

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

December 13, 2024

Scott McGee, PE
SMM PE LLC
PO BOX 1273
Elephant Butte, NM 87935

RE: Human Bean Coffee Shop
7301 San Antonio Drive NE
Permenant Certificate of Occupancy - Accepted
Engineer's Certification Date: 12/9/24
Engineer's Stamp Date: 08/07/23
Hydrology File: E19D025B2

Dear Mr. McGee:

PO Box 1293
Albuquerque
NM 87103

Based on the Engineer's Partial Grading and Drainage Certification received 12/10/2024 and site visit on 12/12/2024, this letter serves as a "Green Tag" from Hydrology Section for a Permanent Certificate of Occupancy for the Human Bean Coffee Shop located at 7301 San Antonio Drive NE to be issued by the Building and Safety Division.

If you have any questions, please contact me at 505-924-3314 or amontoya@cabq.gov.

Sincerely,

www.cabq.gov
Anthony Montoya, Jr., P.E.
Senior Engineer, Hydrology
Planning Department, Development Review Services



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 10/2018)

Project Title: _____ **Building Permit #:** _____ **Hydrology File #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Applicant: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes _____ No

DEPARTMENT: _____ TRAFFIC/TRANSPORTATION _____ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- _____ ENGINEER/ARCHITECT CERTIFICATION
- _____ PAD CERTIFICATION
- _____ CONCEPTUAL G & D PLAN
- _____ GRADING PLAN
- _____ DRAINAGE MASTER PLAN
- _____ DRAINAGE REPORT
- _____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- _____ ELEVATION CERTIFICATE
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ TRAFFIC IMPACT STUDY (TIS)
- _____ OTHER (SPECIFY) _____
- _____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

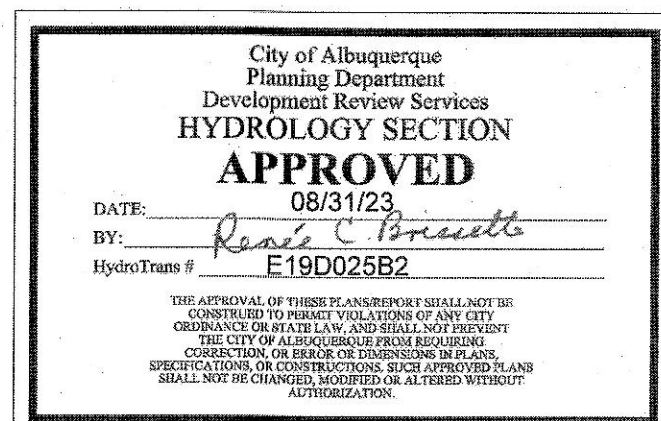
- _____ BUILDING PERMIT APPROVAL
- _____ CERTIFICATE OF OCCUPANCY
- _____ PRELIMINARY PLAT APPROVAL
- _____ SITE PLAN FOR SUB'D APPROVAL
- _____ SITE PLAN FOR BLDG. PERMIT APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ SIA/ RELEASE OF FINANCIAL GUARANTEE
- _____ FOUNDATION PERMIT APPROVAL
- _____ GRADING PERMIT APPROVAL
- _____ SO-19 APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ GRADING/ PAD CERTIFICATION
- _____ WORK ORDER APPROVAL
- _____ CLOMR/LOMR
- _____ FLOODPLAIN DEVELOPMENT PERMIT
- _____ OTHER (SPECIFY) _____

