay the City the amount assessed. If the Owner fails to pay the City within thirty (30) days after the City gives the Owner written notice of the amount due, the City may impose a lien against Owner's Property for the total resulting amount.

RECEIVED  
FEB 15 1996  
L.P.I.

(Approved by Legal Dept.  
as to form only 06/90)

7. Liability of City for Repair after Notice or as a Result of Emergency. The City shall not be liable to the Owner for any damages resulting from the City's repair or maintenance following notice to the Owner as required in this agreement or in an emergency unless the damages are the result of the reckless conduct or gross negligence of the City.

8. Indemnification. Owner agrees to indemnify and save the City, its officials, agents and employees harmless from all claims, actions, suits and proceedings arising out of or resulting from the Owner's negligent maintenance, construction, repair or use of the Drainage Facility. To the extent, if at all, Section 56-7-1 NMSA 1978 is applicable to this Agreement, this Agreement to indemnify will not extend to liability, claims, damages, losses or expenses, including attorney's fees, arising out of (1) the preparation or approval of maps, drawings, opinions, reports, surveys, change orders, designs or specifications by the indemnitee, or the agents or employees of the indemnitee; or (2) the giving of or the failure to give direction or instructions by the indemnitee, where such giving or failure to give directions or instructions is the primary cause of bodily injury to persons or damage to property.

9. Cancellation of Agreement and Release of Covenant. This Agreement may be released if the Drainage Facility is no longer required for the protection of the public health, safety and welfare by the City filing a "Notice of Release" with the Bernalillo County Clerk. The Notice of Release must be signed by the City's Chief Administrative Officer, or his designee, and the approval of the City Hydrologist must be endorsed thereon.

10. Assessment. Nothing in this agreement shall be construed to relieve the Owner, his heirs, assigns, and successors from an assessment against Owner's Property for improvements to the property under a duly authorized and approved Special Assessment District. The parties specifically agree that the value of the Drainage Facility will not reduce the amount assessed by the City.

11. Notice. For purposes of given formal written notice to the Owner, Owner's address is:

P.O. Box 924133  
Houston, Texas 77292

Notice may be given to the Owner either in person or by mailing the notice by regular U.S. mail, postage paid. Notice will be considered to have been received by the Owner within three days after the notice is mailed if there is no actual evidence of receipt. The Owner may change Owner's address by given written notice of the change by Certified Mail, return receipt requested, to the City Public Works Department, P.O. Box 1293, Albuquerque, New Mexico, 87103.

12. Term. This Agreement shall continue until terminated by the City pursuant to Section 9 above.

(Approved by Legal Dept.  
as to form only 06/90)

13. Binding on Owner's Property. The covenants and obligations of the Owner said forth herein shall be binding on Owner, its heirs, personal representatives, assigns and successors and on Owner's Property and shall constitute covenants running the Owner's Property until released by the City.

14. Entire Agreement. This Agreement contains the entire agreement of the parties and supercedes any and all other agreements or understanding, oral or written, whether previous to the execution hereof or contemporaneous herewith regarding this subject matter.

15. Changes to Agreement. Changes to this Agreement are not binding unless made in writing, signed by both parties.

16. Construction and Severability. If any part of this Agreement is held to be invalid or unenforceable, the remainder of the Agreement will remain valid and enforceable if the remainder is reasonably capable of completion.

17. Captions. The captions to the sections or paragraphs of this Agreement are not part of this Agreement and will not affect the meaning or construction of any of its provisions.

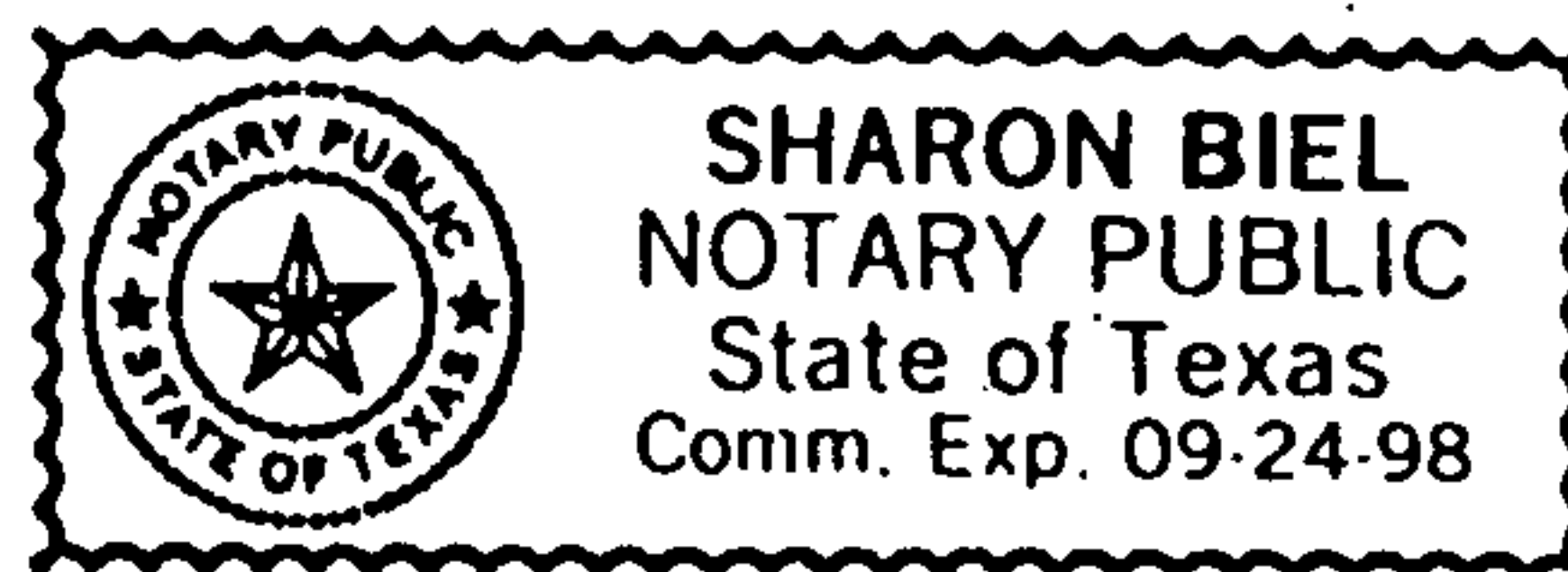
OWNER: Weingarten Realty Investors  
By: [Signature]  
Its: Executive Vice President  
Dated: \_\_\_\_\_

STATE OF Texas )  
 ) ss  
COUNTY OF Harris )

This  
~~The foregoing~~ instrument was acknowledged before me on 31st day  
of January, 1996, [by name of person:] Bill Robertson, Jr.,  
[title or capacity, for instance "president" or "owner":] Executive Vice President  
of [Subdivider:] Weingarten Realty Investors.

[Signature: Sharon Biel]  
Notary Public

My Commission Expires:  
9-24-98



CITY OF ALBUQUERQUE:

Approved:

By: \_\_\_\_\_  
Title: \_\_\_\_\_  
Dated: \_\_\_\_\_

(EXHIBIT A ATTACHED)

(Approved by Legal Dept.  
as to form only 06/90)



Velocity in 18" PVC

$$Q = 7.28 \text{ in TEN YEAR FLOW}$$

PER KING'S HANDBOOK TAB. 7-14

$$Q = K' N D^{8/3} S^{1/2}$$

$$7.28 = \frac{K'}{.01} 1.5^{8/3} .01^{1/2}$$

$$K' = .247$$

WTO TABLE TO SOLVE FOR D/A

$$D/A = .52$$

$$\text{Depth} = 1.5 \times 0.52 = \underline{0.78}$$

PER KING'S HANDBOOK TAB 7-4

$$A = C_A D^2$$

USE D/A IN TABLE SOLVE FOR C<sub>A</sub>

$$C_A = .413$$

$$A = .413 \cdot 1.5^2$$

$$A = .929$$

$$V = Q/A = 7.28 / .929 = \underline{7.83 \text{ FTS}}$$



2-28-96

AHYMO SUMMARY TABLE (AHYMO194) - AMAFCA Hydrologic Model - January, 1994  
INPUT FILE = tendev.dat

RUN DATE (MON/DAY/YR) =02/15/1996  
USER NO.= DAGGETTK.S94

COMMAND	HYDROGRAPH IDENTIFICATION	FROM ID NO.	TO ID NO.	AREA (SQ MI)	PEAK DISCHARGE (CFS)	RUNOFF VOLUME (AC-FT)	RUNOFF (INCHES)	TIME TO PEAK (HOURS)	CFS PER ACRE	PAGE = 1 NOTATION
*S	NORTHTOWNE SHOPPING CENTER 227-02-030									
*S	PROPOSED DETENTION POND BEHIND PAD SITES									
START									TIME=	.00
RAINFALL TYPE= 2									RAIN24=	2.070
*S	COMPUTE HYDROGRAPH BASIN B-1									
COMPUTE NM HYD	101.00	-	1	.00659	14.06	.624	1.77617	1.499	3.335 PER IMP=	100.00
*S	COMPUTE HYDROGRAPH BASIN B-2									
COMPUTE NM HYD	102.00	-	2	.00213	4.23	.184	1.61990	1.499	3.100 PER IMP=	89.00
*S	COMPUTE HYDROGRAPH BASIN B-3									
COMPUTE NM HYD	103.00	-	3	.01696	35.24	1.555	1.71933	1.499	3.247 PER IMP=	96.00
*S	COMPUTE HYDROGRAPH BASIN B-4									
COMPUTE NM HYD	104.00	-	4	.00025	.54	.024	1.77631	1.499	3.371 PER IMP=	100.00
*S	COMPUTE HYDROGRAPH BASIN B-5									
COMPUTE NM HYD	105.00	-	5	.00103	2.06	.090	1.63413	1.499	3.131 PER IMP=	90.00
*S	COMPUTE HYDROGRAPH BASIN B-6a									
COMPUTE NM HYD	106.10	-	6	.00047	.62	.017	.66339	1.499	2.070 PER IMP=	5.00
*S	COMPUTE HYDROGRAPH BASIN B-6b									
COMPUTE NM HYD	106.20	-	7	.00174	3.48	.152	1.63411	1.499	3.124 PER IMP=	90.00
*S	ADD HYDROGRAPHS 101.00 & 103.00 (BASINS B-1 & B-3)									
ADD HYD	107.13	1& 3	8	.02355	49.30	2.179	1.73524	1.499	3.271	
*S	ADD HYDROGRAPHS 107.13 & 105.00 (BASINS B-1,B-3 & B-5)									
ADD HYD	108.23	5& 8	9	.02458	51.37	2.269	1.73100	1.499	3.265	
*S	ADD HYDROGRAPHS 108.23 & 106.10 (B-1,B-3,B-5 & B-6a)									
ADD HYD	109.16	6& 9	10	.02505	51.99	2.285	1.71063	1.499	3.243	
*S	ROUTE HYDROGRAPH 109.16 THROUGH POND									
ROUTE RESERVOIR	110.00	10	11	.02505	7.29	2.248	1.68239	2.131	.454 AC-FT=	1.334
FINISH										

