

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

August 12, 2024

Anthony Ernesto Merlino, P.E.
Barghausen
18215 72nd Ave. South
Kent, WA 98032

**RE: Dutch Brothers – San Antonio
7330 San Antonio Dr NE
Grading & Drainage Plan
Engineer's Stamp Date: 08/07/24
Hydrology File: E19D025C2**

Dear Mr. Merlino:

PO Box 1293

Albuquerque

Based upon the information provided in your submittal received 08/06/2024, the Grading & Drainage Plans are approved for Building Permit, Grading Permit, Work Order, and or action by the Development Facilitation Team (DFT) on Site Plan for Building Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

PRIOR TO CERTIFICATE OF OCCUPANCY:

NM 87103

www.cabq.gov

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.
2. Please pay the Payment-in-Lieu of \$ **5,575.79** by emailing the attached approved Waiver Application from Stormwater Quality Volume Management On-site to PLNDRS@cabg.gov. Once this is received, a receipt will then be produced and email back. Follow the instructions on the bottom of the form and pay it at the Treasury in Plaza de Sol. Once paid, please provide me proof of payment.

If the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

Project Title: _____ **Building Permit #:** _____ **Hydrology File #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Applicant: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Owner: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF SUBMITTAL: _____ PLAT (____# OF LOTS) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL?: _____ Yes _____ No

DEPARTMENT: _____ TRAFFIC/ TRANSPORTATION _____ HYDROLOGY/ DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- _____ ENGINEER/ARCHITECT CERTIFICATION
- _____ PAD CERTIFICATION
- _____ CONCEPTUAL G & D PLAN
- _____ GRADING PLAN
- _____ DRAINAGE MASTER PLAN
- _____ DRAINAGE REPORT
- _____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- _____ ELEVATION CERTIFICATE
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ TRAFFIC IMPACT STUDY (TIS)
- _____ OTHER (SPECIFY) _____
- _____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- _____ BUILDING PERMIT APPROVAL
- _____ CERTIFICATE OF OCCUPANCY
- _____ PRELIMINARY PLAT APPROVAL
- _____ SITE PLAN FOR SUB'D APPROVAL
- _____ SITE PLAN FOR BLDG. PERMIT APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ SIA/ RELEASE OF FINANCIAL GUARANTEE
- _____ FOUNDATION PERMIT APPROVAL
- _____ GRADING PERMIT APPROVAL
- _____ SO-19 APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ GRADING/ PAD CERTIFICATION
- _____ WORK ORDER APPROVAL
- _____ CLOMR/LOMR
- _____ FLOODPLAIN DEVELOPMENT PERMIT
- _____ OTHER (SPECIFY) _____

DATE SUBMITTED: _____ **By:** _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



BARGHAUSEN

August 1, 2024

Renée C. Brissette, P.E. CFM
City of Albuquerque
Planning Department, Hydrology
PO Box 1293
Albuquerque, NM 87103

RE: Responses to Grading and Drainage Comments
Dutch Bros Coffee (NM0504)
7330 San Antonio Drive Northeast, Albuquerque, New Mexico
City File No. E19D025C2 / Our Job No. 23204

Dear Renée:

Barghausen Consulting Engineers, Inc. has revised the plans and technical documents for the above-referenced project in accordance with your comment letter dated July 1, 2024. Enclosed are the following documents for your review and approval:

1. One (1) copy of the revised Conceptual Grading and Drainage Plan prepared by Barghausen Consulting Engineers, Inc., dated July 3, 2024

The following outline provides each of your comments in italics exactly as written, along with a narrative response describing how each comment was addressed:

1. *Since this project is adjacent to, or drains into an Albuquerque Metropolitan Arroyo and Flood Control Authority (AMAFCA) facility, approval by AMAFCA will be need prior to Hydrology approval. Please contact Jared Romero P.E, CFM (jromero@amafca.org or 505-884-2215).*

Response: Per a conversation with you on July 1, 2024, this comment was redacted.

2. *Most of this information was provided on the Cover Sheet. However, per the DPM the following must be on the Grading Plan. Please note the Grading Plan must be a stand-alone construction document.*
 - a. *Please provide a Vicinity Map. Typically, this is the Zone Atlas. This can be downloaded in pdf format from the City of Albuquerque's website.*

Response: The vicinity map has been added to the Conceptual Grading and Drainage Plan, per your instruction.