DATE SUBMITTED: _____ **By:** _____

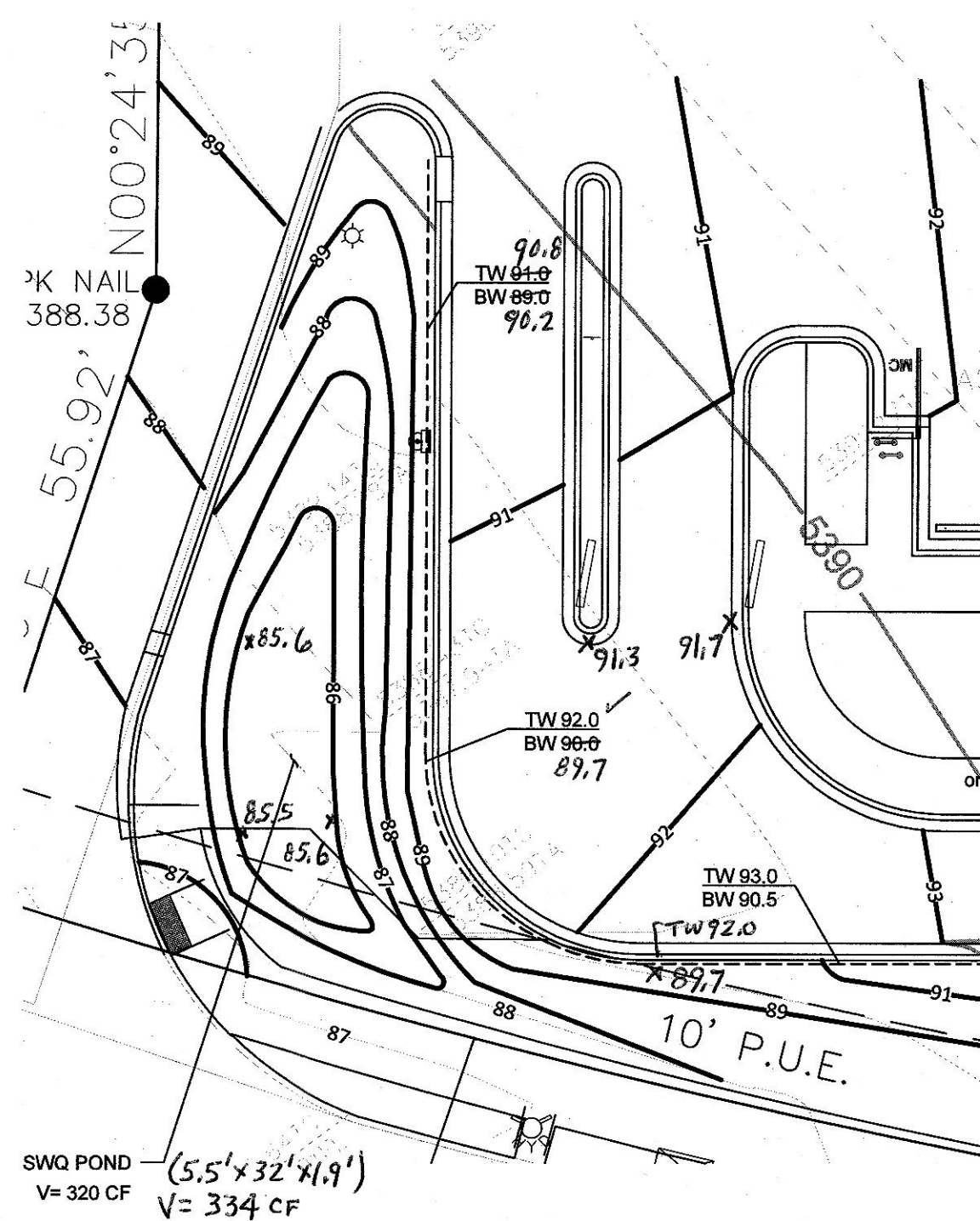
COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

