

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

October 1, 2024

Sabrina Rushing
Barghausen Consulting Engineers, Inc.
18215 72nd Avenue South,
Kent, WA 98032

Re: Dutch Bros Coffee (NM0504)
7330 San Antonio Drive Northeast
Traffic Circulation Layout
Engineer's/Architect's Stamp 09-05-24- (E19D025C2)

Dear Sabrina,

The TCL submittal received 09-10-2024 is approved for Building Permit by transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **The side walk easement will be the condition for final CO.**

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to plndrs@cabq.gov for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

\xxx via: email
C: CO Clerk, File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

Project Title: _____ **Building Permit #:** _____ **Hydrology File #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Applicant: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Owner: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF SUBMITTAL: _____ PLAT (_____ # OF LOTS) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL?: _____ Yes _____ No

DEPARTMENT: _____ TRAFFIC/ TRANSPORTATION _____ HYDROLOGY/ DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- _____ ENGINEER/ARCHITECT CERTIFICATION
- _____ PAD CERTIFICATION
- _____ CONCEPTUAL G & D PLAN
- _____ GRADING PLAN
- _____ DRAINAGE MASTER PLAN
- _____ DRAINAGE REPORT
- _____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- _____ ELEVATION CERTIFICATE
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ TRAFFIC IMPACT STUDY (TIS)
- _____ OTHER (SPECIFY) _____
- _____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- _____ BUILDING PERMIT APPROVAL
- _____ CERTIFICATE OF OCCUPANCY
- _____ PRELIMINARY PLAT APPROVAL
- _____ SITE PLAN FOR SUB'D APPROVAL
- _____ SITE PLAN FOR BLDG. PERMIT APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ SIA/ RELEASE OF FINANCIAL GUARANTEE
- _____ FOUNDATION PERMIT APPROVAL
- _____ GRADING PERMIT APPROVAL
- _____ SO-19 APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ GRADING/ PAD CERTIFICATION
- _____ WORK ORDER APPROVAL
- _____ CLOMR/LOMR
- _____ FLOODPLAIN DEVELOPMENT PERMIT
- _____ OTHER (SPECIFY) _____

DATE SUBMITTED: _____ **By:** _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

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Know what's below.
Call before you dig.
Dial 811

GEOTECHNICAL REPORT NOTES:

- THE FOLLOWING GEOTECHNICAL REPORTS FOR THE SITE SHALL BE CONSIDERED PART OF THESE CONSTRUCTION DOCUMENTS:

GEOTECHNICAL EVALUATION REPORT
WESTERN TECHNOLOGIES, INC.
8305 WASHINGTON PL NE,
ALBUQUERQUE, NM 87113
TEL: (505) 823-4488
CONTACT: AZUPURI KABA, PE
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL PROVISIONS OF THE SOILS REPORT FOR THE SITE BE OBSERVED AND COMPLIED WITH DURING ALL PHASES OF THE SITE PREPARATION, GRADING OPERATIONS, FOUNDATION, SLAB, AND PAVING CONSTRUCTION.
- ANY PROVISIONS OF THE SOILS REPORT WHICH CONFLICT WITH INFORMATION SHOWN ELSEWHERE ON THESE DRAWINGS, OR WHICH REQUIRE FURTHER CLARIFICATION, SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER FOR DETERMINATION.
- A REPRESENTATIVE OF THE SOILS ENGINEER SHALL BE AVAILABLE TO OBSERVE AND APPROVE THE EARTHWORK OPERATIONS AND TO VERIFY FIELD CONDITIONS AS WORK PROCEEDS. THE SOILS ENGINEER SHALL SUBMIT FIELD REPORTS CERTIFYING THAT THE METHODS AND MATERIALS OF THE EARTHWORK OPERATIONS WERE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE SOILS INVESTIGATION AND THAT THE WORK WAS PERFORMED TO HIS/HER SATISFACTION.
- THE SOILS ENGINEER SHOULD BE NOTIFIED AT LEAST FIVE (5) WORKING DAYS PRIOR TO ANY SITE CLEARING OR GRADING.

UTILITY CONFLICT NOTE:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT BY POTHOLING THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE @ 811 AND THEN POTHOLING ALL OF THE EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATIONS OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL NOTIFY BARGHAUSEN CONSULTING ENGINEERS, INC. TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.

UTILITY CONNECTION NOTE:

ALL PRIVATE AND PUBLIC STORM SEWER CONNECTIONS MUST BE INSPECTED BY AN ENGINEERING DEVELOPMENT REVIEW INSPECTOR.

BENCHMARK:

TEMPORARY BENCHMARK 1 ELEVATION: 5,383.86' NORTHING: 1513352.23 EASTING: 1547027.66 FOUND CHISELED "X"	TEMPORARY BENCHMARK 2 ELEVATION: 5,371.73 NORTHING: 1513131.10 EASTING: 1546911.39 FOUND 1/2" REBAR WITH CAP STAMPED "L. MEDRANO PS 11993"
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LEGAL DESCRIPTION:

PARCEL 1:
TRACT LETTERED C-ONE-A (C-1-A), PLAT OF ACADEMY ACRES, UNIT 17, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF TRACTS C-1-A THRU C-1-E, ACADEMY ACRES, UNIT 17, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON MAY 18, 1990, IN PLAT BOOK 90C, FOLIO 131.

PARCEL 2:
NON-EXCLUSIVE RIGHTS OF RECIPROCAL BLANKET PRIVATE ACCESS, DRAINAGE, UTILITY, AND PARKING EASEMENT, AS SHOWN ON PLAT FILED MAY 18, 1990, IN PLAT BOOK 90C, FOLIO 131, RECORDS OF BERNALILLO COUNTY, NEW MEXICO, TO THE EXTENT OF AND ONLY FOR THE DURATION PROVIDED FOR THEREIN.

EXISTING TOPOGRAPHY / SURVEY INFORMATION NOTE:

AN A.L.T.A./N.S.P.S. TOPOGRAPHIC AND BOUNDARY SURVEY DATED NOVEMBER 27, 2023, PERFORMED BY BLEW & ASSOCIATES, P.A. HAS BEEN PROVIDED TO BARGHAUSEN CONSULTING ENGINEERS, INC. BARGHAUSEN CONSULTING ENGINEERS, INC. HAS NOT VERIFIED THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. SITE DESIGN HAS BEEN BASED ON ABOVE REFERENCED SURVEY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE OWNER TO HAVE ALL IMPROVEMENTS FIELD VERIFIED PRIOR TO CONSTRUCTION. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF BARGHAUSEN CONSULTING ENGINEERS, INC. PRIOR TO WORK.

MONUMENT PROTECTION NOTE:

ALL EXISTING SURVEY MONUMENTS ARE TO BE PRESERVED PER NEW MEXICO REVISED STATUTES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT MONUMENTS ARE PROPERLY PROTECTED AND/OR PERPETUATED. IF ANY OF THE MONUMENTS ARE DISTURBED OR ARE NEAR THE AREA OF CONSTRUCTION, A LICENSED SURVEYOR MUST CONFIRM THAT THE MONUMENTS HAVE BEEN PROTECTED AND/OR PERPETUATED AND THE APPROPRIATE DOCUMENTATION HAS BEEN RECORDED. CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR OBTAINING PERMITS FROM ANY JURISDICTIONS HAVING AUTHORITY FOR REMOVING AND REPLACING ALL SURVEY MONUMENTATION THAT MAY BE AFFECTED BY CONSTRUCTION ACTIVITY. UPON COMPLETION OF CONSTRUCTION, ALL MONUMENTS DISPLACED, REMOVED, OR DESTROYED SHALL BE REPLACED BY A REGISTERED LAND SURVEYOR, AT THE COST AND AT THE DIRECTION OF THE CONTRACTOR. PURSUANT TO THESE REGULATIONS, THE APPROPRIATE FORMS FOR REPLACEMENT OF SAID MONUMENTATION SHALL ALSO BE THE RESPONSIBILITY OF THE CONTRACTOR.