- b. *Please provide the Benchmark information (location, description and elevation) for the survey contour information provided.*

Response: Benchmark has been added to the bottom left of the Conceptual Grading and Drainage Plan, per your instruction.

- c. *Please provide the FIRM Map and flood plain note with effective date. This can be just a note if space is limited.*

Response: Flood Zone Note has been added to the bottom left of the Conceptual Grading and Drainage Plan in lieu of a separate sheet, per your instruction.

- d. *Please provide a legal Description of the property.*

BARGHAUSEN CONSULTING ENGINEERS, INC.

18215 72ND AVENUE SOUTH KENT, WA 98032 P) 425.251.6222 F) 425.251.8782
BRANCH OFFICES: CHEHALIS, WA PUYALLUP, WA RICHLAND, WA KLAMATH FALLS, OR LONG BEACH, CA ROSEVILLE, CA
barghausen.com

Response: Legal Description of the property has been added to the Conceptual Grading and Drainage Plan, per your instruction.

3. *Please remove the site detail sheet. These are private details that Hydrology does not approve. Also, the FIRM Map sheet can be removed by just adding a note as indicated in Comment #2 C.*

Response: Site detail sheet and FIRM map sheet have been removed per your comment.

4. *Please use the procedure for 40 acre and smaller basins as outlined in Development Process Manual (DPM) Article 6-2(a). Please provide both the existing conditions and proposed conditions for the 100 year-6 hour storm event.*

Response: Please see the calculations included on the Conceptual Grading and Drainage Plan, utilizing the DPM.

5. *Please follow the DPM Article 6-12 Stormwater Quality and Low-Impact Development for the sizing calculations. To calculate the required SWQV, multiply the impervious area by 0.26 inches for redevelopment sites.*

Response: Please see the calculations included on the Conceptual Grading and Drainage Plan. Fee has also been calculated at \$8/CF per your direction and the DPM methodology.

6. *For trash enclosures serving food service developments, trash enclosures must demonstrate control of liquids from dumpster areas per DPM by containing runoff from the dumpster area, preventing outside drainage from entering the dumpster area, and discharging to the sanitary sewer. Please show an inlet in the middle and label. "Inlet to be connected to the sanitary sewer. See Utility Plan." This is shown but not labeled.*

Response: See added Keynote 14 on the Conceptual Grading and Drainage Plan.

We believe that the above responses, together with the enclosed revised plans and technical documents, address all of the comments in your letter dated July 1, 2024. Please review and approve the enclosed at your earliest convenience. If you have questions or need additional information, please do not hesitate to contact me at this office. Thank you.

Sincerely,



Anthony E. Merlino, P.E.
Senior Civil Project Manager

AM/sr/jd [23204c.003]
enc: As Noted

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
HYDROLOGY DEVELOPMENT SECTION

**WAIVER APPLICATION FROM STORMWATER
QUALITY VOLUME MANAGEMENT ON-SITE**

GENERAL INFORMATION

APPLICANT: Dutch Bros Coffee, Ron Austerman DATE: 8/12/2024

DEVELOPMENT: Dutch Bros Coffee NM0504

LOCATION: Wyoming Commercial Complex

7330 San Antonio Dr NE, Albuquerque, NM 87109

STORMWATER QUALITY POND VOLUME

Per the DPM Article 6-12 - Stormwater Quality and Low-Impact Development, the calculated sizing for required Stormwater Quality Pond volume is equal to the impervious area draining to the BMP multiplied by 0.42 inches for new development sites and by 0.26 inches for redevelopment sites.

The required volume is 697 cubic feet

The provided volume is 0 cubic feet

The deficient volume is 697 cubic feet

WAIVER JUSTIFICATION

Per the DPM Article 6-12(C), private off-site mitigation and payment-in-lieu may only be considered if management on-site is waived in accordance with the following criteria and procedures.