Q10

2' Sidewalk Culvert

2-28-96

$D = 6 \frac{1}{2}''$

DEPTH--GUESS (FT): 0.53  
DEPTH--GIVEN (FT):  
FLOW RATE--CALCULATED (CFS): 0.00  
FLOW RATE--GIVEN (CFS):  
MANNING'S "n" VALUE: 0.015  
BED SLOPE (FT/FT): 0.0200  
BOTTOM WIDTH (FT): 2.00  
SIDESLOPE #1 (HORZ:VERT): 0.00  
SIDESLOPE #2 (HORZ:VERT): 0.00  
CROWN--NEG. FOR INVERTED (FT): 0.00

7.34  $Q > 7.29 cfs$

\*OUTPUT\*

CROSS SECT. AREA (SF): 1.06  
TOP WIDTH (FT): 2.00  
WETTED PERIMETER (FT): 3.06  
HYDRAULIC RADIUS (FT): 0.35  
VELOCITY (FPS): 6.93  
FROUDE NUMBER: 1.68



# SIDE WALK CULVERT

DEPTH--GUESS (FT): 0.67 0.67  
DEPTH--GIVEN (FT):

FLOW RATE--CALCULATED (CFS): 7.06 7.06  
FLOW RATE--GIVEN (CFS):

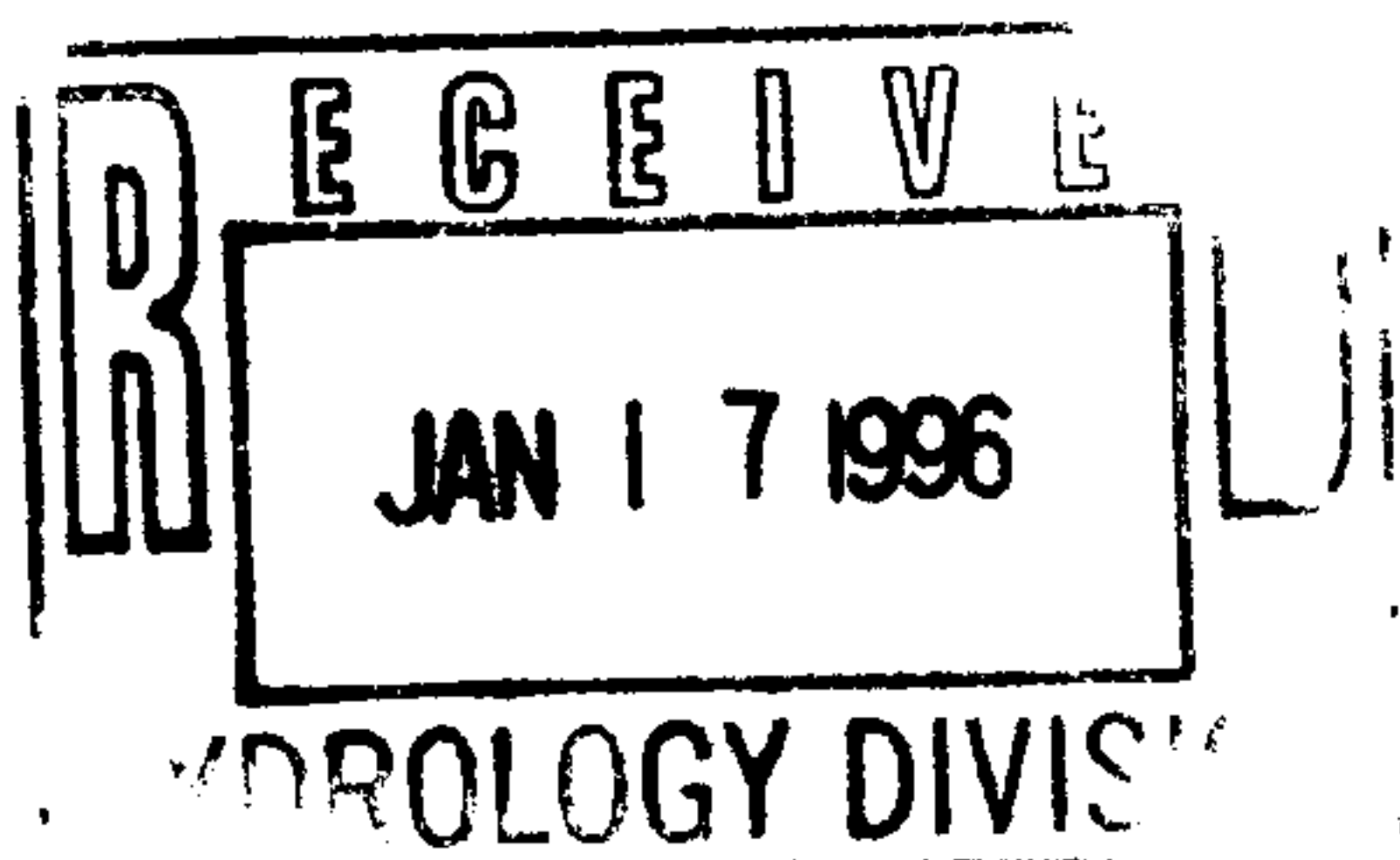
MANNING'S "n" VALUE: 0.015

BED SLOPE (FT/FT): 0.0200  
BOTTOM WIDTH (FT): 1.50  
SIDESLOPE #1 (HORZ:VERT): 0.00  
SIDESLOPE #2 (HORZ:VERT): 0.00  
CROWN--NEG. FOR INVERTED (FT): 0.00

## \*OUTPUT\*

CROSS SECT. AREA (SF): 1.01  
TOP WIDTH (FT): 1.50  
WETTED PERIMETER (FT): 2.84  
HYDRAULIC RADIUS (FT): 0.35  
VELOCITY (FPS): 7.03  
FROUDE NUMBER: 1.51

Use 24"



TRAPEZOIDAL CHANNEL ANALYSIS  
RATING CURVE COMPUTATION

January 29, 1996  
North Towne Plaza  
24" Sidewalk Culvert

PROGRAM INPUT DATA:

DESCRIPTION	VALUE
Channel Bottom Slope (feet per foot).....	0.0200
Manning's Roughness Coefficient (n-value).....	0.0150
Channel Side Slope - Left Side (horizontal/vertical)....	0.00
Channel Side Slope - Right Side (horizontal/vertical)...	0.00
Channel Bottom Width (feet).....	2.0

PROGRAM RESULTS:

Depth (ft)	Flow Rate (cfs)	Velocity (fps)	Froude Number	Velocity Head(ft)	Energy Head(ft)	Flow Area (sq ft)	Top Width (ft)
0.05	0.2	1.84	1.451	0.053	0.103	0.1	2.0
0.1	0.6	2.83	1.579	0.125	0.225	0.2	2.0
0.15	1.1	3.60	1.640	0.202	0.352	0.3	2.0
0.2	1.7	4.24	1.672	0.280	0.480	0.4	2.0
0.3	2.4	4.79	1.689	0.356	0.606	0.5	2.0
0.3	3.2	5.27	1.696	0.431	0.731	0.6	2.0
0.35	4.0	5.70	1.697	0.504	0.854	0.7	2.0
0.4	4.9	6.08	1.693	0.574	0.974	0.8	2.0
0.45	5.8	6.42	1.687	0.640	1.090	0.9	2.0
0.5	6.7	6.74	1.679	0.704	1.204	1.0	2.0
0.55	7.7	7.02	1.669	0.766	1.316	1.1	2.0

TRAPEZOIDAL CHANNEL ANALYSIS COMPUTER PROGRAM, Version 1.3 (c) 1986  
Dodson & Associates, Inc., 5629 FM 1960 W., #314, Houston, TX 77069  
(713) 440-3787. A manual with equations & flow chart is available.

TRAPEZOIDAL CHANNEL ANALYSIS  
RATING CURVE COMPUTATION

January 29, 1996  
North Towne Plaza  
Sidewalk Culvert  
18" Width

PROGRAM INPUT DATA:

DESCRIPTION	VALUE
Channel Bottom Slope (feet per foot).....	0.0200
Manning's Roughness Coefficient (n-value).....	0.0150
Channel Side Slope - Left Side (horizontal/vertical)....	0.00
Channel Side Slope - Right Side (horizontal/vertical)...	0.00
Channel Bottom Width (feet).....	1.5

PROGRAM RESULTS:

Depth (ft)	Flow Rate (cfs)	Velocity (fps)	Froude Number	Velocity Head(ft)	Energy Head(ft)	Flow Area (sq ft)	Top Width (ft)
0.05	0.1	1.82	1.435	0.052	0.102	0.1	1.5
0.1	0.4	2.78	1.547	0.120	0.220	0.1	1.5
0.15	0.8	3.50	1.594	0.190	0.340	0.2	1.5
0.2	1.2	4.09	1.613	0.260	0.460	0.3	1.5
0.3	1.7	4.59	1.618	0.327	0.577	0.4	1.5
0.3	2.3	5.02	1.614	0.391	0.691	0.4	1.5
0.35	2.8	5.39	1.606	0.451	0.801	0.5	1.5
0.4	3.4	5.72	1.594	0.508	0.908	0.6	1.5
0.45	4.1	6.01	1.580	0.562	1.012	0.7	1.5
0.5	4.7	6.28	1.565	0.612	1.112	0.8	1.5
0.55	5.4	6.52	1.549	0.660	1.210	0.8	1.5

TRAPEZOIDAL CHANNEL ANALYSIS COMPUTER PROGRAM, Version 1.3 (c) 1986  
Dodson & Associates, Inc., 5629 FM 1960 W., #314, Houston, TX 77069  
(713) 440-3787. A manual with equations & flow chart is available.