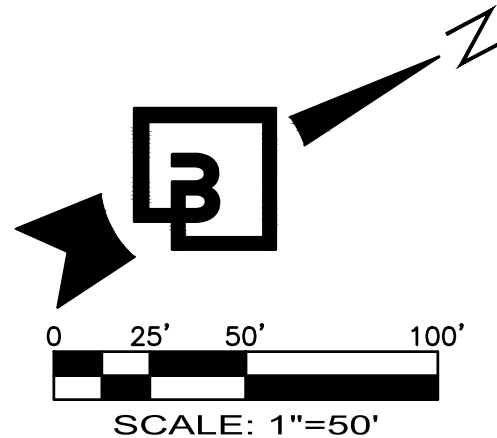
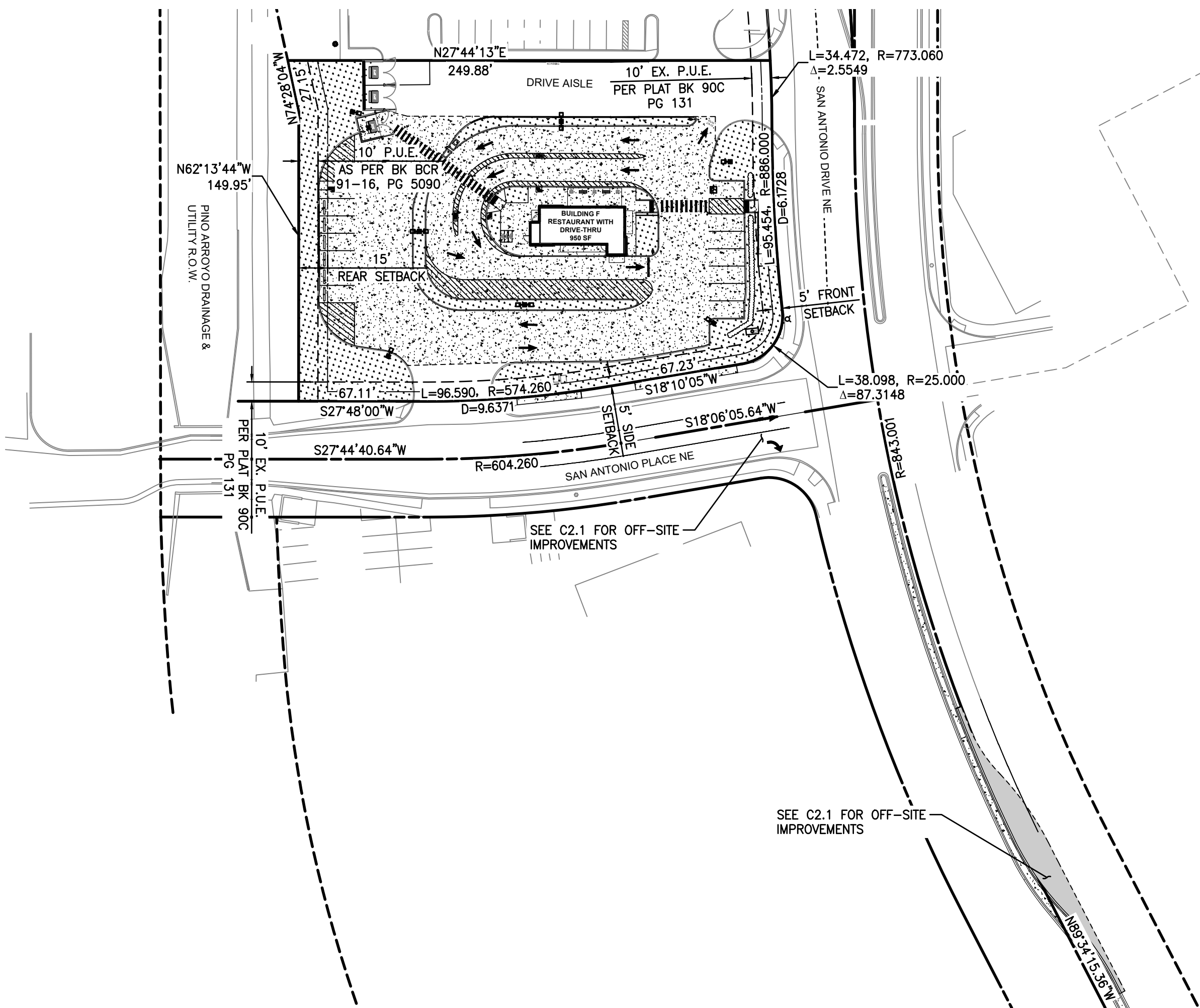
HORIZONTAL CONTROL NOTE:

CONTRACTOR SHALL HAVE ALL PROPERTY LINES, CURB, SIDEWALK, STRUCTURES, CONCRETE PADS AND ANY OTHER ABOVE GROUND PERMANENT STRUCTURE DEPICTED ON THESE PLANS STAKED FOR CONSTRUCTION BY A LICENSED SURVEYOR. LICENSED SURVEYOR SHALL STAKE ALL ITEMS USING COORDINATE GEOMETRY (RECTIFIED TO SITE CONTROL) CONTAINED IN CAD DRAWING FILES PROVIDED BY BARGHAUSEN CONSULTING ENGINEERS, INC. IT IS THE CONTRACTOR'S RESPONSIBILITY TO RETRIEVE LATEST CAD FILES FROM BARGHAUSEN CONSULTING ENGINEERS INC., REFLECTING ANY ISSUED PLAN REVISIONS. BARGHAUSEN CONSULTING ENGINEERS SHALL IMMEDIATELY BE NOTIFIED OF ANY DISCREPANCIES PRIOR TO THE START OF CONSTRUCTION.

FLOOD ZONE:

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS LOCATED IN ZONE "X" OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO 35001C0141G, WHICH BEARS AN EFFECTIVE DATE OF 9/26/2008, AND COMMUNITY PANEL NO. 35001C0137H, WHICH BEARS AN EFFECTIVE DATE OF 8/16/2012. THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD ARE. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE AND AN ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR A VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

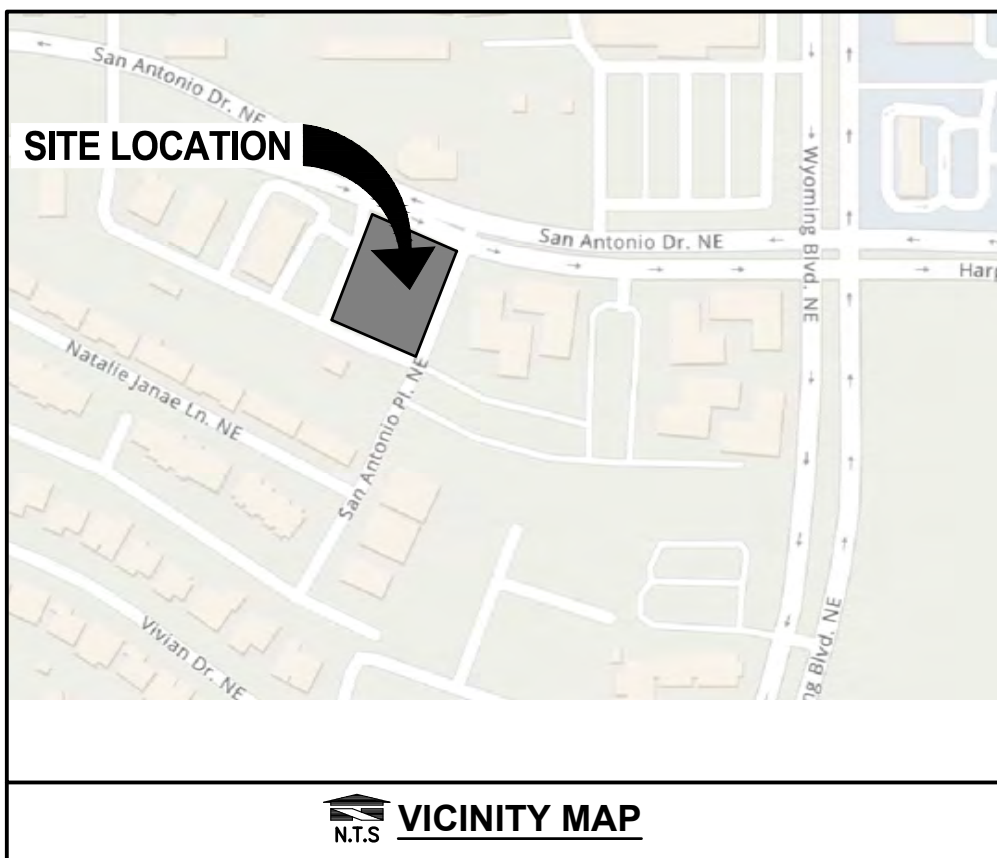
DUTCH BROS COFFEE - NM0504, ALBUQUERQUE, NM 7330 SAN ANTONIO DRIVE N.E. COVER SHEET



CIVIL SHEET LIST	
Sheet Number	Sheet Title
C1.0	COVER SHEET
1 OF 2	ALTA SURVEY
2 OF 2	ALTA SURVEY
C2.0	SITE PLAN
C2.1	OFF-SITE IMPROVEMENTS
C2.2	HORIZONTAL CONTROL PLAN
C2.3	DELIVERY TRUCK TURNING MOVEMENTS
C2.4	FIRE TRUCK TURNING MOVEMENTS
C2.5	SIGHT TRIANGLE EXHIBIT
C3.0	TCL GRADING AND DRAINAGE PLAN
C3.1	FEMA FIRM
C5.0	NOTES AND DETAILS
C5.1	NOTES AND DETAILS
C5.2	NOTES AND DETAILS

GENERAL SITE NOTES:

- THE CONTRACTOR SHALL OBTAIN AND HAVE AVAILABLE COPIES OF THE APPLICABLE GOVERNING AGENCY STANDARDS AT THE JOB SITE DURING THE RELATED CONSTRUCTION OPERATIONS.
- CONTRACTOR SHALL ENSURE THAT ALL NECESSARY PERMITS HAVE BEEN OBTAINED PRIOR TO COMMENCING WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION WHETHER SHOWN ON THESE PLANS OR NOT. UTILITIES OTHER THAN THOSE SHOWN MAY EXIST ON THIS SITE. ONLY THOSE UTILITIES WITH EVIDENCE OF THEIR INSTALLATION VISIBLE AT GROUND SURFACE OR SHOWN ON RECORD DRAWING PROVIDED BY OTHERS ARE SHOWN HEREON. EXISTING UNDERGROUND UTILITY LOCATIONS SHOWN ARE APPROXIMATE ONLY AND ARE SUBJECT TO A DEGREE OF UNKNOWN VARIATION. SOME UNDERGROUND LOCATIONS SHOWN HEREON MAY HAVE BEEN TAKEN FROM PUBLIC RECORDS. BARGHAUSEN CONSULTING ENGINEERS, INC. ASSUMES NO LIABILITY FOR THE ACCURACY OF PUBLIC RECORDS OR RECORDS OF OTHERS. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT BARGHAUSEN CONSULTING ENGINEERS, INC. TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR THE RELATIVE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL COMPLIANCE WITH LOCAL REGULATIONS AND CODES.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE APPROPRIATE UTILITIES INVOLVED PRIOR TO CONSTRUCTION.
- INSPECTION OF SITE WORK WILL BE ACCOMPLISHED BY A REPRESENTATIVE OF THE GOVERNING JURISDICTION. INSPECTION OF PRIVATE FACILITIES WILL BE ACCOMPLISHED BY A REPRESENTATIVE OF THE OWNER. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE INSPECTOR 24 HOURS IN ADVANCE OF BACKFILLING ALL CONSTRUCTION.
- PRIOR TO ANY CONSTRUCTION OR DEVELOPMENT ACTIVITY THE CONTRACTOR SHALL CONTACT THE AGENCY AND/OR UTILITY INSPECTION PERSONNEL AND ARRANGE ANY REQUIRED PRE-CONSTRUCTION MEETING(S). CONTRACTOR SHALL PROVIDE ONE WEEK MINIMUM ADVANCE NOTIFICATION TO OWNER, FIELD ENGINEER AND ENGINEER OF PRE-CONSTRUCTION MEETINGS.
- THE CONTRACTOR IS RESPONSIBLE FOR WORKER AND SITE SAFETY AND SHALL COMPLY WITH THE LATEST OSHA STANDARDS AND REGULATIONS, OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE "MEANS AND METHODS" REQUIRED TO MEET THE INTENT AND PERFORMANCE CRITERIA OF OSHA, AS WELL AS ANY OTHER ENTITY THAT HAS JURISDICTION FOR EXCAVATION AND/OR TRENCHING PROCEDURES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE SAFEGUARDS, SAFETY DEVICES, PROTECTIVE EQUIPMENT, FLAGGERS, AND ANY OTHER NEEDED ACTIONS TO PROTECT THE LIFE, HEALTH, AND SAFETY OF THE PUBLIC, AND TO PROTECT PROPERTY IN CONNECTION WITH THE PERFORMANCE OF WORK COVERED BY THE CONTRACTOR. ANY WORK WITHIN THE TRAVELED RIGHT-OF-WAY THAT MAY INTERRUPT NORMAL TRAFFIC FLOW SHALL REQUIRE AT LEAST ONE FLAGGER FOR EACH LANE OF TRAFFIC AFFECTED.
- PROTECTIVE MEASURES SHALL BE TAKEN BY THE CONTRACTOR TO PROTECT ALL ADJACENT PUBLIC AND PRIVATE PROPERTIES AT ALL TIMES DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ALL EXISTING UTILITY SERVICES THAT ARE TO REMAIN OPERATIONAL WITHIN THE CONSTRUCTION AREA WHETHER SHOWN OR NOT SHOWN ON THE PLANS.
- TWO (2) COPIES OF THESE APPROVED PLANS MUST BE ON THE JOB SITE WHENEVER CONSTRUCTION IS IN PROGRESS. ONE (1) SET WITH RECORDS OF AS-BUILT INFORMATION SHALL BE SUBMITTED TO BARGHAUSEN CONSULTING ENGINEERS, INC. AT COMPLETION OF PROJECT.
- CONTRACTOR SHALL OBTAIN SERVICES OF A LICENSED LAND SURVEYOR TO STAKE HORIZONTAL CONTROL FOR ALL NEW IMPROVEMENTS. STAKING CONTROL SHALL BE TAKEN FROM ELECTRONIC PLAN FILES PROVIDED BY BARGHAUSEN CONSULTING ENGINEERS, INC.
- CONTRACTOR SHALL REQUEST FROM BARGHAUSEN CONSULTING ENGINEERS, INC., PRIOR TO ANY CONSTRUCTION STAKING OR CONSTRUCTION WORK, A FORMAL CONSTRUCTION RELEASE PLAN SET OR SPECIFIC RELEASE IN WRITING. THE APPROVED AGENCY PERMIT DRAWINGS WILL NOT BE CONSIDERED CONSTRUCTION RELEASE PLANS BY BARGHAUSEN CONSULTING ENGINEERS, INC. UNLESS BARGHAUSEN CONSULTING ENGINEERS, INC. HAS GIVEN A FORMAL WRITTEN RELEASE OR ISSUED A CONSTRUCTION RELEASE PLAN SET.



PROJECT DATA

PROPERTY ADDRESS:	7330 SAN ANTONIO DRIVE NE ALBUQUERQUE, NM 87109
APN:	101906219148122105
IDO ZONE DISTRICT:	MIXED USE LOW DENSITY (MX-L) DESIGNATED ACTIVITY CENTER IN THE ALBUQUERQUE COMPREHENSIVE PLAN
IDO DISTRICT DEFINITION:	LOW INTENSITY
IDO CATEGORY:	MIXED USE
PROPOSED USE:	EATING AND DRINKING ESTABLISHMENT WITH DRIVE-THROUGH SERVICE
QUEUING	= 18
PARKING CALCULATIONS:	
REQUIRED:	6 AUTOMOBILE PARKING SPACES (5.6 SPACE PER 1,000 SF OF GFA) 1 VAN ACCESSIBLE ADA PARKING SPACE 1 MOTORCYCLE PARKING SPACE 3 BICYCLE PARKING SPACES
PARKING SPACES PROVIDED:	12 AUTOMOBILE SPACES 1 VAN ACCESSIBLE ADA SPACE 2 MOTORCYCLE PARKING SPACES 3 BICYCLE PARKING SPACES
PROPOSED SETBACKS	
MINIMUM FRONT:	5 FEET
MINIMUM SIDE:	5 FEET
MINIMUM REAR:	15 FEET
PROJECT AREA:	42,044 SF (0.97 AC)
DISTURBED AREA:	35,725 SF (0.82 AC)
GROSS FLOOR AREA (GFA)	= 950 SF (100% USED AS DRIVE-THRU RESTAURANT)
TRASH ENCLOSURE	= 13.27'x10.67' (NEW) + 26'±x11'± (EXISTING)
NEW TRASH ENCLOSURE SQUARE FOOTAGE	= 142 SF
SITE COVERAGE (DISTURBED AREA):	
BUILDINGS:	950 SF (2.7%)
PARKING MANEUVERING, CURBS:	22,981 SF (64.3%)
WALKWAYS:	1,760 SF (4.0%)
LANDSCAPE:	10,034 SF (28.1%) 35,725 SF (100%)

LEGEND

EXISTING		PROPOSED	
	CONCRETE		CONCRETE
	EASEMENT		ASPHALT
	RIGHT-OF-WAY LINE		EASEMENT
	PROPERTY LINE		FINISH GRADE CONTOUR
	EDGE OF PAVEMENT		SWALE
	WATER LINE		RIDGELINE
	GAS LINE		STORM DRAIN
	SANITARY SEWER		POWER
	STORM DRAIN		SANITARY SEWER LINE
	UNDERGROUND POWER LINES		TELEPHONE
	OVERHEAD POWER LINES		CABLE/TELEVISION
	UNDERGROUND GAS LINES		WATER LINE
	CATCH BASIN		BARRIER CURB
	FIRE HYDRANT		CURB & GUTTER
	POWER POLE		STORM DRAIN CATCH BASIN
	TREE		STORM DRAIN CLEANOUT
	STREET LIGHT		WATER METER
	STORM DRAIN MANHOLE		SANITARY SEWER CLEANOUT
	SANITARY SEWER MANHOLE		POWER TRANSFORMER
	WATER VALVE		LOT LIGHT
			STREET LIGHT
			SIGN
			GUARD POST / BOLLARD

COVER SHEET
7330 SAN ANTONIO DR NE
ALBUQUERQUE, NM 87109

Title:

DUTCH BROS
Coffee

For:



9/5/2024

Scale:
Horizontal
1" = 50'
Vertical
N/A

Designed: BB
Drawn: BB
Checked: MTL
Approved: AEM
Date: 9/4/24

Barghausen
Consulting Engineers, Inc.
18215 72nd Avenue South
Kent, WA 98032
425.251.6222
barghausen.com

Job Number
23204

Sheet
C1.0

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DUTCH BROS COFFEE - NM0504, ALBUQUERQUE, NM

7330 SAN ANTONIO DRIVE N.E.

SITE PLAN

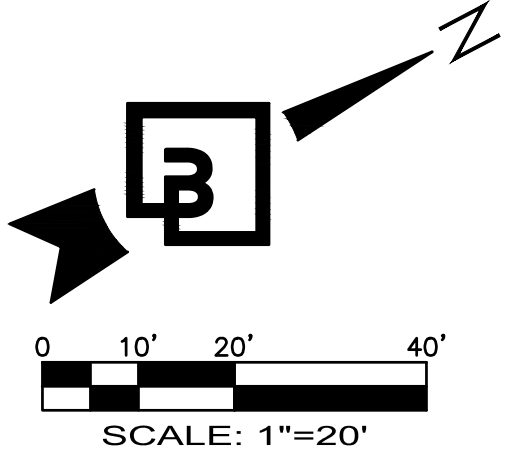
PARKING CALCULATIONS:

REQUIRED:

- 6 AUTOMOBILE PARKING SPACES (5.6 SPACE PER 1,000 SF OF GFA)
- 1 VAN ACCESSIBLE ADA PARKING SPACE
- 1 MOTORCYCLE PARKING SPACE
- 3 BICYCLE PARKING SPACES

PARKING SPACES PROVIDED:

- 12 AUTOMOBILE SPACES
- 1 VAN ACCESSIBLE ADA SPACE
- 2 MOTORCYCLE PARKING SPACES
- 3 BICYCLE PARKING SPACES



SIGHT TRIANGLE NOTE:

LANDSCAPE AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED TO THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

PARKING NOTE

NO CONTRACTOR OR EMPLOYEE MAY STORE, OR PERMIT TO BE STORED, A COMMERCIAL OR CONSTRUCTION VEHICLE/TRUCK; OR PERSONAL VEHICLE, TRUCK, OR OTHER PERSONAL PROPERTY ON PUBLIC-RIGHT-OF-WAY OR OTHER PUBLIC PROPERTY WITHOUT PERMISSION OF THE CITY ENGINEER.