1. Management on-site shall be waived by the City Engineer if the following conditions are met:

- a. Stormwater quality can be effectively controlled through private off-site mitigation or through an arrangement (approved by the City) to use a cooperator's existing regional stormwater management infrastructure or facilities that are available to control stormwater quality.
 - b. Any of the following conditions apply:
 - i. The lot is too small to accommodate management on site while also accommodating the full plan of development.
 - ii. The soil is not stable as demonstrated by a geotechnical report certified by a professional engineer licensed in the State of New Mexico.
 - iii. The site use is inconsistent with the capture and reuse of stormwater.
 - iv. Other physical conditions exist where compliance with on-site stormwater quality control leaves insufficient area.
 - v. Public or private off-site facilities provide an opportunity to effectively accomplish the mitigation requirements of the Drainage Ordinance (Part 14-5-2 ROA 1994) as demonstrated on as-built construction drawings and an approved drainage report.
 - vi. The developer constructs a project to replenish regional groundwater supplies at an off-site location.
 - vii. A waiver to State water law or acquisition of water rights would be required in order to implement management on site.
2. The basis for requesting payment-in-lieu or private off-site mitigation is to be clearly demonstrated on the drainage plan.

This project's justification: The existing site drains to an existing valley gutter and then to the

Pino Arroyo drainage canal, as detailed on the "Revised Conceptual Drainage Plan"

for Wyoming Commercial Complex (E-19/D25C) Revision Date April 2, 1990" approved April 18, 1990.

The proposed redevelopment of this site will follow this existing grading and drainage methodology

while reducing overall impervious area. The provided grading and drainage plan

demonstrates adherence to the existing grading patterns while also providing

the calculations used to generated the fee-in-lieu amount.

Anthony Merlino, NM PE 29486

Professional Engineer or Architect



8/12/2024

PAYMENT-IN-LIEU

Per the DPM Article 6-12(C)(1), the amount of payment-in-lieu is deficient volume (cubic feet) times \$6 per cubic feet for detached single-family residential projects or \$8 per cubic feet for all other projects.

AMOUNT OF PAYMENT-IN-LIEU = \$ 5,575.79

THIS SECTION IS FOR CITY USE ONLY

☒ Waiver is approved. The amount of payment-in-lieu from above must be paid prior to Certificate of Occupancy.

☐ Waiver is DENIED.

Renée C. Brissette

City of Albuquerque
Hydrology Section

08/12/24

The name DUTCH BROS., and all associated logos, distinctive designs, content, information, and other materials featured, displayed, contained herein, and made available by Dutch Bros., including but not limited to, the "hook and feel" of the establishments and products, all text, images, colors, configurations, graphics, designs, illustrations, photographs, and pictures (collectively, the "Materials") are owned by and/or licensed by DB Franchising USA, LLC and are protected by copyright, trademark, trade dress, patent, and/or other intellectual property rights and unfair competition laws under the United States and foreign laws.



Know what's below.
Call before you dig.
Dial 811

DRAINAGE PLAN CONCEPT NARRATIVE

THIS SITE FOLLOWS THE REVISED CONCEPTUAL DRAINAGE PLAN FOR WYOMING COMMERCIAL COMPLEX (E-19/D25C) WITH A REVISION DATE OF APRIL 2, 1990. THE CONCEPTUAL GRADING PLAN IS INCLUDED WITH THIS SUBMITTAL.

