

CITY OF ALBUQUERQUE

Hydrology Section Planning Department
David S. Campbell, Director



Timothy M. Keller, Mayor

August 13, 2019

Jeffery Wooten, P.E.
Wooten Engineering
1005 21st St SE, Suite A5
Rio Rancho, NM 87124

RE: Holy Cross Townhomes 6901 Wyoming Blvd NE
Engineer's Certification for Release of Financial Guarantees- Approved
Engineer's Stamp Date: 8/21/2015
Certification Date 8/12/2019 (E19D021A)

Dear Mr. Wooten:

Based upon the information provided in the submittal received on 8/13/2019 the above-referenced plan is approved for Release of Financial Guarantee.

PO Box 1293

If you have any questions, you can contact me at 924-3986 or e-mail at jhughes@cabq.gov.

Albuquerque

Sincerely,

James D. Hughes P.E.
Principal Engineer, Planning Dept.
Development Review Services

NM 87103

www.cabq.gov

C: Email Serna, Yvette M.; Fox, Debi; Tena, Victoria C.; Sandoval, Darlene M.;
Zamora, Renee



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11-2018)

Project Title: Holy Cross Townhomes **Building Permit #:** _____ **Hydrology File #:** E19-D021A

DRB#: _____ **EPC#:** _____ **Work Order#:** 785371

Legal Description: Fruita Del Sol Townhomes Addition

City Address: _____

Applicant: Wooten Engineering **Contact:** Jeffrey T. Wooten, P.E.

Address: 1005 21st Street SE, Suite 13, Rio Rancho, NM 87124

Phone#: 505-980-3560 **Fax#:** N/A **E-mail:** jeffwooten.pe@gmail.com

Owner: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF SUBMITTAL: _____ PLAT (____ # OF LOTS) _____ RESIDENCE ☒ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL?: _____ Yes ☒ No

DEPARTMENT: _____ TRAFFIC/ TRANSPORTATION ☒ HYDROLOGY/ DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☒ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE MASTER PLAN
- ☐ DRAINAGE REPORT
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ OTHER (SPECIFY) _____
- ☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

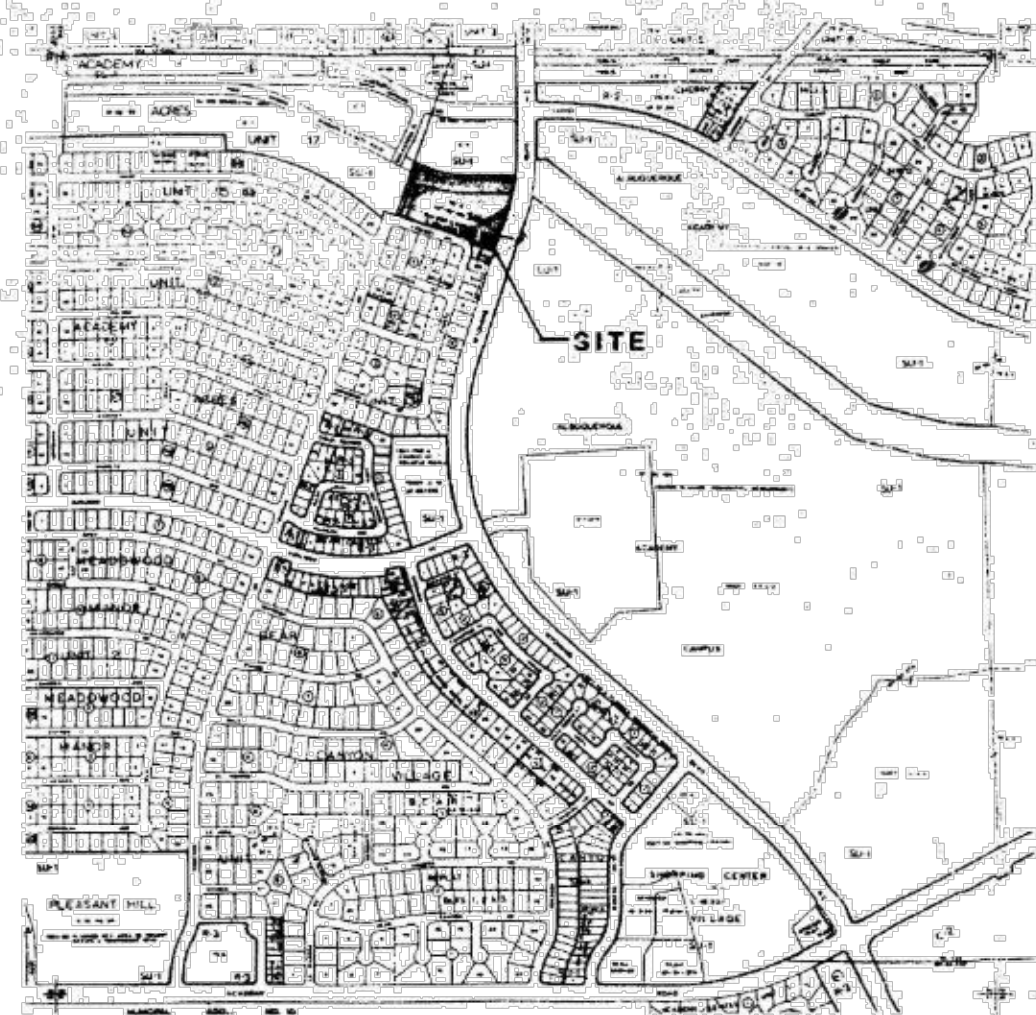
- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☒ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) _____