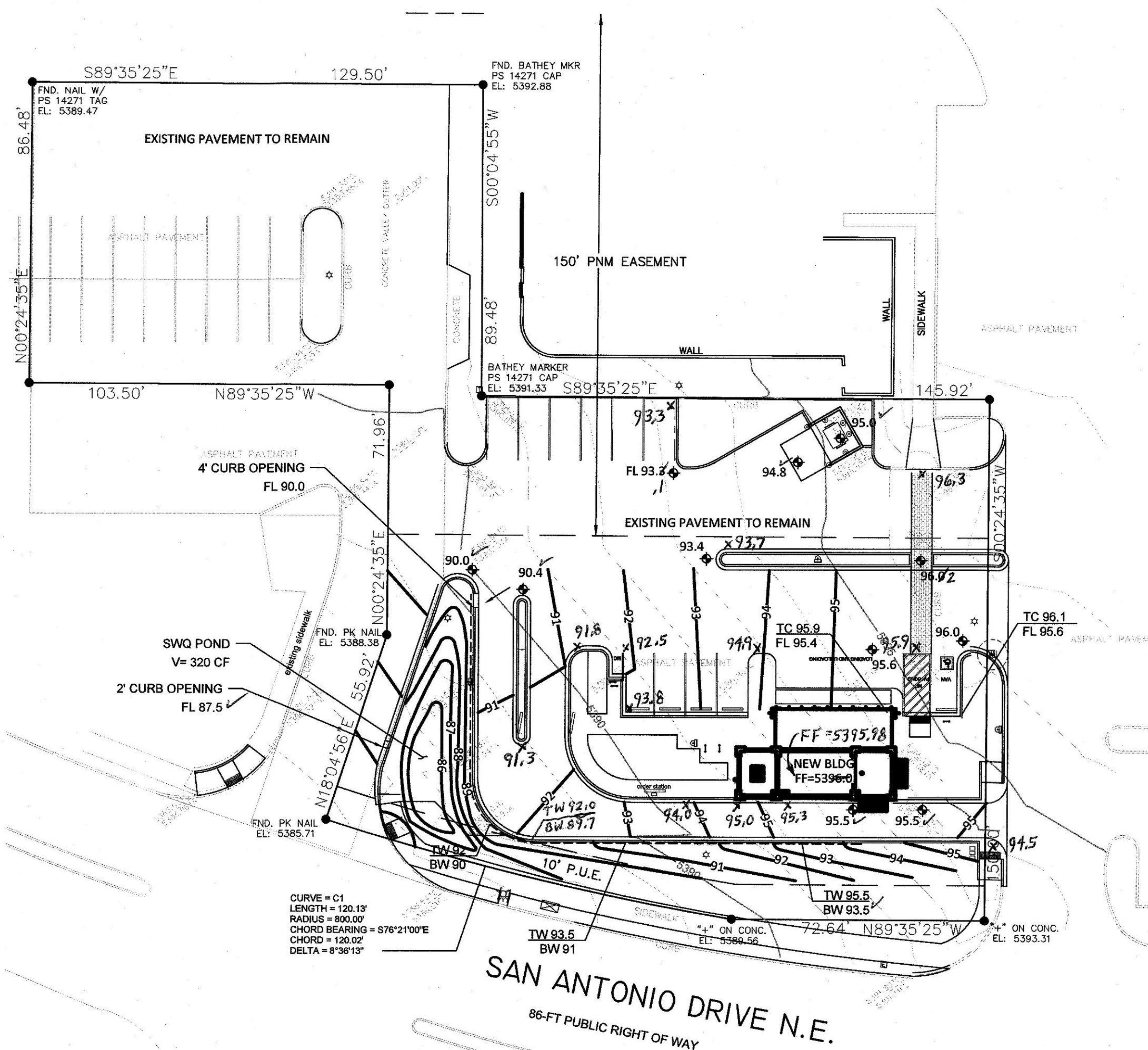


APPROVAL OF GRADING & DRAINAGE PLANS SHALL EXPIRE
TWO (2) YEARS AFTER THE APPROVAL DATE BY THE CITY IF NO
BUILDING PERMIT HAS BEEN PULLED ON THE DEVELOPMENT.



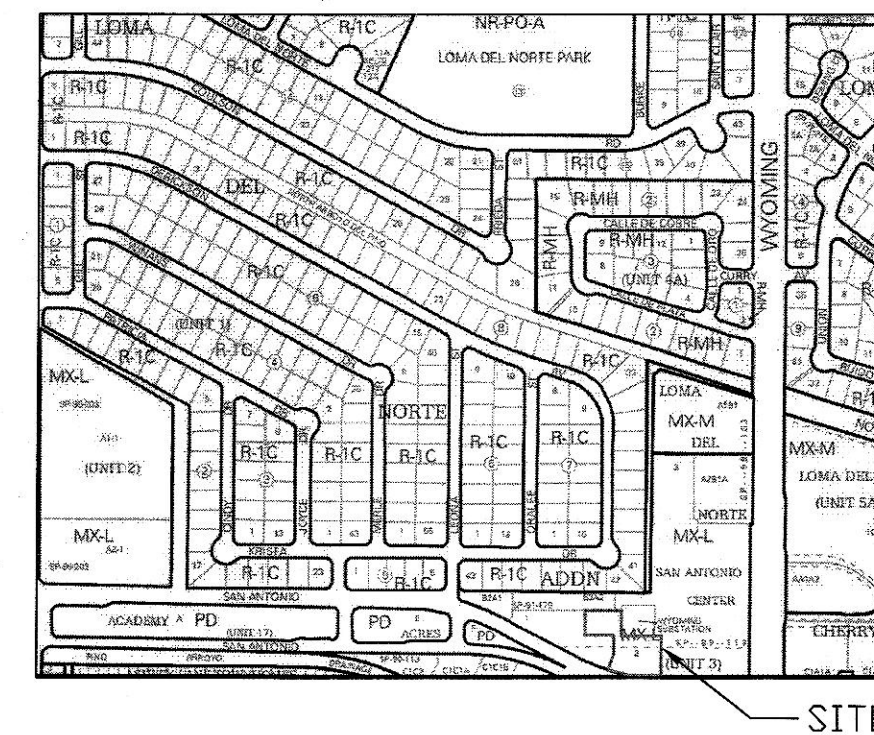
ENLARGED RETENTION POND AREA

1" = 10'