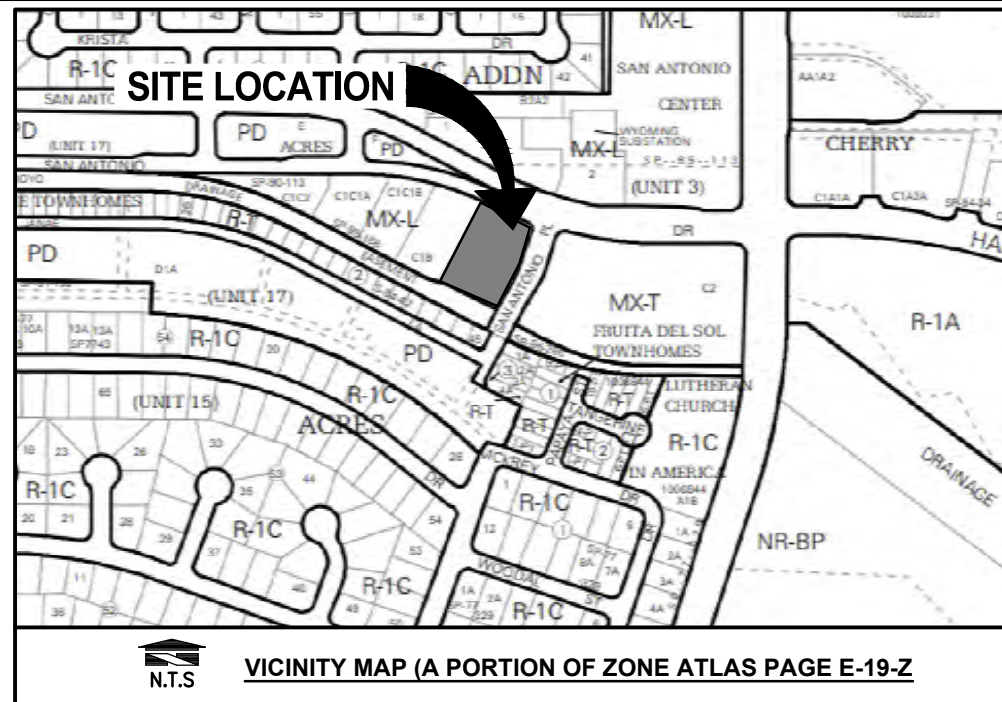
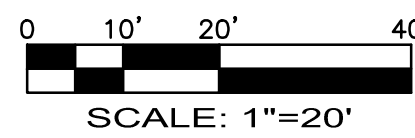
CURRENTLY, THE SITE'S HIGH POINT IS AT THE NORTHEAST CORNER, WHERE SAN ANTONIO PL NE INTERSECTS WITH SAN ANTONIO DRIVE NE. STORMWATER FOLLOWS DESCENDING GRADE TO THE SOUTHWEST CORNER OF THE SITE AND THEN OFFSITE INTO AN EXISTING VALLEY GUTTER LOCATED ON THE ADJACENT PARCEL. THIS VALLEY GUTTER FLOWS TO THE NORTHWEST WITH GRADE TO REACH A CONCRETE RUNDOWN WHICH OUTLETS INTO THE PINO ARROYO CANAL. THIS SITE DOES ALSO RECEIVE SOME RUN-ON FROM SAN ANTONIO DRIVE NE WHICH FOLLOWS THE SAME FLOW PATH.

THE PROPOSED SITE WILL MAINTAIN THIS PATTERN BY PLACING THE PROPOSED COFFEE STAND ON THE FOOTPRINT OF THE EXISTING STRUCTURE AND INSTALLING PAVEMENT AT SIMILAR ELEVATIONS TO THE EXISTING WHEREVER POSSIBLE.

DUTCH BROS COFFEE - NM0504, ALBUQUERQUE, NM 7330 SAN ANTONIO DRIVE N.E. GRADING AND DRAINAGE PLAN

UTILITY POTHOLES NOTE:

THE CIRCLED LOCATIONS ARE REQUIRED TO BE POTHOLED TO VERIFY VERTICAL AND HORIZONTAL LOCATION OF EXISTING UTILITY AND/OR POTENTIAL CONFLICTS WITH EXISTING UTILITIES. POTHOLES SHALL BE PERFORMED PRIOR TO INSTALLING ANY PROPOSED UTILITIES. CONTRACTOR SHALL NOTIFY BARGHAUSEN CONSULTING ENGINEERS, INC. OF ANY CONFLICTS.



LEGAL DESCRIPTION:

PARCEL 1:
TRACT LETTERED C-ONE-A (C-1-A), PLAT OF ACADEMY ACRES, UNIT 17, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF TRACTS C-1-A THRU C-1-E, ACADEMY ACRES, UNIT 17, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON MAY 18, 1990, IN PLAT BOOK 90C, FOLIO 131.

PARCEL 2:
NON-EXCLUSIVE RIGHTS OF RECIPROCAL BLANKET PRIVATE ACCESS, DRAINAGE, UTILITY, AND PARKING EASEMENT, AS SHOWN ON PLAT FILED MAY 18, 1990, IN PLAT BOOK 90C, FOLIO 131, RECORDS OF BERNALILLO COUNTY, NEW MEXICO, TO THE EXTENT OF AND ONLY FOR THE DURATION PROVIDED FOR THEREIN.

STORMWATER TREATMENT NARRATIVE AND CALCULATIONS

THE SITE OWNER HAS ELECTED TO PAY A FEE IN LIEU OF ON-SITE TREATMENT FOR 100% OF THE SWQV. SEE CALCULATIONS BELOW FOR PAYMENT-IN-LIEU FEE AMOUNT AS WELL AS RUNOFF VOLUME AND PEAK DISCHARGE.