DATE SUBMITTED: August 12, 2019 **By:** Jeffrey T. Wooten, P.E.

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



VICINITY MAP

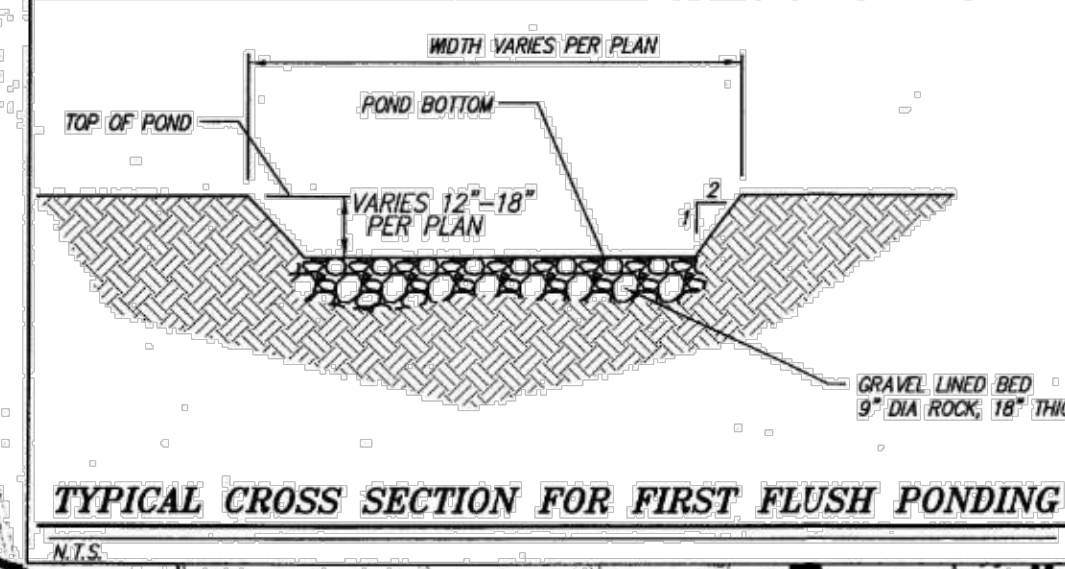
STREET CAPACITY

THE EXISTING RUNOFF (Q100) IN VICKREY DR. WAS OBTAINED FROM THE ACADEMY ACRES, UNIT 13 (TRACT A-2) DRAINAGE REPORT (JULY 31, 1976).