CIRCULAR CHANNEL ANALYSIS  
RATING CURVE COMPUTATION

January 29, 1996  
North Towne Plaza  
Pond Outlet Line  
Upper Reach

PROGRAM INPUT DATA:  
DESCRIPTION

	VALUE
Channel Bottom Slope (feet per foot).....	0.0040
Manning's Roughness Coefficient (n-value).....	0.0100
Channel Diameter (feet).....	1.50

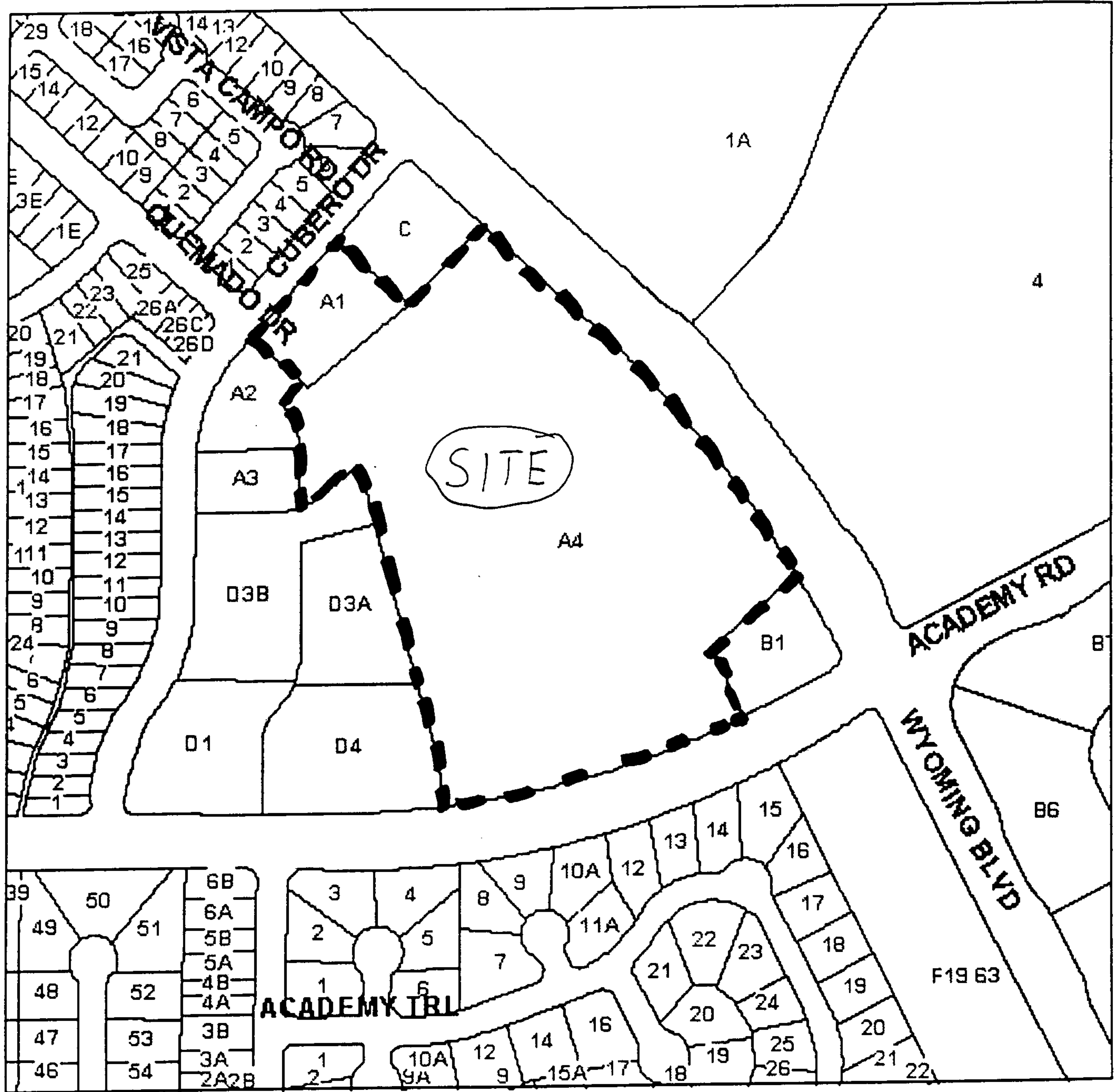
PROGRAM RESULTS:

Depth (ft)	Flow Rate (cfs)	Velocity (fps)	Froude Number	Velocity Head(ft)	Energy Head(ft)	Flow Area (sq ft)	Top Width (ft)
0.1	0.1	1.51	1.025	0.036	0.136	0.05	0.75
0.2	0.3	2.35	1.117	0.086	0.286	0.14	1.02
0.3	0.8	3.01	1.157	0.140	0.440	0.25	1.20
0.4	1.3	3.55	1.172	0.196	0.596	0.38	1.33
0.5	2.1	4.02	1.172	0.250	0.750	0.52	1.41
0.6	2.9	4.41	1.159	0.302	0.902	0.66	1.47
0.7	3.8	4.74	1.137	0.349	1.049	0.81	1.50
0.8	4.8	5.02	1.105	0.391	1.191	0.96	1.50
0.9	5.8	5.24	1.064	0.427	1.327	1.11	1.47
1.0	6.8	5.41	1.013	0.454	1.454	1.25	1.41
1.1	7.7	5.52	0.951	0.473	1.573	1.39	1.33
1.2	8.4	5.57	0.873	0.482	1.682	1.52	1.20
1.3	9.0	5.54	0.774	0.477	1.777	1.63	1.02
1.4	9.3	5.41	0.630	0.455	1.855	1.72	0.75
1.5	8.7	4.90	0.102	0.373	1.873	1.77	0.02

CIRCULAR CHANNEL ANALYSIS COMPUTER PROGRAM, Version 1.5 (c) 1986  
Dodson & Associates, Inc., 5629 FM 1960 W., #314, Houston, TX 77069  
(713) 440-3787. A complete program manual is available.

Activate By 'Clicking' on the Map

⌂ Zoom In ⌂ Id Address ⌂ Id ZM ⌂ Pan ⌂ Zoom Out



ReDraw Screen

1999 AIR PHOTO (Metro Area Coverage)

**GRID E-19**

# CITY OF ALBUQUERQUE



February 20, 2009

Boleslo A. Romero, P.E.  
Community Sciences Corporation  
4481 Corrales Rd  
Corrales, NM 87048

**Re: North Town Plaza Retail Pad and Expansion, Grading and Drainage Plan  
Engineer's Stamp dated 1-22-09 (E19/D015)**

Dear Mr. Romero,

Based upon the information provided in your submittal received 1-26-09 and the addition of the rail to the retention wall on the site plan 2-20-09, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

PO Box 1293

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

Albuquerque

If you have any questions, you can contact me at 924-3695.

NM 87103

Sincerely,

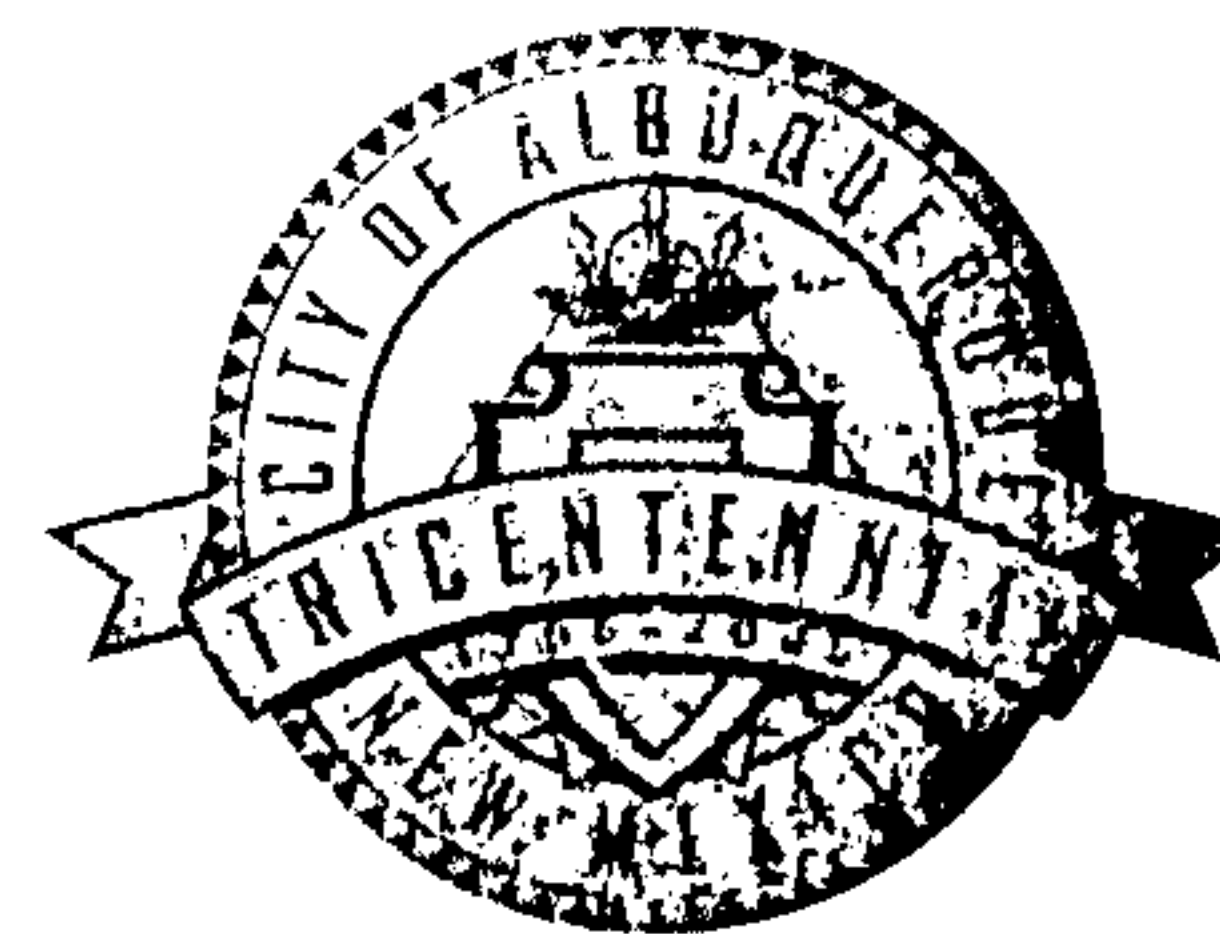
Curtis A. Cherne, P.E.  
Senior Engineer, Planning Dept.  
Development and Building Services