SWQV & Payment-in-lieu Calculations

Impervious Area Draining to Arroyo	32168 ft ²
Multiplication Factor for Redevelopment Site	0.26 in
SWQV	697 ft ³
Cost per Cubic Ft (non-single family residential)	\$8.00
Payment-in-lieu fee	\$5,576.79

CALCULATIONS: Proposed Dutch Bros Coffee

Based on City of Albuquerque DMP, Article 6-2 Hydrology Dated September 4, 2020

Parcel Area	0.965 ac	Developed Conditions (Proposed Restaurant with Drive-Thru)	
Precipitation Zone	3		
Terrain Type	Area (ac)	%	
Landscaping	0.204	21.2	
Buildings/Roofs	0.161	16.7	
Pavement, Curbs, Sidewalks	0.599	62.1	
Total	0.965	100.0	

On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)

Weighted E=			$\frac{E_A A_A + E_B A_B + E_C A_C + E_D A_D}{A_A + A_B + A_C + A_D}$		
Historic Conditions (Service Station)			Developed Conditions (Proposed Restaurant with Drive-Thru)		
Land Treatments	A (ac)	E (in) (Zone 3)	Land Treatments	A (ac)	E (in) (Zone 3)
A	0.000	0.67	A	0.000	0.67
B	0.137	0.86	B	0.159	0.86
C	0.068	1.09	C	0.068	1.09
D	0.761	2.58	D	0.738	2.58

Weighted E	2.232 in	Weighted E (100-yr 6-hr)	2.192 in
Historic Runoff Volume (V ₆₀)	0.180 ac-ft	Developed Runoff Volume (V ₆₀)	0.176 ac-ft
	7820 ft ³		7681 ft ³

On-Site Peak Discharge Rate (100-year Storm)

On-Site Peak Discharge Rate				$Q_p = Q_{pA}A_A + Q_{pB}A_B + Q_{pC}A_C + Q_{pD}A_D$			
Historic Conditions (Service Station)				Developed Conditions (Proposed Restaurant with Drive-Thru)			
Land Treatments	A (ac)	Peak Discharge (CFS/ACRE) (Zone 3)	Weighted	Land Treatments	A (ac)	Peak Discharge (CFS/ACRE) (Zone 3)	Weighted
A	0.000	1.84	0.000	A	0.000	1.84	0.000
B	0.137	2.49	0.340	B	0.159	2.49	0.398
C	0.068	3.17	0.215	C	0.068	3.17	0.215
D	0.761	4.49	3.416	D	0.768	4.49	3.416
Historic Q_p		3.971	cfs	Developed Q_p		3.927	cfs

Historic Q _p	3.971 cfs	Developed Q _p	3.927 cfs
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GRADING AND DRAINAGE CONSTRUCTION NOTES:

- CONSTRUCT DOWNSPOUT OUTLET TO SIDEWALK UNDERDRAIN.
- CONSTRUCT DOWNSPOUT OUTLET TO SIDEWALK UNDERDRAIN TO LANDSCAPED SWALE.
- INSTALL CURB CUT TO FACILITATE SWALE DRAINAGE.
- CONSTRUCT RETAINING WALL AND ADJACENT EXISTING RETAINING WALLS TO MATCH HEIGHT, WIDTH, AND MATERIAL OF ADJACENT EXISTING RETAINING WALLS.
- INSTALL FLOOR DRAIN IN NEW REFUSE ENCLOSURE TO CITY OF ALBUQUERQUE STANDARDS. SEE ARCHITECTURAL DRAWINGS FOR DETAILS.
- EXISTING RETAINING WALL TO REMAIN
- PROPERTY LINE
- EXISTING EASEMENT
- PROPOSED ACCESS EASEMENT TO BENEFIT 7340 SAN ANTONIO DR NE
- PARCEL LINE
- INSTALL GREASE INTERCEPTOR WITH SAMPLING PORT. SEE PLUMBING DRAWINGS FOR ADDITIONAL DETAILS.
- EXISTING CURB/WALL TO REMAIN. POUR NEW PAVEMENT UP TO FACE OF EXISTING CURB/WALL
- EXISTING SEWER LATERAL TO REMAIN AND BE PROTECTED
- INLET TO BE CONNECTED TO THE SANITARY SEWER. SEE UTILITY PLAN.