TEMPORARY WORK EASEMENT NOTE:

CLIENT TO OBTAIN TEMPORARY WORK EASEMENT AGREEMENT; COORDINATE WITH ADJACENT PROPERTY OWNER, PRIOR TO CONSTRUCTION OF ANY OFF-SITE WORK.

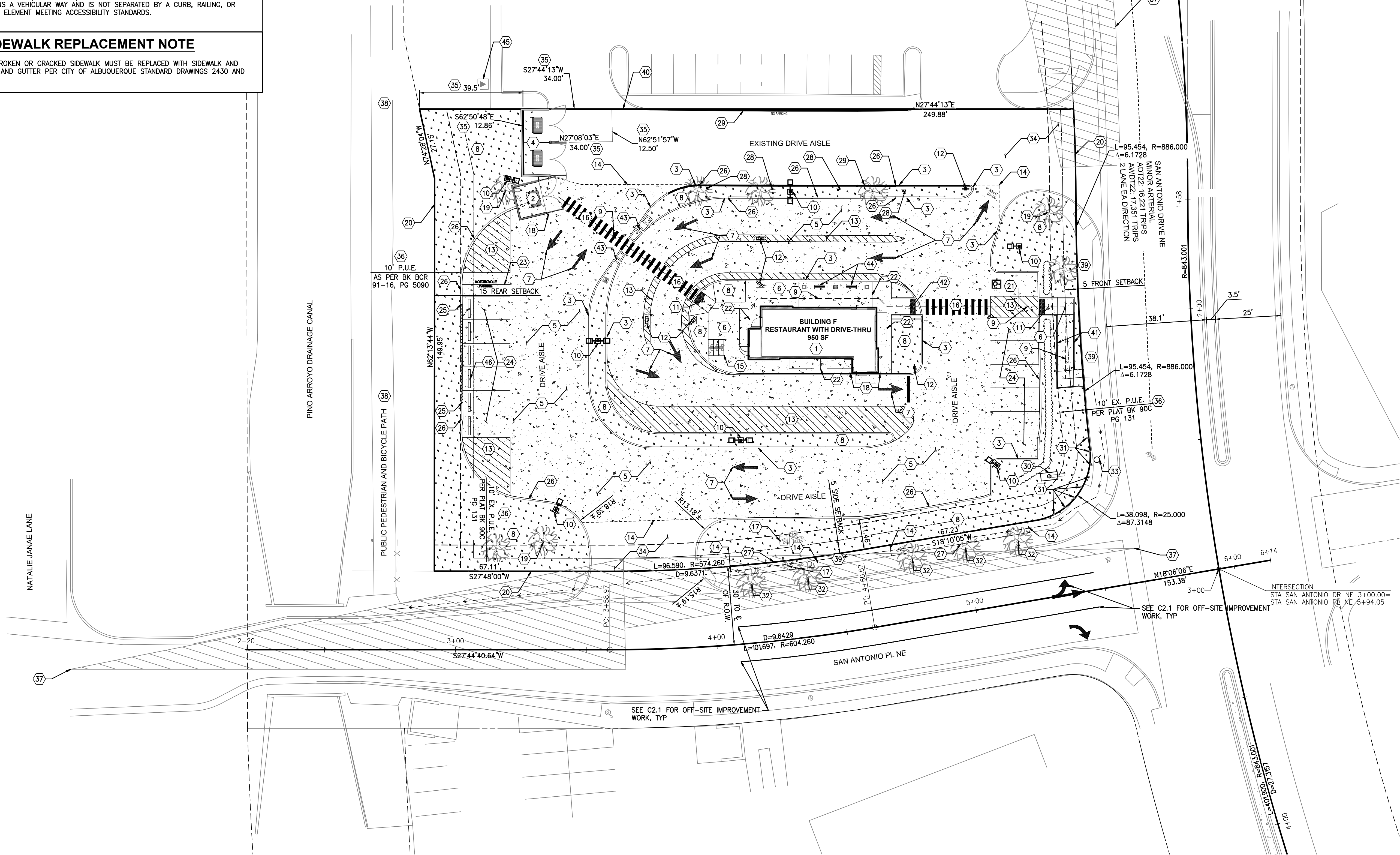
ACCESSIBLE SITE REQUIREMENTS:

WALKING SURFACES SHALL BE CONTINUOUSLY ACCESSIBLE. ALL WALKWAYS MUST BE A MINIMUM 36" IN WIDTH, HAVE A MAXIMUM 1.5% CROSS SLOPE, AND SHALL HAVE RAMPS COMPLYING WITH ACCESSIBILITY STANDARDS (SECTION 402) WHERE NECESSARY TO CHANGE ELEVATION AT A LONGITUDINAL SLOPE EXCEEDING 5% (1:20). RAMPS WHERE PROVIDED SHALL COMPLY WITH ACCESSIBILITY REQUIREMENTS (SECTION 405) AND BE PROVIDED WITH A MINIMUM 24" WIDE DETECTABLE WARNING STRIP MEETING ACCESSIBILITY REQUIREMENTS (SECTION 406) SHALL BE PLACED WHERE A WALK CROSSES OR ADJOINS A VEHICULAR WAY AND IS NOT SEPARATED BY A CURB, RAILING, OR OTHER ELEMENT MEETING ACCESSIBILITY STANDARDS.

SIDEWALK REPLACEMENT NOTE

ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER PER CITY OF ALBUQUERQUE STANDARD DRAWINGS 2430 AND 2415A

JJ'S PREMIER
TIRE &
SERVICE
NOT A PART
(EXISTING)



CONSTRUCTION NOTES:

- LOCATION OF BUILDING AS NOTED; CONFIRM ALL DIMENSIONS AND REQUIREMENTS WITH ARCHITECTURAL AND STRUCTURAL DRAWINGS.
- CONSTRUCT REFUSE ENCLOSURE WITH FLOOR DRAIN AND CONCRETE PAD. REFER TO ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR ADDITIONAL DETAILS.
- CONSTRUCT CONCRETE BARRIER CURB PER 3/C5.1, TYPICAL.
- EXISTING TRASH ENCLOSURE TO REMAIN. GATES AND BOLLARDS TO BE ADDED PER TO CITY OF ALBUQUERQUE STANDARDS. SEE ARCHITECTURAL DRAWINGS FOR DETAILS.
- CONSTRUCT CONCRETE PAVEMENT PER 2/C5.0.
- CONSTRUCT ON-SITE CONCRETE SIDEWALK (WIDTH VARIES) PER 7/C5.0, TYPICAL. JOINTS PER 11/C5.0.
- INSTALL PAVEMENT MARKING PER 3/C5.0, TYPICAL.
- LANDSCAPE AREA. SEE LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION, TYPICAL.
- ACCESSIBLE PATH, TYPICAL. ACCESSES PUBLIC WALKWAY AND BIKE PATH VIA PUBLIC SIDEWALK. SEE C2.2 FOR ADDITIONAL INFORMATION
- SITE LIGHTING. REFER TO STRUCTURAL DRAWINGS FOR LIGHT POLE FOUNDATION REQUIREMENTS; REFER TO PHOTOMETRIC DRAWING FOR POLE AND FIXTURE SPECIFICATIONS.
- CONSTRUCT ADA ACCESSIBLE PERPENDICULAR CURB RAMP TO CITY OF ALBUQUERQUE STANDARDS PER 4/C5.1. DETECTABLE WARNING STRIP PER 5/C5.1.
- CONSTRUCT FREESTANDING SIGN. SEE SIGN DRAWINGS FOR ADDITIONAL DETAILS.
- INSTALL NO PARKING STRIPES. STRIPES 4" WIDE, 45 DEGREES, 24" O.C. SAFETY WHITE. TYPICAL.
- APPROXIMATE LOCATION OF NEAT SAW CUT LINE. PROVIDE HOT TAR SEAL AT ALL JOINTS.
- INSTALL "U" TYPE BIKE PARKING PER 10/C5.0 (4 SPACES PROVIDED)
- PAINT CONTINENTAL TYPE PEDESTRIAN CROSSWALK STRIPING 1 FOOT WIDE STRIPES SPACED 2.5' ON CENTER.
- EXISTING UTILITY APPURTENANCES TO BE PROTECTED DURING CONSTRUCTION.
- CONSTRUCT BOLLARD PER 2/C5.1, TYP.
- EXISTING TREES, STUBS/ROOTS TO BE REMOVED AS REQUIRED. TYPICAL. SEE LANDSCAPE DRAWINGS FOR PLANTING DETAILS.
- EXISTING PROPERTY LINE, TYPICAL.
- CONSTRUCT VAN ACCESSIBLE PARKING STALL PER 1/C5.0. SIGNAGE PER 8/C5.0 AND SIGN POST PER 5/C5.0. SEE DETAIL 6/C5.0 FOR INTERNATIONAL SYMBOL OF ACCESSIBILITY
- INSTALL CANOPY. SEE ARCHITECTURAL PLANS FOR DETAILS. CONFIRM ALL DIMENSIONS AND REQUIREMENTS WITH ARCHITECTURAL AND STRUCTURAL DRAWINGS.
- INSTALL (2) MOTORCYCLE PARKING SPACES. INSTALL SIGN PER 9/C5.0. POST PER 5/C5.0.
- INSTALL TYPICAL PARKING SPACE, TYP. SEE C2.2 FOR PARKING SPACE GEOMETRY.
- CONSTRUCT WALL AND GUARDRAIL TO MATCH HEIGHT, WIDTH AND MATERIAL OF ADJACENT EXISTING WALL, BETWEEN KEYNOTES.
- EXISTING CURB/WALL TO REMAIN
- REPLACE SIDEWALK TO THE NEAREST PANEL OR JOINT PER CITY OF ALBUQUERQUE STANDARDS WHEREVER EXISTING TREES HAVE FORCED SIDEWALK OUT OF COMPLIANCE. CONSTRUCT SIDEWALK PER 6/C5.1. JOINTS PER 7/C5.1.
- PROPOSED NO PARKING SIGNAGE FOR FIRE LANE TO CITY OF ALBUQUERQUE STANDARDS. SIGN TYPE R7-1 OF 1/C5.2, POST PER 5/C5.0.
- PROPOSED CURB STRIPING FOR FIRE LANE. PAINT CURB RED ON BOTH TOP AND FACE ALONG THE ENTIRE LENGTH OF THE FIRE LANE. "NO PARKING-FIRE LANE" SHALL BE MARKED EVERY 15 FEET ALONG THE LENGTH OF FIRE LANE TO CITY OF ALBUQUERQUE STANDARDS.
- EXISTING SIGN TO BE REMOVED. CONSTRUCT NEW PYLON SIGN. SEE SIGN DRAWINGS FOR DETAILS.
- EXISTING BOLLARD TO BE REMOVED.
- EXISTING TREE TO BE REMOVED TO FACILITATE SIDEWALK REPAIR.
- EXISTING FIRE HYDRANT.
- EXISTING DRIVEWAY AND INGRESS/EGRESS TO BE PROTECTED.
- PROPOSED ACCESS EASEMENT TO BENEFIT 7340 SAN ANTONIO DR NE
- EXISTING EASEMENT
- SITE TRIANGLE TO CITY OF ALBUQUERQUE AND AASHTO STANDARDS, TYP. SEE C2.5 FOR ADDITIONAL DETAILS.
- EXISTING MULTI-USE TRAIL
- EXISTING PUBLIC SIDEWALK - SEE C2.2 FOR WIDTHS
- EXISTING PARCEL LINE
- CONSTRUCT RAMP WITH HANDRAIL PER 5/C5.2
- INSTALL DETECTABLE WARNING STRIP PER 5/C5.1
- CONSTRUCT SIDEWALK THROUGH-CUT PER 7/C5.2.
- INSTALL BENCH FOR OUTDOOR SEATING, TYP.
- EXISTING TRANSFORMER TO BE REPLACED. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL DETAILS.
- INSTALL PRECAST WHEELSTOP PER 12/C5.0, TYP

LEGEND

BUILDING LINE	
EXISTING CURB TO REMAIN	
PROPOSED CURB	
PROPOSED LANDSCAPING	
PROPOSED CONCRETE	

SITE PLAN
7330 SAN ANTONIO DR NE
ALBUQUERQUE, NM 87109

Title:

DUTCH BROS

For:

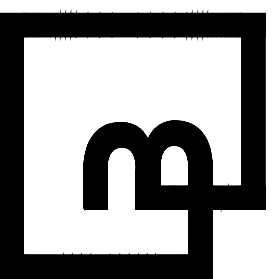


9/5/2024

Scale:
Horizontal 1" = 20'
Vertical N/A

Designed BB
Drawn BB
Checked MTL
Approved AEM
Date 9/4/24

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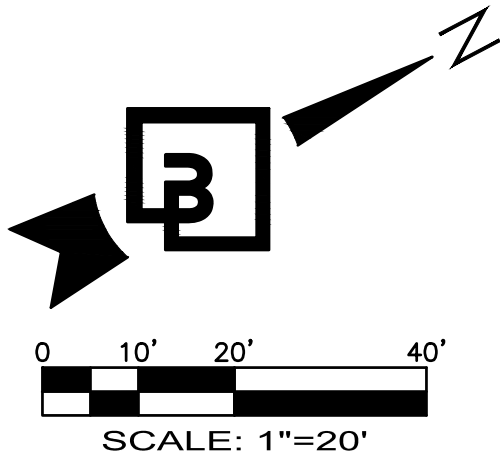
Job Number
23204
Sheet
C20
2019 DB
Franchising USA, LLC

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DUTCH BROS COFFEE - NM0504, ALBUQUERQUE, NM
7330 SAN ANTONIO DRIVE N.E.
HORIZONTAL CONTROL PLAN



HORIZONTAL CONTROL NOTE:

- HORIZONTAL CONTROL DIMENSIONS FOR THE BUILDING ARE SHOWN FROM THE SOUTHEAST PROPERTY CORNER OF THE PARCEL TO THE FACE OF STUD AT THE BUILDING CORNER. BUILDING IS NOT PARALLEL TO A PROPERTY LINE.
- HORIZONTAL CONTROL DIMENSIONS FOR THE TRASH ENCLOSURE BUILDING ARE SHOWN FROM THE SOUTHEAST PROPERTY CORNER OF THE PARCEL TO THE FACE OF CMU BLOCK AT THE BUILDING CORNER. TRASH ENCLOSURE IS PARALLEL TO NOT PARALLEL TO A PROPERTY LINE.

STAKING NOTE:

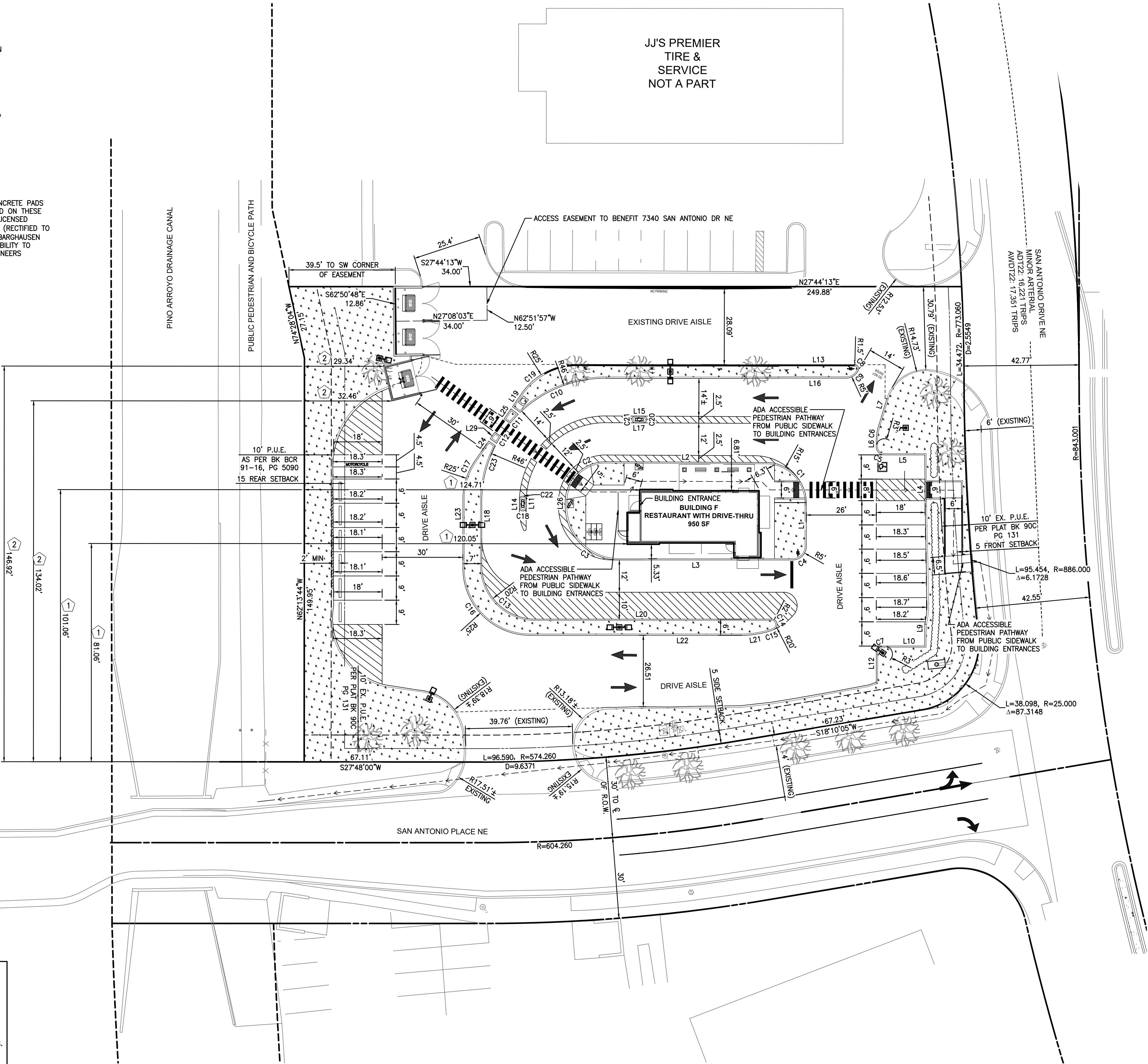
CONTRACTOR SHALL HAVE ALL CURB, SIDEWALK, STRUCTURES, CONCRETE PADS AND ANY OTHER ABOVE GROUND PERMANENT STRUCTURE DEPICTED ON THESE PLANS STAKED FOR CONSTRUCTION BY A LICENSED SURVEYOR. LICENSED SURVEYOR SHALL STAKE ALL ITEMS USING COORDINATE GEOMETRY (RECTIFIED TO SITE CONTROL) CONTAINED IN CAD DRAWING FILES PROVIDED BY BARGHAUSEN CONSULTING ENGINEERS, INC. IT IS THE CONTRACTORS RESPONSIBILITY TO RETRIEVE LATEST CAD FILES FROM BARGHAUSEN CONSULTING ENGINEERS REFLECTING ANY ISSUED PLAN REVISIONS.