[www.cabq.gov](http://www.cabq.gov)

C: file



# CITY OF ALBUQUERQUE



June 2, 2006

Fred C. Arfman, P.E.  
Isaacson & Arfman, P.A.  
128 Monroe St NE  
Albuquerque, NM 87108

**Re: North Town Plaza de le Torre Grading and Drainage Plan**  
**Engineer's Stamp dated 5-15-06 (E19/D15)**

Dear Mr. Arfman,

Based upon the information provided in your submittal dated 5-16-06, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Also, prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3695.

Sincerely,

Curtis A. Cherne, E.I.  
Engineering Associate, Planning Dept.  
Development and Building Services  
BUC

C: file

P.O. Box 1293

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

# CITY OF ALBUQUERQUE



March 27, 2007

Mr. Fred Arfman, P.E.  
**Isaacson & Arfman**  
128 Monroe St. NE  
Albuquerque, NM 87108

**Re: North Town Plaza, 5901 Wyoming Blvd. NE,  
Approval of 90-Day Temporary Certificate of Occupancy (C.O.)  
Engineer's Stamp dated 05/15/06 (E-18/D005B)  
Certification dated 03/26/07**

Based upon the information provided in your submittal received 03/27/07, the above referenced certification is approved for release of 90-day Temporary Certificate of Occupancy by Hydrology.

P.O. Box 1293

Upon final Engineer Certification of project site, please resubmit an updated Certification for Permanent C.O. approval.

Albuquerque

If you have any questions, you can contact me at 924-3982.

New Mexico 87103

Sincerely,

Timothy Sims  
Plan Checker, Hydrology  
Development and Building Services

[www.cabq.gov](http://www.cabq.gov)

C: CO Clerk-Katrina Sigala  
File

# CITY OF ALBUQUERQUE



April 9, 2007

Fred Arfman, P.E.  
Isaacson & Arfman, P. A.  
128 Monroe St. NE  
Albuquerque, NM 87108

**Re: North Towne Plaza Comm. Pad, 5901 Wyoming Blvd. NE,  
Approval of Permanent Certificate of Occupancy (C.O.)  
Engineer's Stamp dated 5/15/06 (E-19/D015)  
Certification dated 4/09/07**

Based upon the information provided in your submittal received 04/09/07, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

P.O. Box 1293

If you have any questions, you can contact me at 924-3982.

Sincerely,

Albuquerque

New Mexico 87103

Timothy Sims  
Plan Checker, Planning Dept.  
Development and Building Services

[www.cabq.gov](http://www.cabq.gov)

C: CO Clerk-Katrina Sigala  
File



**DRAINAGE AND TRANSPORTATION INFORMATION SHEET**  
(Rev. 12/05)

PROJECT TITLE: N. Town Plaza Starbucks ZONE MAP/DRG. FILE # E-19/D015  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: N. Town Plaza ) NW corner  
CITY ADDRESS: Wyo / Academy

ENGINEERING FIRM: Clark Consulting Engineers CONTACT: Phil  
ADDRESS: 19 Ryan Road PHONE: 281-2444  
CITY, STATE: Edgewood, New Mexico 87015 ZIP CODE: \_\_\_\_\_

OWNER: Kleingarten CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

ARCHITECT: Masterworks CONTACT: Jim  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

SURVEYOR: SURV-TEK CONTACT: Tie  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

CONTRACTOR: Clayton CONTACT: Randy  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

**TYPE OF SUBMITTAL:**

- ☒ DRAINAGE REPORT  
☒ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL  
☒ DRAINAGE PLAN RESUBMITTAL  
☒ CONCEPTUAL G & D PLAN  
☒ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERT (HYDROLOGY)  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT  
☐ ENGINEER/ARCHITECT CERT (TCL)  
☐ ENGINEER/ARCHITECT CERT (DRB S.P.)  
☐ ENGINEER/ARCHITECT CERT (AA)  
☐ OTHER (SPECIFY) \_\_\_\_\_

**CHECK TYPE OF APPROVAL SOUGHT:**

- ☐ SIA/FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☒ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY (PERM)  
☐ CERTIFICATE OF OCCUPANCY (TEMP)  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ OTHER (SPECIFY) \_\_\_\_\_

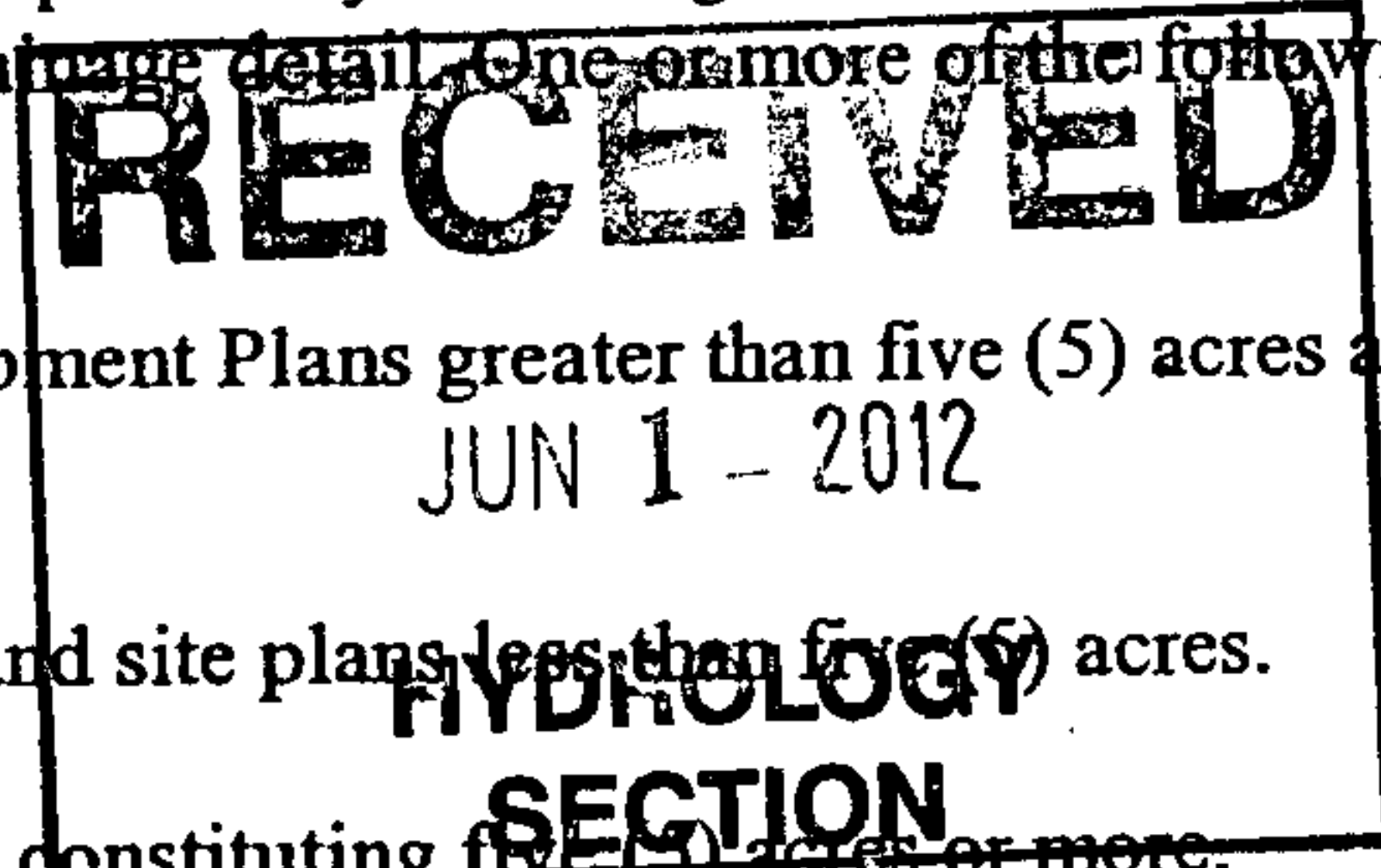
WAS A PRE-DESIGN CONFERENCE ATTENDED?

- ☒ YES - telecon w/ Curtis  
☐ NO  
☐ COPY PROVIDED

SUBMITTED BY: \_\_\_\_\_ DATE: 6.1.12 [Signature]

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting more than five (5) acres or more.