GRADING AND DRAINAGE PLAN

1" = 20'



VICINITY MAP

D-19-Z

LEGEND

- EXISTING CONSTRUCTION
- NEW CONTOUR
- PROPOSED BUILDING FINISHED FLOOR
- NEW SPOT ELEVATION
- NEW CONSTRUCTION
- RD ROOF DRAIN
- TC TOP OF CURB
- FL FLOWLINE
- NEW RETAINING WALL
- TOP OF WALL ELEVATION
- BOTTOM OF WALL ELEVATION
- AS-BUILT ELEVATION

DRAINAGE NARRATIVE

ADDRESS: 7301 San Antonio Drive NE
LEGAL DESCRIPTION: LOT 2, SAN ANTONIO CENTER
SITE AREA: 0.84 AC PROJECT AREA: 18,420 SF (0.42 AC)
BENCHMARK: City of Albuquerque Station '25-E18' being a brass cap.
ELEV= 5339.186 (NAVD 1988)
SURVEYOR: Alpha Pro Surveying LLC dated February 2023
FLOOD HAZARD: From FEMA Map 35001C0141G (9/26/2008), this site is identified as being within Zone 'X' which is determined to be outside the 0.2% annual chance floodplain.
OFFSITE FLOW: The site does accept minor offsite flow from existing adjacent paved parking areas to the north and east. The proposed development will continue to accept this minor runoff.
EXISTING CONDITIONS: The site is currently developed with existing paved access and parking, and landscaped areas. The site slopes down to the southwest at 6 - 7 % and discharges to San Antonio Drive NE.
PROPOSED IMPROVEMENTS: The proposed improvements include a 640 SF building, drive through lane, concrete sidewalks, and landscaping. This building will be located where existing asphalt paving was previously.
DRAINAGE APPROACH: The site drainage pattern will direct developed flow from the new impervious surfaces to the onsite SWQ retention pond.
Existing land treatment: 8% C and 92% D PRECIPITATION ZONE: 3
Q_p = [(0.13)(3.17)+(0.87)(4.49)](0.42) = 1.8 CFS
Proposed land treatment: 21% C and 79% D
Q_p = [(0.21)(3.17)+(0.79)(4.49)](0.42) = 1.8 CFS
Redevelopment SWQ V = (14,100)(0.26/12) = 305 CF
This flow will discharge to an onsite retention ponding area located at the SW corner of the site. The SWQ volume of 320 CF shall be retained in the onsite bottom and the site discharge will remain unchanged.

DRAINAGE CERTIFICATION FOR TEMPORARY CERTIFICATE OF OCCUPANCY

I, SCOTT M MCGEE, NMPE 10519, OF THE FIRM SCOTT M MCGEE PE, LLC, HEREBY REQUEST A TEMPORARY CERTIFICATE OF OCCUPANCY BE ISSUED FOR THIS. A SUBSEQUENT CERTIFICATION WILL BE MADE FOR A PERMANENT CERTIFICATE OF OCCUPANCY.

ANY RECORD INFORMATION SHOWN HEREON IS NOT NECESSARILY COMPLETE AND IS ONLY INTENDED TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING/ DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT ACCURACY VERIFICATION BEFORE USING IT FOR ANY PURPOSE.

Scott M McGee 7/30/24
SCOTT M MCGEE, NMPE 10519



DRAINAGE CERTIFICATION

I, SCOTT M MCGEE, NMPE 10519, OF THE FIRM SCOTT M MCGEE PE, LLC, HEREBY CERTIFY THAT THIS SITE HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 8/7/2023. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL PLAN WAS PROVIDED BY BRIAN J. MARTINEZ, NMPLS # 18374, OF CARTESIAN SURVEYING. I ALSO CERTIFY THAT I PERSONALLY VISITED THE PROJECT SITE ON 9/17/24 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA SHOWN HEREON IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR A PERMANENT CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION SHOWN HEREON IS NOT NECESSARILY COMPLETE AND IS ONLY INTENDED TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT ACCURACY VERIFICATION BEFORE USING IT FOR ANY PURPOSE.

Scott M McGee 12/9/24
SCOTT M MCGEE, NMPE 10519



OWNER: KEITH GRIEGO

HUMAN BEAN - SAN ANTONIO & WYOMING

GRADING AND DRAINAGE

Project Number	Project Number
Date	06-29-2023
Drawn By	Author
Checked By	Checker
Scale	1" = 20'-0"

GD0