TRAFFIC CIRCULATION
LAYOUT APPROVED

Ernest Arroyo 10/1/2024
Signed Date

HORIZONTAL CONTROL NOTE:

THE CONTRACTOR SHALL HAVE ALL PROPERTY LINES, CURB, SIDEWALK, STRUCTURES, CONCRETE PADS AND ANY OTHER ABOVE GROUND PERMANENT STRUCTURE DEPICTED ON THESE PLANS STAKED FOR CONSTRUCTION BY A LICENSED SURVEYOR. LICENSED SURVEYOR SHALL STAKE ALL ITEMS USING COORDINATE GEOMETRY (RECTIFIED TO SITE CONTROL) CONTAINED IN CAD DRAWING FILES PROVIDED BY BARGHAUSEN CONSULTING ENGINEERS, INC. IT IS THE CONTRACTOR'S RESPONSIBILITY TO RETRIEVE LATEST CAD FILES FROM BARGHAUSEN CONSULTING ENGINEERS INC., REFLECTING ANY ISSUED PLAN REVISIONS. BARGHAUSEN CONSULTING ENGINEERS SHALL IMMEDIATELY BE NOTIFIED OF ANY DISCREPANCIES PRIOR TO THE START OF CONSTRUCTION.



LINE TABLE		
Line #	Length	Direction
L1	16.19	N62° 15' 46.70"W
L2	59.57	S28° 00' 06.90"W
L3	64.44	N27° 44' 13.30"E
L4	19.00	S62° 42' 30.52"E
L5	15.00	N27° 44' 13.30"E
L6	2.02	S62° 15' 46.70"E
L7	10.50	S45° 20' 14.28"E
L9	8.12	S62° 15' 46.70"E
L10	15.00	S27° 44' 13.30"W
L11	3.00	S61° 53' 24.05"E
L12	10.96	S62° 15' 46.70"E
L13	28.27	N27° 52' 57.35"E
L14	3.00	N61° 53' 24.05"W
L15	3.00	S28° 00' 06.90"W
L16	25.10	S27° 49' 36.22"W
L17	3.00	N28° 00' 06.90"E
L18	23.47	S62° 15' 46.70"E
L19	6.05	S27° 30' 00.83"E
L20	87.73	N27° 44' 13.30"E
L21	2.96	N17° 44' 21.08"E
L22	79.65	N27° 44' 13.30"E
L23	25.52	S62° 15' 46.70"E
L24	8.98	N27° 30' 00.83"W
L25	4.50	S27° 30' 00.83"E
L26	1.47	S62° 15' 46.70"E
L29	3.00	N27° 30' 00.83"W

CURVE TABLE			
Curve #	Length	Radius	Delta
C1	23.49	15.00	89.74
C2	23.63	15.00	90.26
C3	31.42	20.00	90.00
C4	7.85	5.00	90.00
C5	4.71	3.00	90.00
C6	5.91	20.00	16.93
C7	4.71	3.00	90.00
C8	3.15	1.50	120.17
C9	5.26	5.00	60.26
C10	35.30	46.00	43.97
C11	4.52	46.00	5.63
C12	3.01	46.00	3.75
C13	31.42	20.00	90.00
C14	5.46	2.00	156.56
C15	4.69	20.00	13.44
C16	39.27	25.00	90.00
C17	15.17	25.00	34.76
C18	3.93	1.25	180.00
C19	24.14	25.00	55.31
C20	3.93	1.25	180.00
C21	3.93	1.25	180.00
C22	3.93	1.25	180.00
C23	21.72	46.00	27.05

LEGEND

BUILDING LINE	
EXISTING CURB TO REMAIN	
PROPOSED CURB	
PROPOSED LANDSCAPING	
PROPOSED CONCRETE	

HORIZONTAL CONTROL PLAN
7330 SAN ANTONIO DR NE
ALBUQUERQUE, NM 87109

Title:

DUTCH BROS

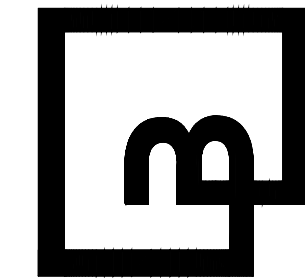
For:



Scale:
Horizontal
1" = 20'
Vertical
N/A

Designed BB
Drawn BB
Checked MTL
Approved AEM
Date 9/4/24

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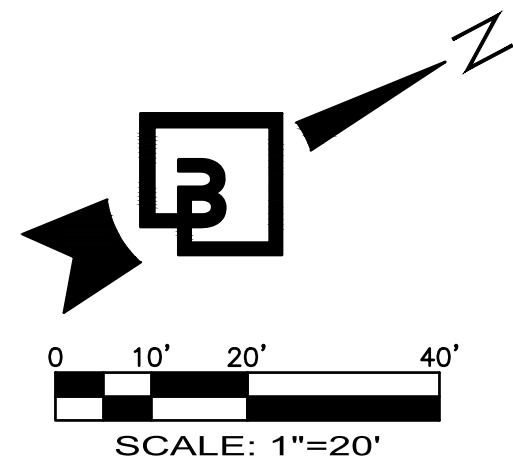


Job Number
23204

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C22
2019 DB
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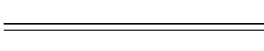


DUTCH BROS COFFEE - NM0504, ALBUQUERQUE, NM
7330 SAN ANTONIO DRIVE N.E.
SIGHT TRIANGLE EXHIBIT



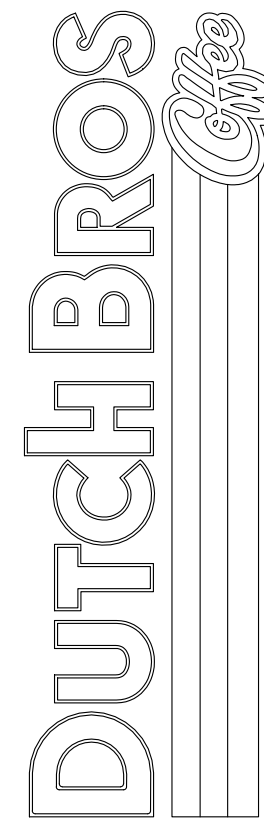
SIGHT TRIANGLE NOTE:

LANDSCAPE AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED TO THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

<u>LEGEND</u>	
BUILDING LINE	
EXISTING CURB TO REMAIN	
PROPOSED CURB	
PROPOSED LANDSCAPING	
PROPOSED CONCRETE	

**SIGHT TRIANGLE EXHIBIT
7330 SAN ANTONIO DR NE
ALBUQUERQUE, NM 87109**

Title:



For:

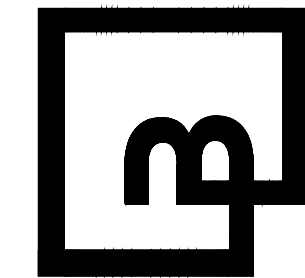


9/5/202

Scale: 1" = 20'