# CITY OF ALBUQUERQUE



June 7, 2012

Philip W. Clark, P.E.  
Clark Consulting Engineers  
19 Ryan Road  
Edgewood, NM 87015

**Re: North Town Plaza Restaurant, Grading and Drainage Plan  
Engineer's Stamp Date 6/01/2012 (E19/D015)**

Dear Mr. Clark,

Based upon the information provided in your submittal received 6-01-12, the grading and Drainage Plan is approved for Building Permit. Please double check the proposed top of asphalt elevation on the east side of the building at the high point with elevation at 25.0. The sidewalk/curb height (top of sidewalk/top of curb elevation 25.20') is only 0.20'.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

Albuquerque's MS4 Permit became effective March 1<sup>st</sup>, 2012. Grading and Drainage Plans and Drainage Reports will have to comply with the requirements of the new permit (<http://www.cabq.gov/planning/landcoord/Hydrology.html>).

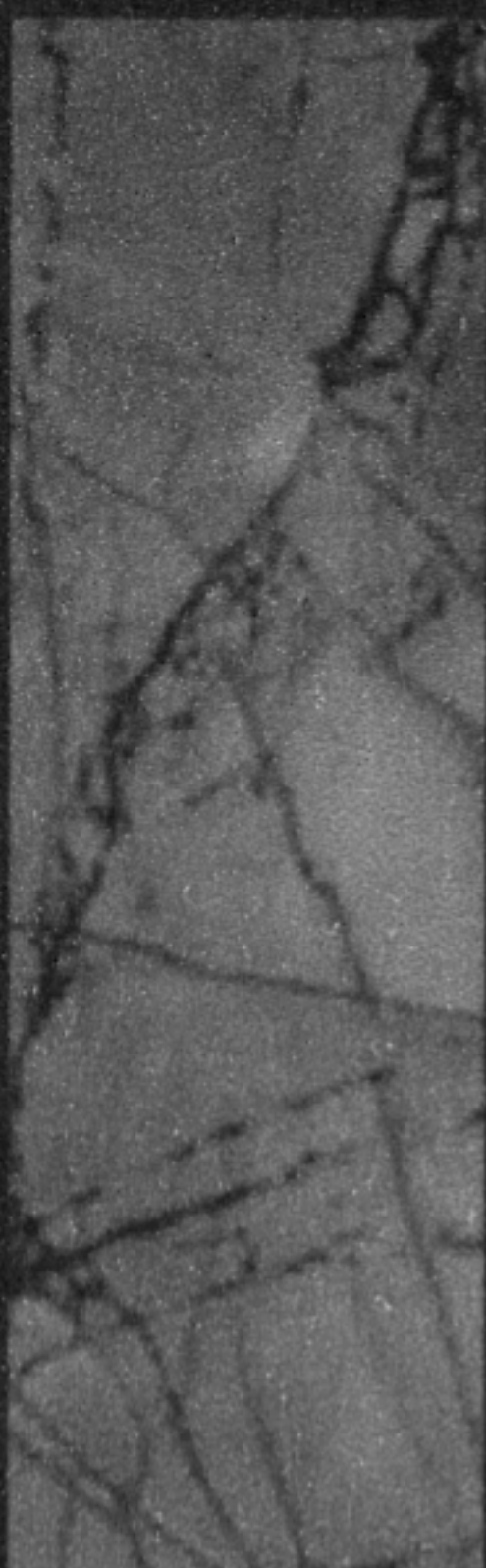
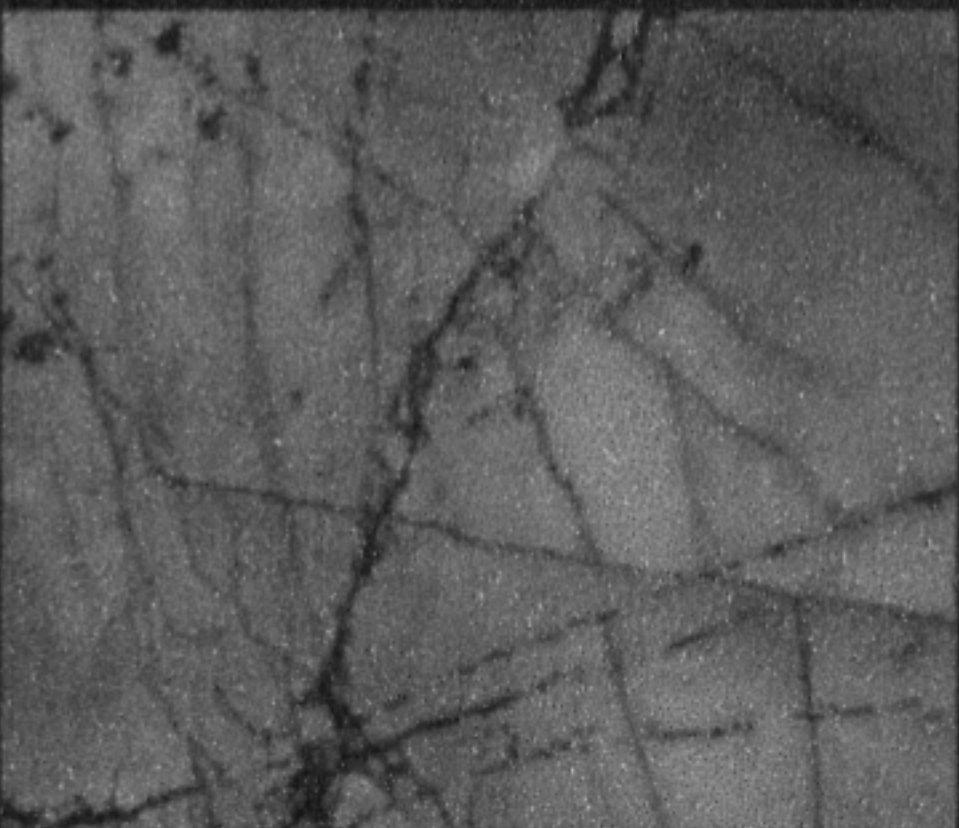
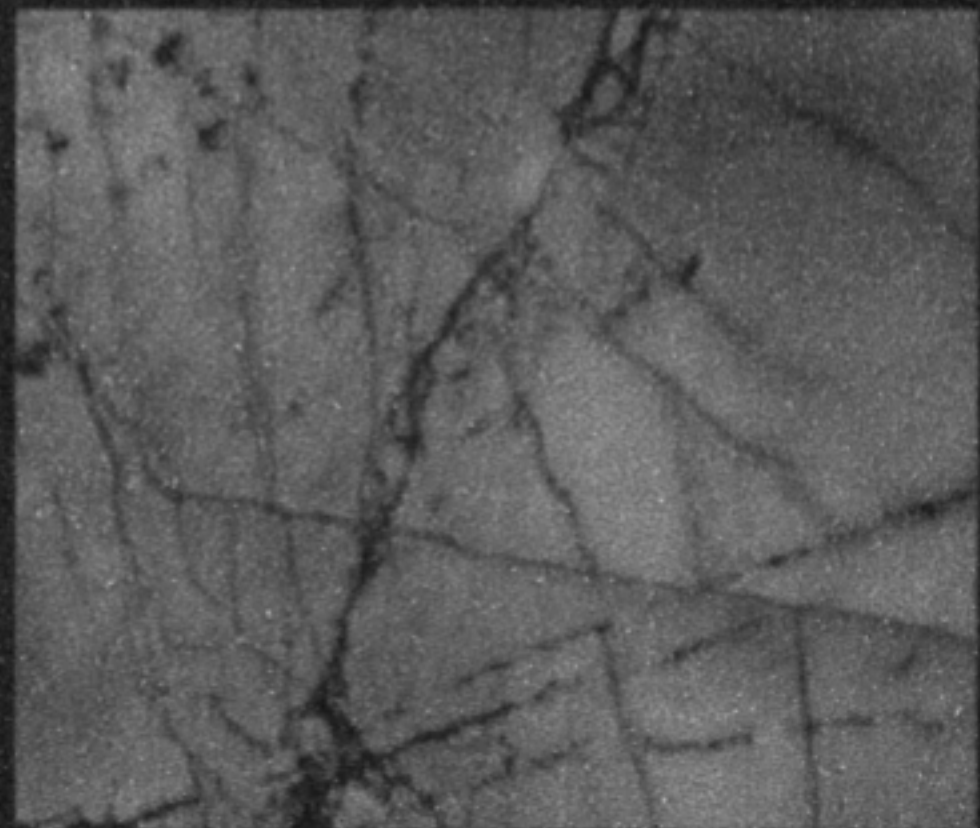
If you have any questions, you can contact me at 924-3695.

Sincerely,

Shahab Biazar, P.E.  
Senior Engineer, Planning Dept.  
Development and Building Services

C: e-mail





# *North Town Plaza*

*Retail Pad & Expansion  
Albuquerque, New Mexico*

## ***Drainage Report***

*January 22, 2009*

*Prepared for:*

***Weingarten Realty***  
*Albuquerque, New Mexico*

*Prepared By:*

***Community Sciences Corporation***  
*P.O. Box 1328 / 4481 Corrales Road  
Corrales, New Mexico 87048  
505/897.0000*

*Reference No. N776-03*

***Boleslo A. Romero, P.E.***

JAN 26 2009



DRAINAGE REPORT  
NORTHTOWN PLAZA  
RETAIL PAD & EXPANSION  
ALBUQUERQUE, NM

Developer:  
Weingarten Realty  
Albuquerque, NM

Prepared by:



January 21, 2009

## INTRODUCTION

### TYPE OF APPROVAL

This report represents the requisite drainage management plan for proposed retail pad and expansion construction located in Northtown Plaza within Tract A-4, which is located on the northwest corner of Wyoming Blvd. and Academy Road. The site is pending building permit approval subject to the acceptance of this report.

### SCOPE OF REPORT

This report quantifies and provides analysis of:

- The rainfall and runoff for the basins affecting the site.
- The future conditions criteria outlined in the DPM.
- The effects of the proposed development on this data.