AREA A-1 (SEE EXHIBIT A) = 16.2 CFS
16.2 CFS/24 LOTS = .675 CFS PER LOT
9 LOTS X .675 CFS = 6.07 CFS FOR VICKREY RD.
TOTAL Q100 = 6.07 CFS + 2.9 CFS = 8.97 CFS

AT POINT 100
TOTAL Q = 8.97 CFS
VELOCITY = 3.26 FT/S
DEPTH = .39 FT
EGL = .49 FT

PROPOSED GRADING & DRAINAGE PLAN 8/21/2015



TYPICAL CROSS SECTION FOR FIRST FLUSH PONDING

NOTICE TO CONTRACTOR	
1.	An excavation/construction permit will be required before beginning any work within City right of way.
2.	All work detailed on these plans to be performed, except as otherwise stated or provided for herein, shall be constructed in accordance with City of Albuquerque Standard Specifications for Public Works Construction, (1986 Edition as revised through update #7 amendment 1).
3.	Two working days prior to any excavation, Contractor must contact New Mexico One Call system, (260-1990) for location of existing utilities.
4.	Prior to construction, the Contractor shall excavate and verify the horizontal and vertical locations of all constructions. Should a conflict exist, the Contractor shall notify the Engineer so that the conflict can be resolved with a minimum amount of delay.
5.	Backfill compaction shall be according to Traffic / street use.
6.	Maintenance of these facilities shall be the responsibility of the Owner of the property served.
7.	Work on Arterial Street shall be performed on a 24-hour Basis.