Designed	BB
Drawn	BB
Checked	MTL
Approved	AEM
Date	9/4/24

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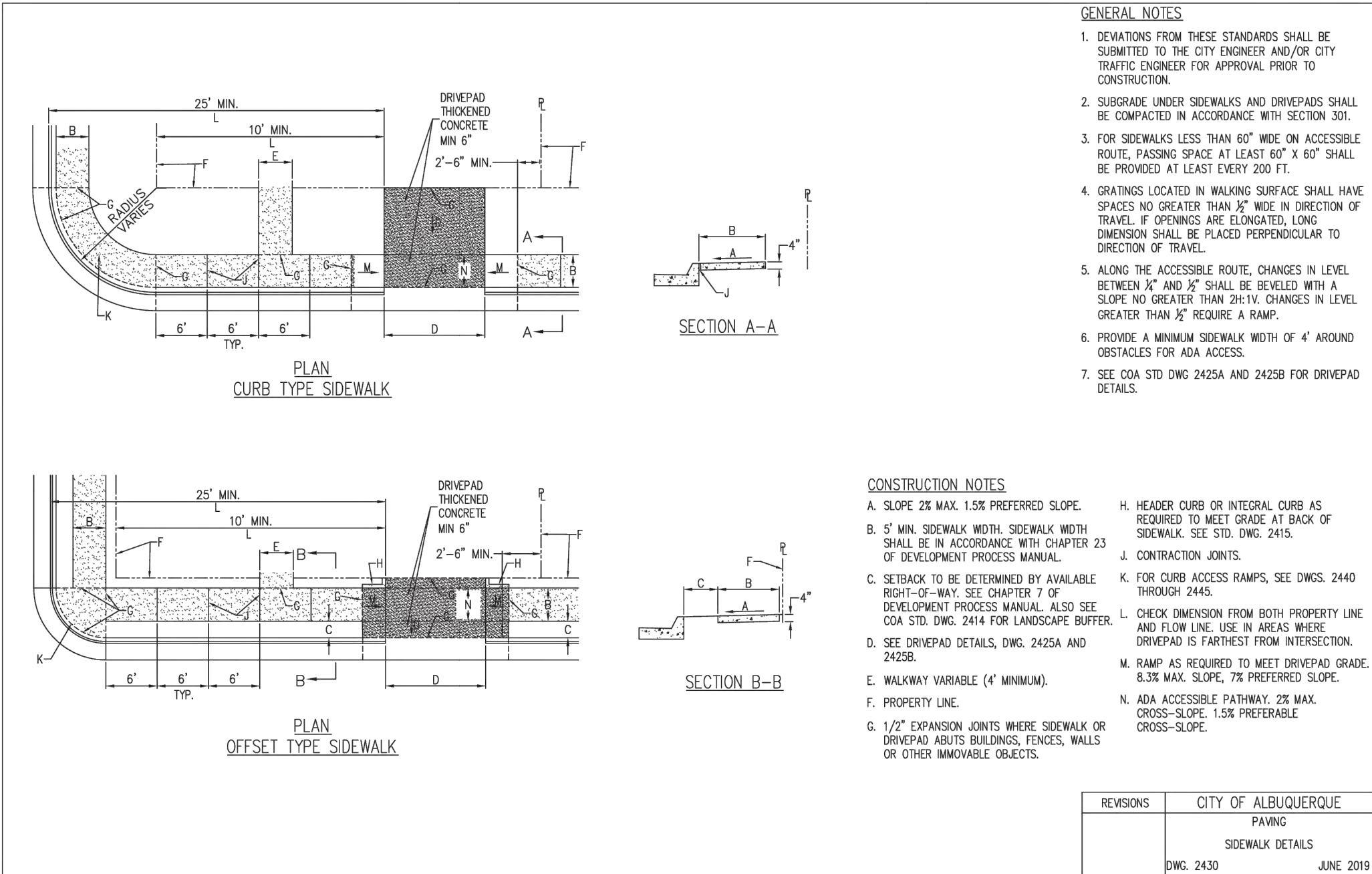


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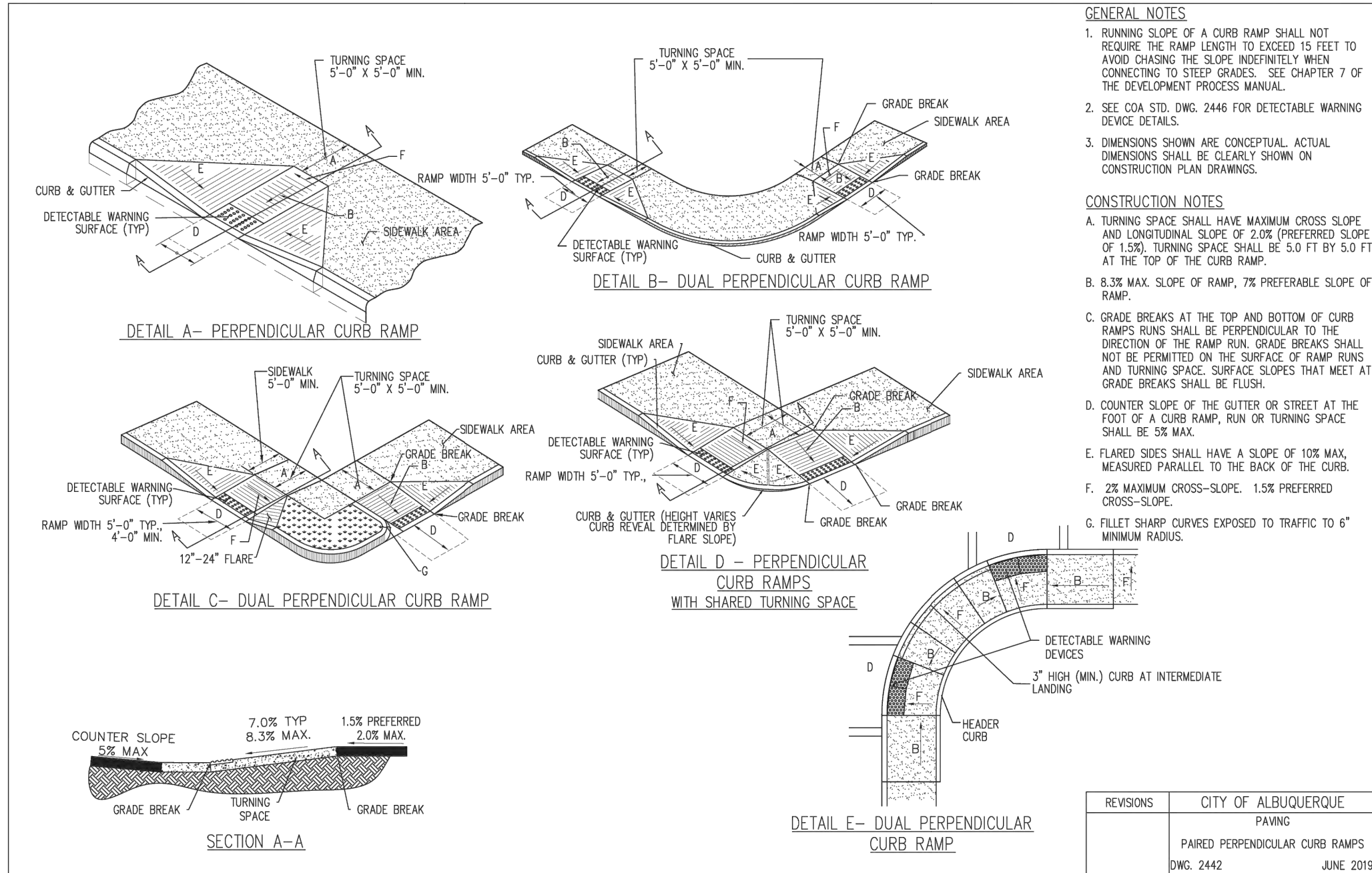
7330 SAN ANTONIO DRIVE N.E.