### PROJECT LOCATION AND DESCRIPTION

The site is located on the northwest corner of Wyoming Blvd. and Academy Road. The site is currently a developed shopping center. The proposed improvements include renovations/expansions of the existing building structure and conversion of an area of parking to a retail building site. A map of the area site surrounding the site is shown in Figure 1.

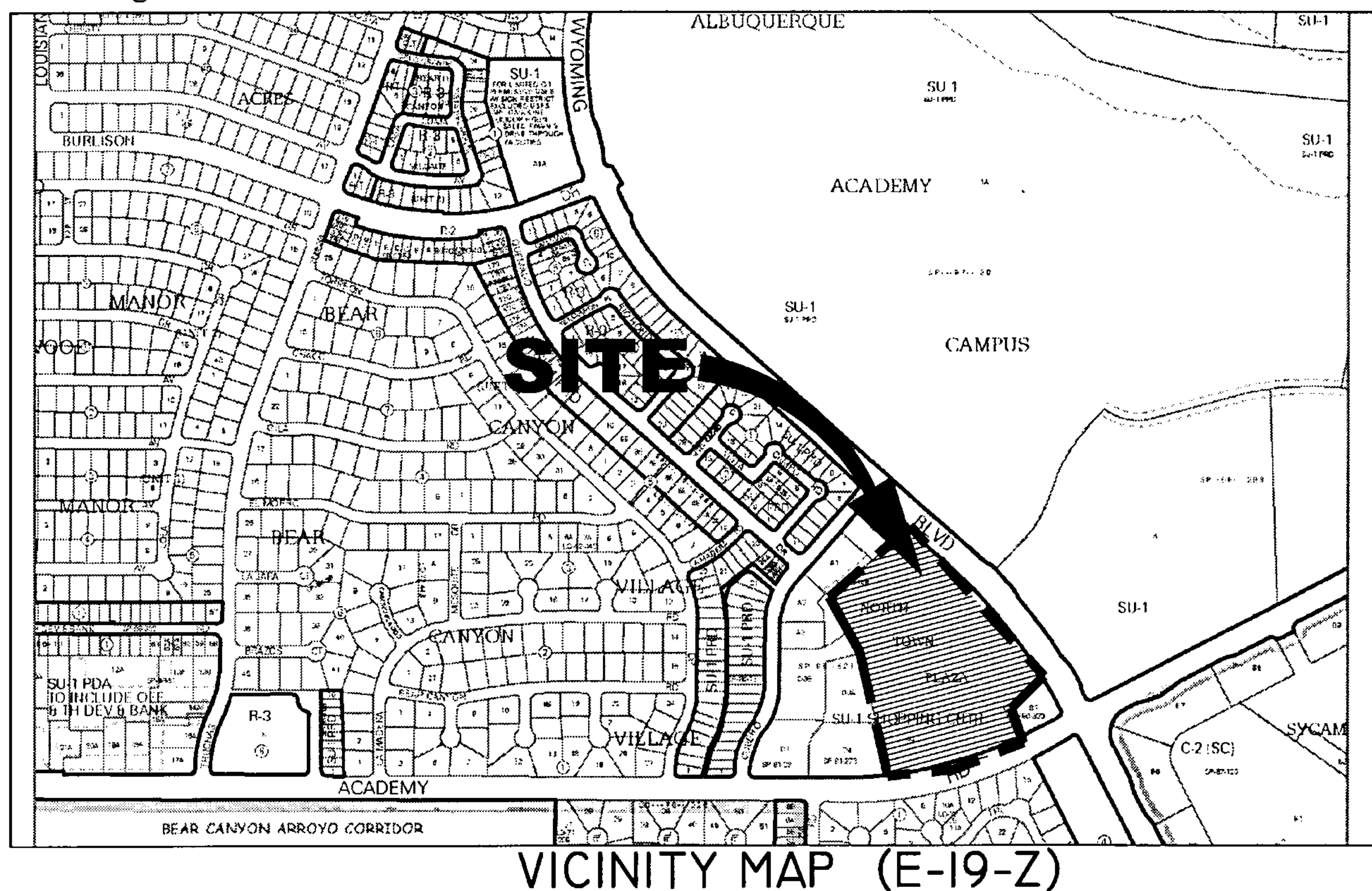
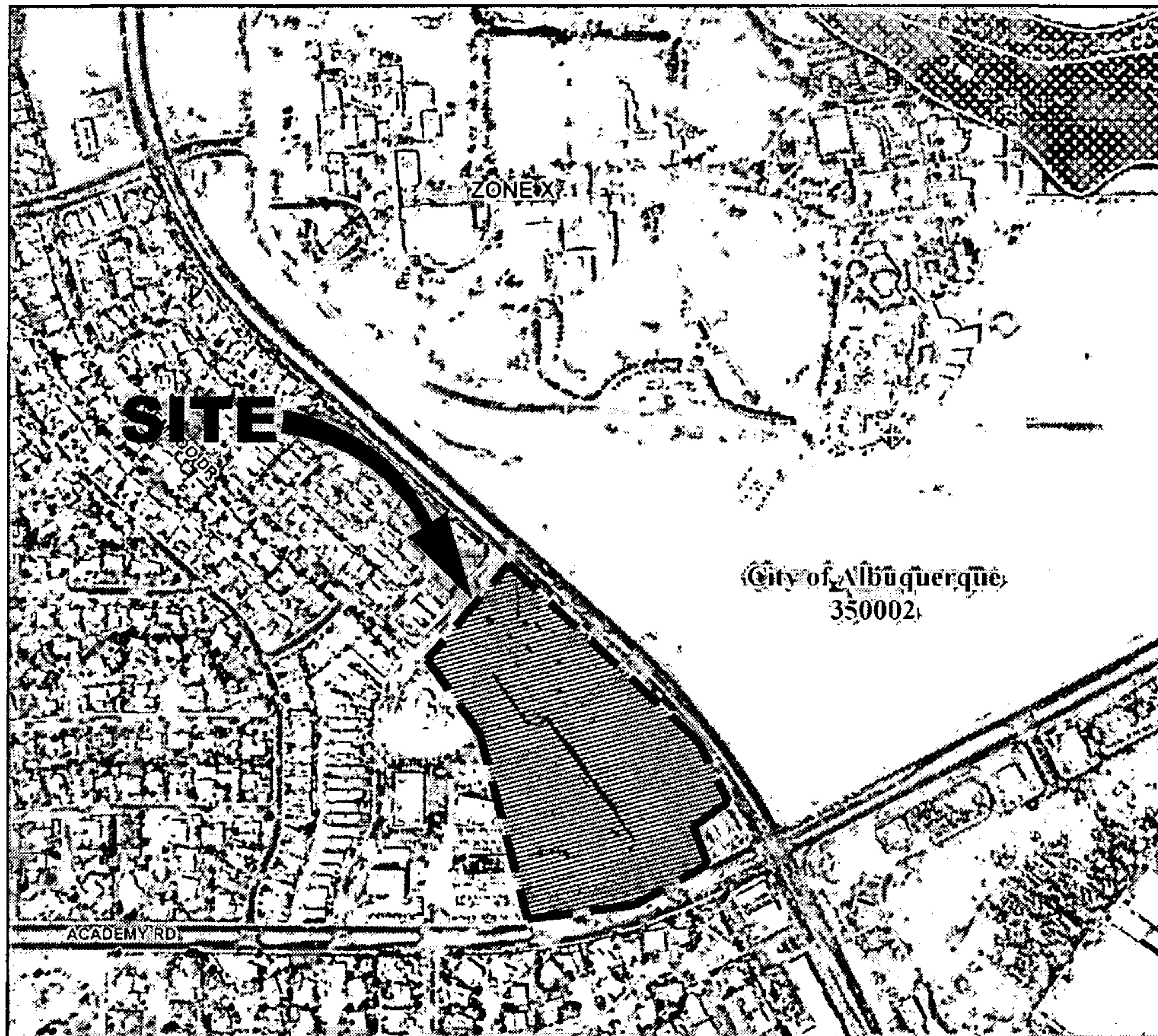


Figure 1 Vicinity Map



**REFERENCES & DRAINAGE / PLANNING HISTORY**  
**FLOOD PLAIN INFORMATION**



**FIRM MAP 35001-35001C0143G DATED SEPTEMBER 26, 2008**

**Figure 3 - Flood Zones FIRM 35043C0911 C**

**MASTER PLANNING INFO**

The drainage plan presented in this report has been prepared in accordance with the:

- City of Albuquerque DPM (Sections 22.2 through 22.8)

The report and analysis also reference the:

- Drainage Report for Northtown Shopping Center (April 1994)
- Drainage Report for Northtown Shopping Center (1977)

**DRAINAGE BASIN DESCRIPTION**

The drainage basins are large expanses of parking area. A small portion of the parking is renovated with a building pad and structure. The basins within the site surface drain to an existing pond, and there are no offsite basins affecting the site. The pond then discharges to Cubero St. through an outlet control consisting of two 12 inch storm drain pipes. The proposed construction does not affect the calculations of land use runoff areas analyzed the previous reports for the property.