Approval	Name	Date
Inspector		

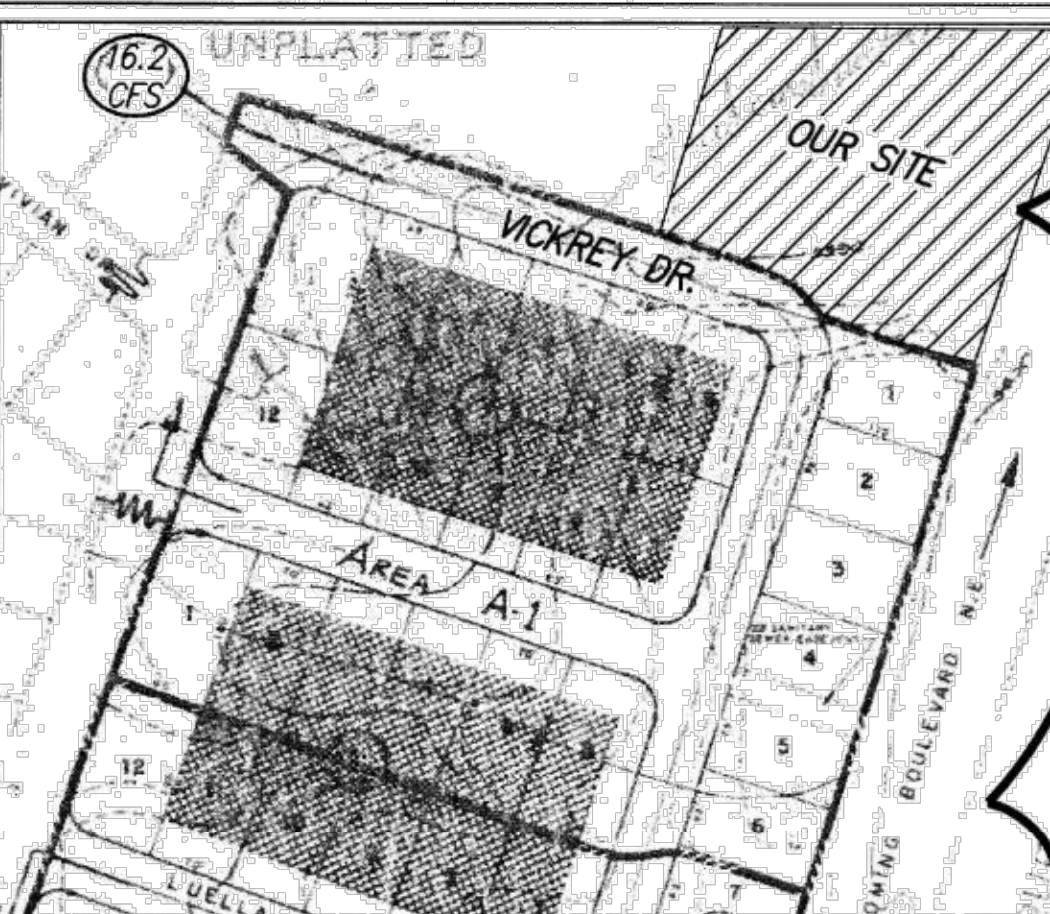


EXHIBIT A

DRAINAGE CERTIFICATION

I, JEFFREY T. WOOTEN, NMPE 16892, OF THE FIRM WOOTEN ENGINEERING, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN BY MARK GOODWIN & ASSOCIATES, DATED 8/21/2015. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT WAS OBTAINED BY OUR FIELD INVESTIGATION ON 8/12/2019 AND A SURVEY HAS NOT BEEN OBTAINED. I FURTHER CERTIFY THAT I PERSONALLY VISITED THE PROJECT SITE ON 8/12/2019 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE PONDING AREAS HAVE BEEN CONSTRUCTED IN GENERAL COMPLIANCE WITH THIS PLAN. ACTUAL SITE CONDITIONS ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANCY (PERMANENT C.O.).

THE CONTRACTOR RECENTLY INSTALLED A NEW CURB AROUND THE NORTH POND AT OUR DIRECTION IN ORDER TO BETTER CONTAIN DRAINAGE FLOWS WITHIN THE POND AND TO PROTECT THE NEIGHBORS TO THE WEST.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

JEFFREY T. WOOTEN, NMPE 16892



AREA IS DELETED FROM SITE PLAN
FOR BUILDING PERMIT
BOUNDARY REPLATTED
AREA TO BE ZONED R-T
(NO LONGER A PART)



FIRST FLUSH

THE "FIRST FLUSH" IS PROVIDED FOR THE AREA CHANGED FROM THE APPROVED GRADING AND DRAINAGE PLAN.
THE "FIRST FLUSH" IS BEING ACCOMPLISHED THROUGH PONDAGE.

(P1) REQUIRED VOLUME = $0.34" \times \text{IMPERVIOUS AREA}$
= $0.34" / 12 \times (35,095 \text{ SF})$
= 994 CF

TOP OF POND = 5392.0
POND BOTTOM = 5390.5
DEPTH = 1.5" (SEE DETAIL)
AREA OF POND = 859 SF
VOLUME PROVIDED = 1007.44 CF

(P2) REQUIRED VOLUME = $0.34" \times \text{IMPERVIOUS AREA}$
= $0.34" / 12 \times (11,339 \text{ SF})$
= 321 CF

TOP OF POND = 5395.00
POND BOTTOM = 5394.00
AREA OF POND = 426 SF
DEPTH = 12" (SEE DETAIL)
VOLUME PROVIDED = 343 CF

PT 100 Q = 8.97 CFS

VICKREY DRIVE NE

Q = 8.97 CFS

Q = 2.9 CFS

Q = 6.07 CFS

SITE DEVELOPMENT PLAN

(AMENDED, ORIGINAL CASE # Z-78-87)

2-78-87

I CERTIFY THAT THIS SITE PLAN IS CONSISTENT WITH THE SPECIFIC SITE PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION ON APRIL 14, 1987, AND IS APPROVED FOR PHASES I & II.

Adrian 12-16-91
D. Wooten 9-1-87
J. Wooten 12-12-91
D. Wooten 9-1-87
J. Wooten 9-1-87

HOLY CROSS TOWNHOMES GRADING & DRAINAGE PLAN

MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Designed: HLC	Drawn: HLC	Checked: DMG	Sheet 3 of 3
Scale: 1" = 30'	Date: 7/28/2015	Job:	