ACCESSIBLE SITE REQUIREMENTS:

WALKING SURFACES SHALL BE CONTINUOUSLY ACCESSIBLE. ALL WALKWAYS MUST BE A MINIMUM 48" IN WIDTH, HAVE A MAXIMUM 1.5% CROSS SLOPE, AND SHALL HAVE RAMPS COMPLYING WITH ACCESSIBILITY STANDARDS (SECTION 11B-405) WHERE NECESSARY TO CHANGE ELEVATION AT A LONGITUDINAL SLOPE EXCEEDING 5% (1:20). CURB RAMPS WHERE PROVIDED SHALL COMPLY WITH ACCESSIBILITY REQUIREMENTS (SECTION 11B-406) AND BE PROVIDED WITH A CONTINUOUS 36" WIDE DETECTABLE WARNING STRIP MEETING ACCESSIBILITY REQUIREMENTS (SECTION 11B-709) SHALL BE PLACED WHERE A WALK CROSSES OR ADJACENT A VEHICULAR WAY AND IS NOT SEPARATED BY A CURB, RAILING, OR OTHER ELEMENT MEETING ACCESSIBILITY STANDARDS.

PROJECT DATA

PROPERTY ADDRESS:	7330 SAN ANTONIO DRIVE NE ALBUQUERQUE, NM 87109
APN:	101906219148122105
IDO ZONE DISTRICT:	MIXED USE LOW DENSITY (MX-L) DESIGNATED ACTIVITY CENTER IN THE ALBUQUERQUE COMPREHENSIVE PLAN
IDO DISTRICT DEFINITION:	LOW INTENSITY
IDO CATEGORY:	MIXED USE
PROPOSED USE:	EATING AND DRINKING ESTABLISHMENT WITH DRIVE-THROUGH SERVICE
PROJECT AREA:	42,044 SF (0.97 AC)
GROSS FLOOR AREA (GFA)	= 950 SF (100% USED AS DRIVE-THRU RESTAURANT)

GRADING GENERAL NOTES:

- ALL GRADING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF THE CURRENT CITY ORDINANCE AND STANDARD PLANS. THE GRADING IS SUBJECT TO THE OBSERVATION AND APPROVAL OF THE PUBLIC WORKS DEPARTMENT.
- ALL PUBLIC SIDEWALKS BEING CONSTRUCTED WHERE THE EXISTING CURBING IS TO REMAIN SHALL BE CONSTRUCTED AT A CROSS SLOPE OF $\pm 1.5\%$ FROM THE EXISTING BACK OF CURB ELEVATION (CROSS SLOPE MAY REQUIRE TO BE VARIED: 1.25% TO 1.75%). CONTRACTOR SHALL VERIFY CONSTRUCTION COMPLIES WITH ADA STANDARDS PRIOR TO POURING CONCRETE.
- ALL TRENCHING IN THE RIGHT-OF-WAY SHALL BE REPLACED AND GRADED TO MATCH EXISTING CONDITIONS, CROSS SLOPES SHALL BE MAINTAINED.
- ALL EXISTING UTILITY STRUCTURES AND ASSOCIATED LIDS THAT FALL WITHIN THE AREA OF WORK SHALL BE ADJUSTED TO FINISHED GRADE ELEVATIONS, AND BE FREE OF ANY ABRUPT VERTICAL CHANGES. NOTIFY ENGINEER OF ANY DISCREPANCIES.
- ALL PAVEMENT SAWCUTS ARE DESIGNED TO BE REPLACED TO MATCH EXISTING PAVEMENTS AND SHALL BE FLUSH AND FREE OF ANY VERTICAL CHANGES. NOTIFY ENGINEER OF ANY DISCREPANCIES.
- REFER TO LANDSCAPE PLANS FOR LANDSCAPE PLANTER SOIL GRADING AND SOIL HOLD-DOWN (2" MINIMUM).
- ALL SPOT ELEVATIONS SHOWN ARE TO FINISH SURFACE (TOP OF ASPHALT OR TOP OF CONCRETE PAVEMENT, NOT TOP OF CURB/SIDEWALK) UNLESS OTHERWISE NOTED.
- CONTRACTOR TO REMOVE AND CLEAN-UP ANY SPILLED DEBRIS WITHIN THE PUBLIC ROW THROUGHOUT THE GRADING OPERATIONS OF THE PROJECT.
- ALL GRADING CONSTRUCTION DEBRIS MATERIALS SHALL BE REMOVED AND DISPOSED INTO AN APPROVED DUMP SITE PRIOR TO ANY EXCAVATION OF FILL OPERATIONS AND/OR AS SPECIFIED BY THE SOLID WASTE MANAGEMENT PLAN AND/OR DIRECTED BY PUBLIC WORKS. ALL GRADING ACTIVITIES MUST COMPLY WITH ALL STORMWATER REGULATIONS INCLUDING STABILIZATION OF ANY SOIL DISTURBED AREA. ALL EXCESS DIRT SHALL BE LEVELED AND/OR DISPOSED OF CORRECTLY AND MAY NOT BE TAKEN TO A FACILITY THAT IS NOT LISTED IN THE SWPPP OF SOLID WASTE MANAGEMENT PLAN AND/OR APPROVED BY THE CITY.
- ALL CONSTRUCTION ACTIVITIES AND CONSTRUCTION MATERIAL MUST BE STORED ON-SITE AND NOT SPILL OUTSIDE ONTO THE PUBLIC RIGHT-OF-WAY.
- ALL SPOT ELEVATIONS ON THIS PLAN HAVE BEEN TRUNCATED FOR CLARITY BY SUBTRACTING 5300', EG 5382.09 = 82.09.