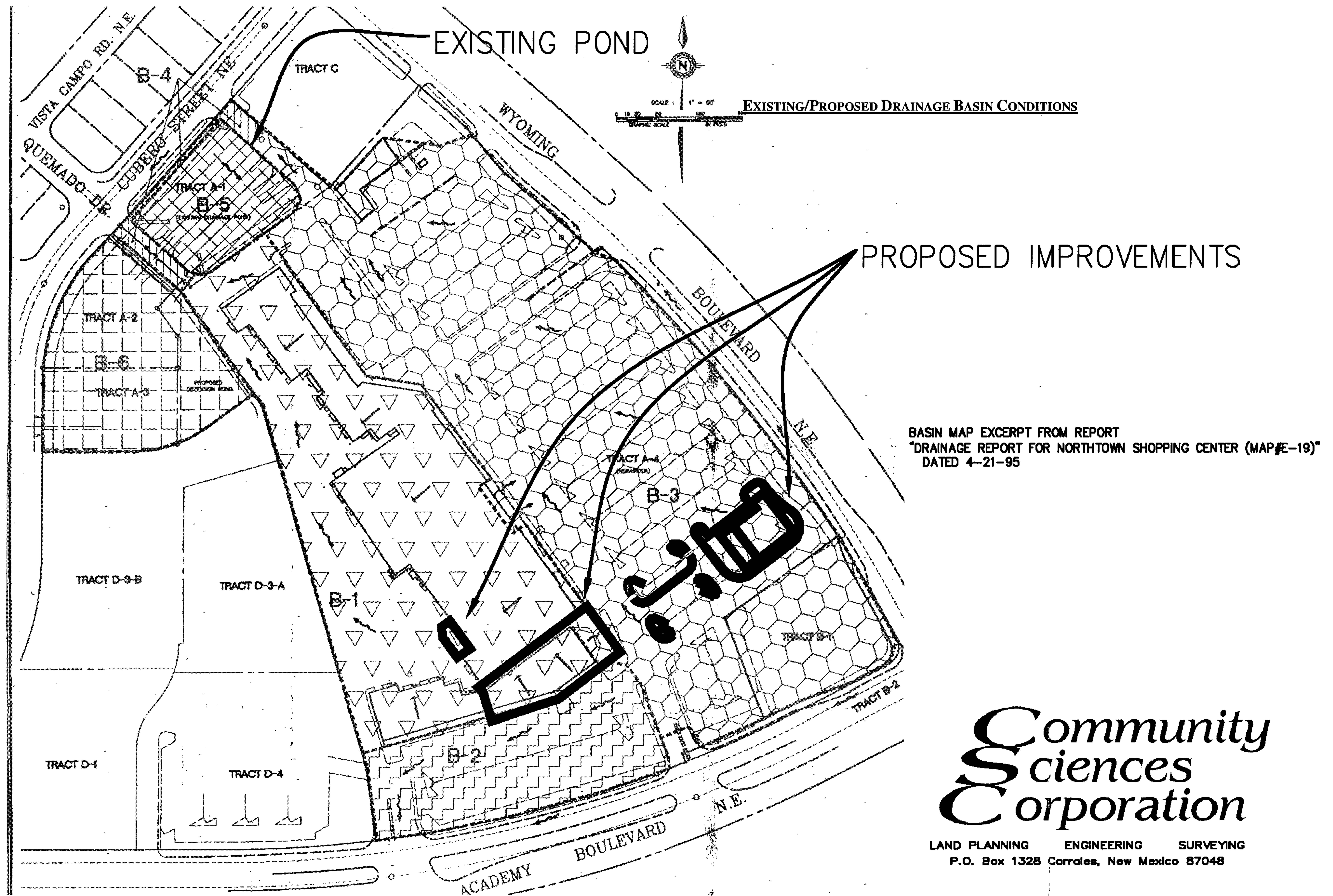


Figure 2 Existing Drainage Basin Map



## CLIMATE

The climate of the area around Albuquerque, New Mexico is mild, arid or semi-arid continental type, which is characterized by fairly hot summers and mild winters with warm spring and fall seasons. The air is normally clear and dry with considerable annual and diurnal fluctuations in temperature. Most of the rainfall occurs in the form of summer thunderstorms and moderate winter snowfall. These storms are of short duration and result from convective and/or orographic lifting of air masses. The more intense of these storms follow a period of inflow of warm air originating in the Gulf of Mexico. Occasional precipitation occurs as a result of an invasion of tropical pacific air. Frontal activity is most prevalent in the area and is accompanied by rain or snow of light intensity.

## GEOTECHNICAL

### **LAND TREATMENTS**

The land treatments outlined for commercial development as represented in Section 22, Part A, Hydrology, of the Development Process Manual, are shown in Table 1.

<b>Treatment Type</b>	<b>A</b>	<b>B</b>	<b>C</b>	<b>D</b>
Existing & Proposed	0.0 %	0.0 %	10.0 %	90.0 %

Table 1 Land Use Percentages

## HYDROLOGY

### RAINFALL

Rainfall data, shown in Table 2, was derived in conformance with the "Peak Rate of Discharge for Small Watersheds" using an AHYMO analysis. The precipitation depths are on the 100-year frequency, 1, 6 and 24 hour duration storms, as represented in Section 22, Part A, Hydrology, of the Development Process Manual.

<b>Zone</b>	<b>P60</b>	<b>P360</b>	<b>P1440</b>
2	2.14	2.60	3.10

Table 2 Land Use Percentages

### RUNOFF

Runoff data was derived in conformance with the "Peak Rate of Discharge for Small Watersheds" using an AHYMO analysis. The hydrological analysis is based on the 100-year frequency, 6-hour duration storm for conveyance, as represented in Section 22, Part A, Hydrology, of the Development Process Manual. Design analysis utilized the 24-hour precipitation data for calculating pond volume requirements. Table 3 shows the computed major event storm discharge for each sub-basin. The details of the calculations are shown in the Appendix.

## CONCLUSIONS & RECOMMENDATIONS

The previous reports referenced by this document have analyzed the drainage requirements due to runoff from this site. As stated in the 1994 report the existing pond was not built in accordance with the requirements of the 1977 study. However, the verification AHYMO analysis in this report includes a theoretical pond to model the performance of the existing pond and structures. As indicated in the analysis the existing pond should be operating within the established parameters for storage and discharge. As stated in the previous reports the discharge from this site to Cubero St. is limited to 9.6 cfs. The two each 10" pipes which discharge the pond act as the outlet control for the pond.

A site inspection of the pond noted that there have been no adverse conditions or events to date which indicate that the pond has overtopped and that the pond has operated without incident. However, sediment has accumulated in the pond since its construction and a note is to be placed on the current grading plan to clean the detention pond out level with the inverts of the existing drainage rundowns per the original pond design and capacity.

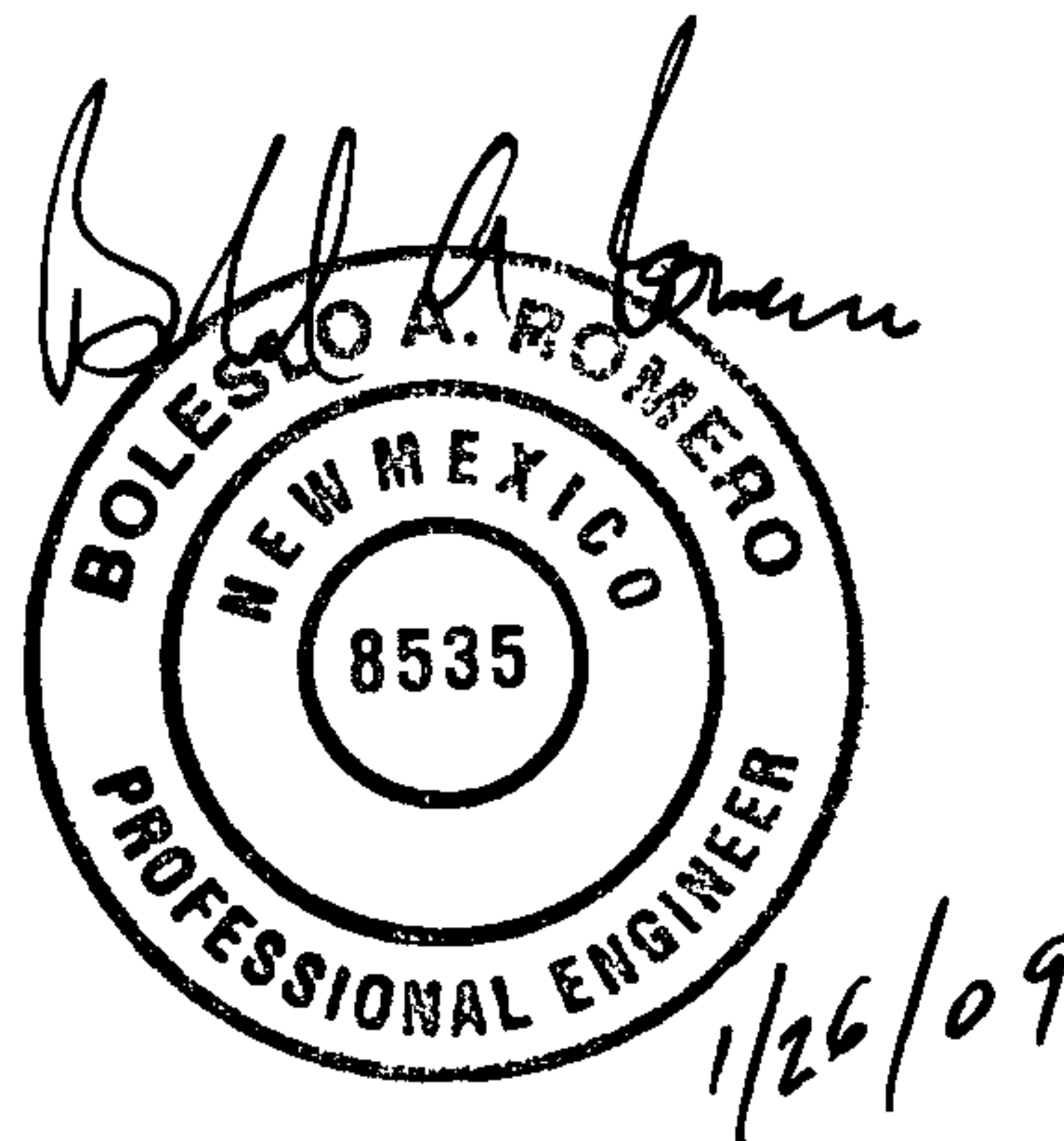
Should the existing pond be used for an additional retail pad in the future, the proposed pond designed in the 1994 study would be required to be constructed in order to continue to limit the discharge to Cubero St.

As shown in the analysis, the development of the site with the addition of the new retail site and expansion will have no adverse impact to the areas adjacent to the site.

Sincerely,



Boleslo A. Romero, PE  
Principal Engineer





## APPENDIX

### HYDROLOGY CALCULATIONS

#### AHYMO INPUT – Existing and Proposed Conditions

```
*S*****
*S  NORTHTOWN PLAZA
*S  100 YEAR 24 HOUR EXISTING & PROPOSED CONDITIONS
*S  VERIFICATION OF POND REQUIREMENTS
*S  FOR VOLUME AND DISCHARGE
*S
*S*****
*S
*S
*
START          TIME=0.0 HR PUNCH CODE=0 PRINT LINES=-1
*
RAINFALL       TYPE=2 RAIN QUARTER=0.0
                RAIN ONE=2.14 IN RAIN SIX=2.60 IN
                RAIN DAY=3.10 IN DT=0.0333 HRS
*
*
*S*****
*S  BASIN B-1
*S  WEST PORTION OF SITE
*S
*S*****
COMPUTE NM HYD   ID=1 HYD NO=B1 DA=0.00659 SQ MI
                PER A=0.0 PER B=0.0 PER C=0 PER D=100.0
                TP=0 HR MASS RAIN=-1
                *****
*
*
*
*S*****
*S  BASIN B-2
*S  EAST PORTION OF SITE
*S
*S*****
COMPUTE NM HYD   ID=2 HYD NO=B3 DA=0.01696 SQ MI
                PER A=0.0 PER B=0.0 PER C=0 PER D=100.0
                TP=0 HR MASS RAIN=-1
                *****
*
*
ADD HYD          ID=3 HYD NO=B1B3 ID I=1 ID II=2
*
*S*****
*S  BASIN B-5
*S  UNDEVELOPED PORTION OF SITE
*S
*S*****
COMPUTE NM HYD   ID=1 HYD NO=B5 DA=0.00103 SQ MI
                PER A=0.0 PER B=0.0 PER C=100.0 PER D=0.0
                TP=0 HR MASS RAIN=-1
                *****
*
*
ADD HYD          ID=2 HYD NO=ADDB5 ID I=1 ID II=3
*
*S*****
*S  BASIN B-6
*S  UNDEVELOPED PORTION OF SITE
*S
*S*****
COMPUTE NM HYD   ID=1 HYD NO=B6 DA=0.00221 SQ MI
                PER A=0.0 PER B=0.0 PER C=98.0 PER D=2.0
                TP=0 HR MASS RAIN=-1
                *****
*
*
ADD HYD          ID=3 HYD NO=PONDIN ID I=1 ID II=2
```

```

*
*S*****
*S  POND ROUTING 12 INCH DISCHARGE
*S*****
ROUTE RESERVOIR      ID=1  HYD NO=POND1  INFLOW=3  CODE=5
                     OUTFLOW(CFS)  STORAGE(AC-FT)  ELEV(FT)
                           0.00      0.000      5405
                           2.40      0.255      5406
                           5.20      0.681      5407
                           6.80      1.124      5408
                           8.10      1.642      5409
                           9.20      2.238      5410
*
FINISH

```

# AHYMO Existing Conditions – AHYMO 24 Hour 100 Year Storm Summary Output

AHYMO PROGRAM SUMMARY TABLE (AHYMO\_97) -

- VERSION: 1997.02c

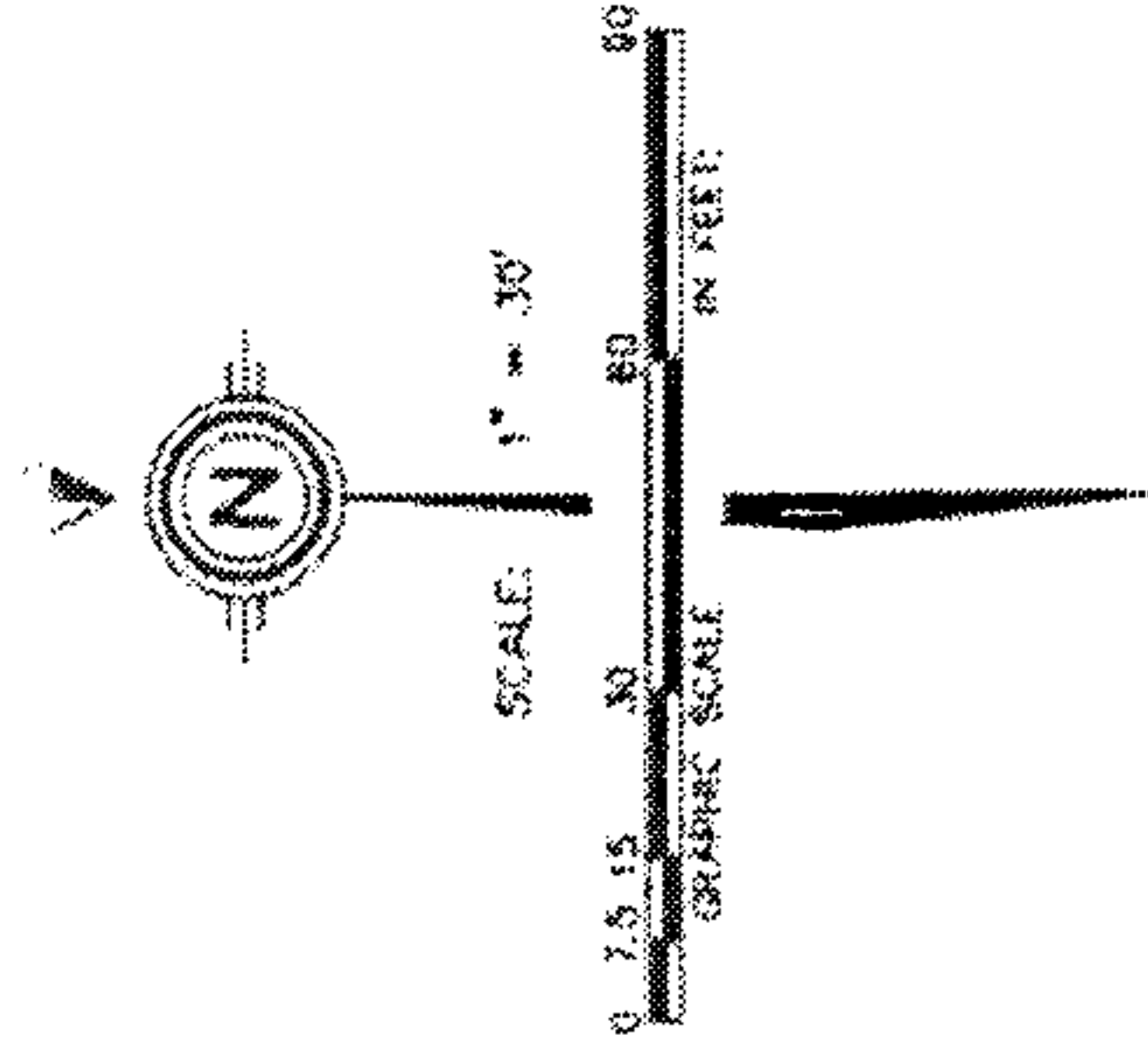
RUN DATE (MON/DAY/YR) =12/18/2008

INPUT FILE = F:\N776BE-1\03NORT-2\030GRA-1\DRAIN-1\N776-0-1.DAT

USER NO.= AHYMO-I-9702c01000Q29-AH

COMMAND	HYDROGRAPH IDENTIFICATION	FROM ID NO.	TO ID NO.	AREA (SQ MI)	PEAK DISCHARGE (CFS)	RUNOFF VOLUME (AC-FT)	RUNOFF (INCHES)	TIME TO PEAK (HOURS)	CFS PER ACRE	PAGE = 1	NOTATION
*S*****											
*S NORTHTOWN PLAZA											
*S 100 YEAR 24 HOUR EXISTING & PROPOSED CONDITIONS											
*S VERIFICATION OF POND REQUIREMENTS											
*S FOR VOLUME AND DISCHARGE											
*S*****											
*S											
*S											
START											
RAINFALL TYPE= 2											
*S*****											
*S BASIN B-1											
*S WEST PORTION OF SITE											
*S*****											
COMPUTE NM HYD	B1	-	1	.00659	21.17	.973	2.76806	1.499	5.020	PER IMP= 100.00	
*S*****											
*S BASIN B-2											
*S EAST PORTION OF SITE											
*S*****											
COMPUTE NM HYD	B3	-	2	.01696	54.48	2.504	2.76805	1.499	5.019	PER IMP= 100.00	
ADD HYD	B1B3	1& 2	3	.02355	75.65	3.477	2.76805	1.499	5.019		
*S*****											
*S BASIN B-5											
*S UNDEVELOPED PORTION OF SITE											
*S*****											
COMPUTE NM HYD	B5	-	1	.00103	2.28	.071	1.28987	1.499	3.463	PER IMP= .00	
ADD HYD	ADDB5	1& 3	2	.02458	77.93	3.548	2.70610	1.499	4.954		
*S*****											
*S BASIN B-6											
*S UNDEVELOPED PORTION OF SITE											
*S*****											
COMPUTE NM HYD	B6	-	1	.00221	4.94	.156	1.31945	1.499	3.493	PER IMP= 2.00	
ADD HYD	PONDIN	1& 2	3	.02679	82.87	3.702	2.59123	1.499	4.833		
*S*****											
*S POND ROUTING 12 INCH DISCHARGE											
*S*****											
ROUTE RESERVOIR	POND1	3	1	.02679	9.30	3.665	2.56520	2.164	.542	AC-FT= 2.293	
FINISH											





OIL  
SEPARATOR

GRADING PLAN EXCERPT FROM REPORT  
"DRAINAGE REPORT FOR NORTHTOWN SHOPPING CENTER (MAP #E-19)"  
DATED 4-21-95

EXISTING POND

POND REQUIRED FOR  
CONSTRUCTION ON TRACT A-1

*Community  
Engineers*