ABBREVIATIONS

FF	- FINISHED FLOOR
FL	- FLOWLINE
FSH	- FLUSH
GB	- GRADE BREAK
GRD	- GROUND
MA	- MATCH OFFSITE TIE IN ELEVATION
ME	- MATCH EXISTING
TC	- TOP OF CURB/SIDEWALK
TP	- TOP OF PAVING
RM	- RIM/GRADE ELEVATION OF STRUCTURE

LEGEND

BUILDING LINE	////
CURB TO REMAIN	=====
CURB	=====
LANDSCAPING
CONCRETE

GRADING AND DRAINAGE PLAN
7330 SAN ANTONIO DR NE
ALBUQUERQUE, NM 87109

Title:

DUTCH BROS

For:



08/07/2024

Scale:

Horizontal

Vertical

1" = 20'

N/A

Designed

Drawn

Checked

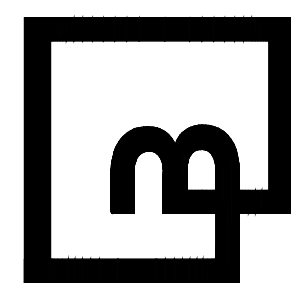
Approved

AEM

Date

8/7/24

Barghausen
Consulting Engineers, Inc.
18215 72nd Avenue South
Kent, WA 98032
425.251.6222
barghausen.com



Job Number

23204

Sheet

C3-0G

2019 D&B
Franchising USA, LLC

1 ENLARGEMENT

C2.0 SCALE: 1"=10'

BENCHMARK:

TEMPORARY BENCHMARK 1 ELEVATION: 5383.86' NORTHING: 1513352.23 EASTING: 1547027.66 FOUND CHISELED "X"	TEMPORARY BENCHMARK 2 ELEVATION: 5371.73' NORTHING: 1513131.10 EASTING: 1546911.39 FOUND 1/2" REBAR WITH CAP STAMPED "L MEDRANO PS 11993"
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FLOOD ZONE:

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS LOCATED IN ZONE "X" OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 35001C0141G, WHICH BEARS AN EFFECTIVE DATE OF 9/26/2008, AND COMMUNITY PANEL NO. 35001C0137H, WHICH BEARS AN EFFECTIVE DATE OF 8/16/2012. THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE AND AN ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR A VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

EROSION CONTROL NOTE

THE FOLLOWING FACILITIES AND EROSION CONTROL MEASURES WILL BE PROVIDED DURING CONSTRUCTION, TO CITY OF ALBUQUERQUE AND NMDOT STANDARDS:

- CONCRETE WASHOUT
- STABILIZED CONSTRUCTION ENTRANCE TO SITE
- INLET PROTECTION FOR ALL DRAINAGE FACILITIES ON OR ADJACENT SITE
- WATTLIES AND SILT FENCING AT SITE PERIMETER, PREVENTING SOIL RUNOFF FROM SITE.