NOTES AND DETAILS



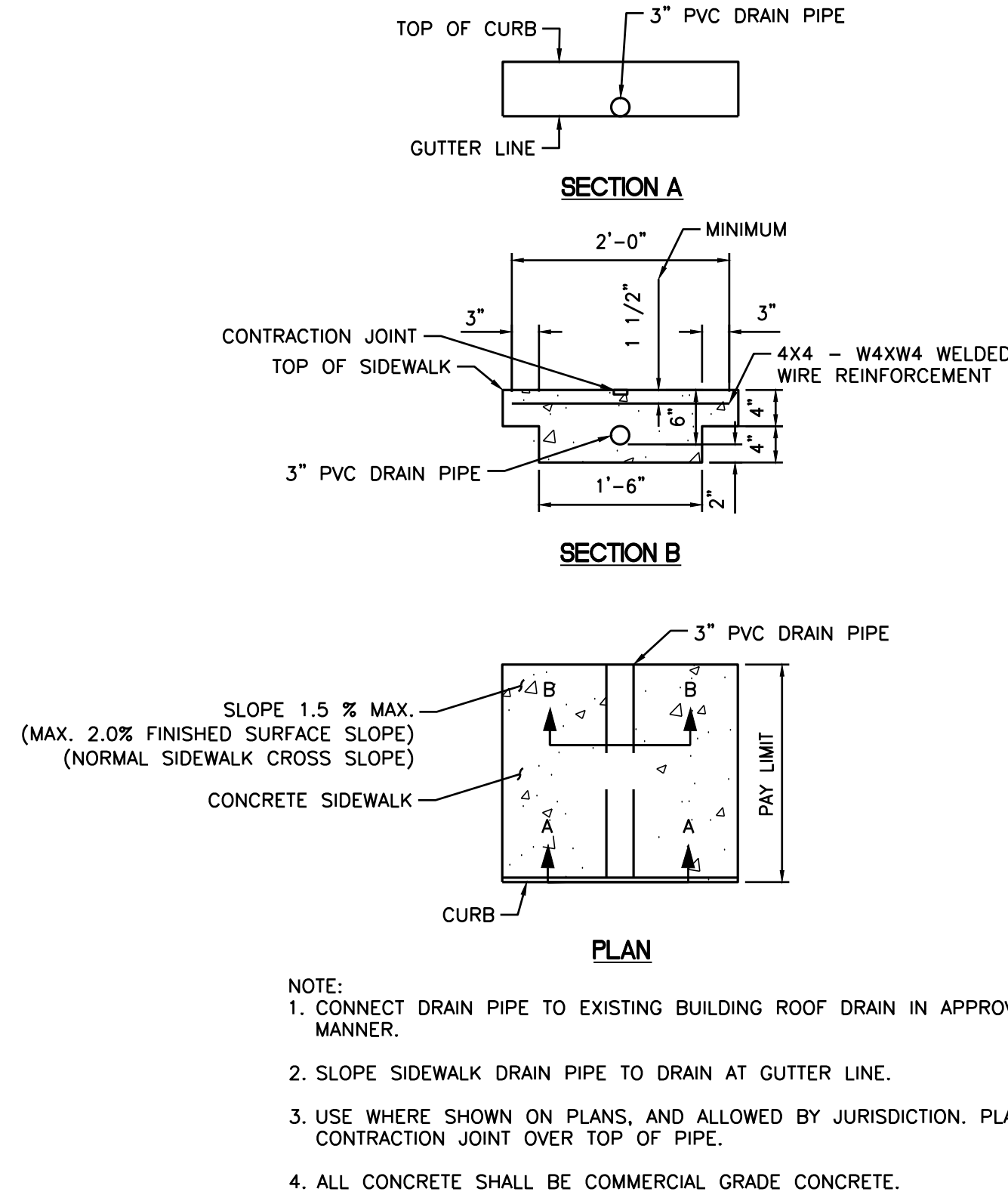
PUBLIC SIDEWALK

NOT TO SCALE



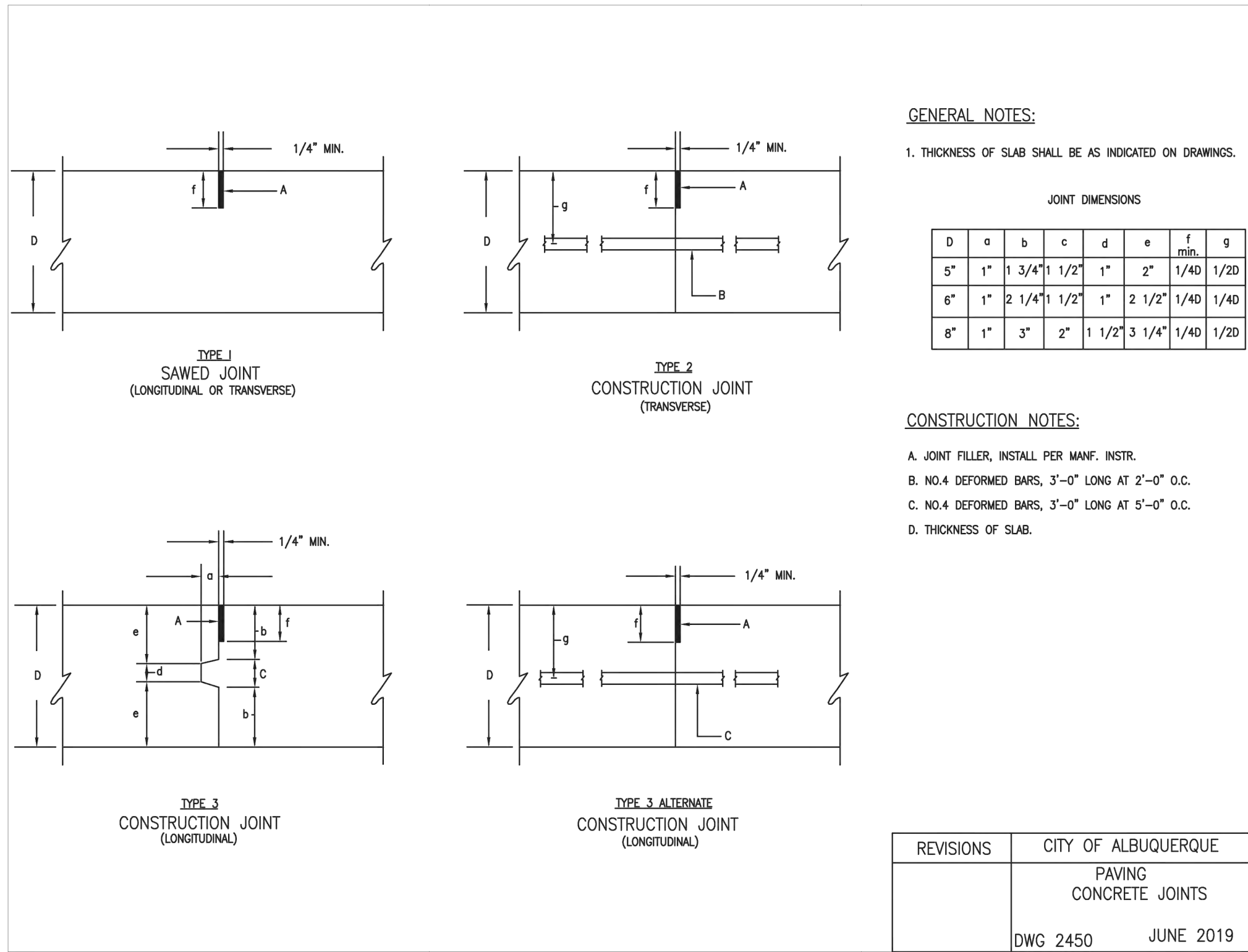
ACCESSIBLE CURB RAMP DETAILS

NOT TO SCALE



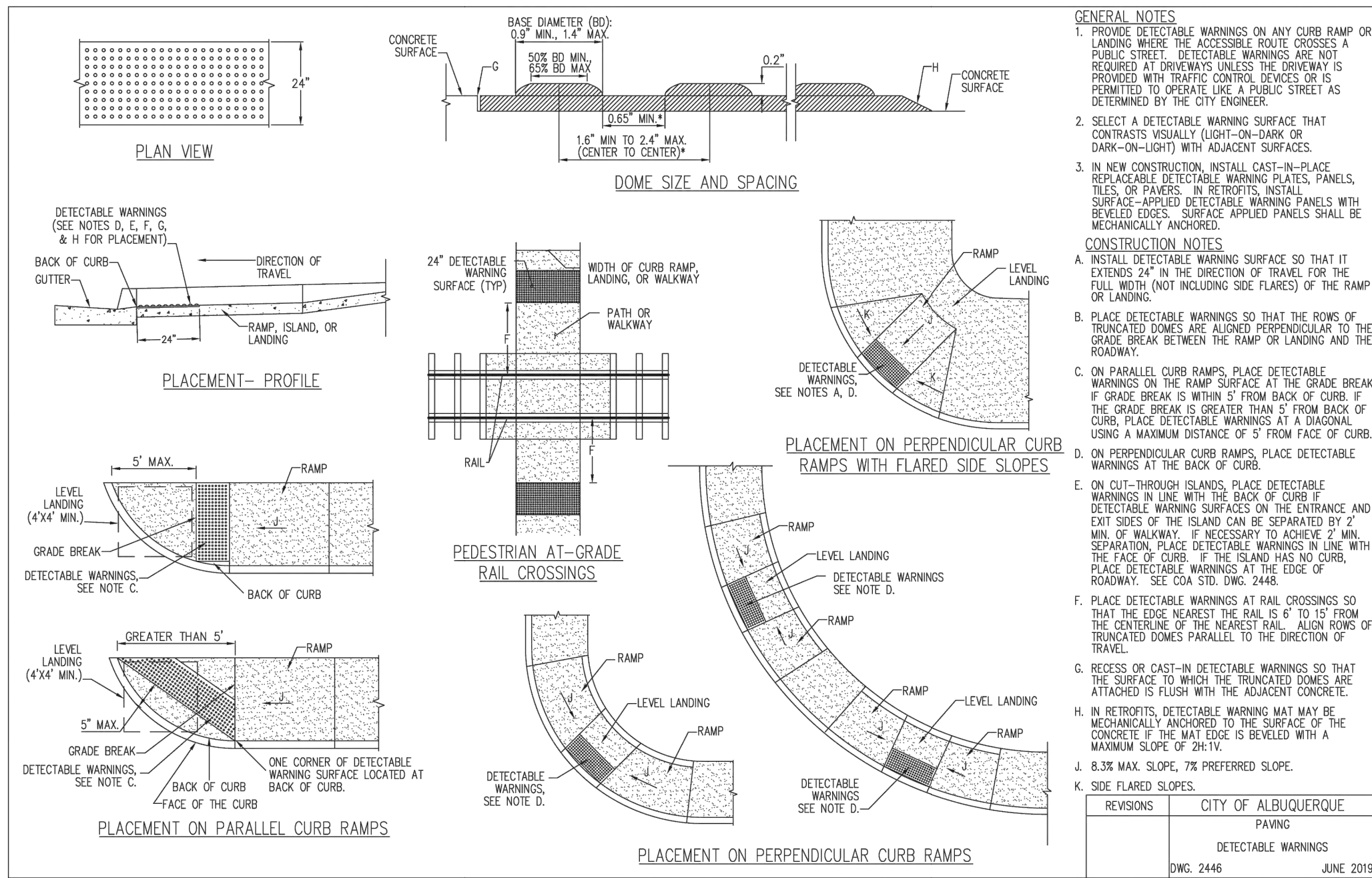
SIDEWALK UNDERDRAIN

NOT TO SCALE



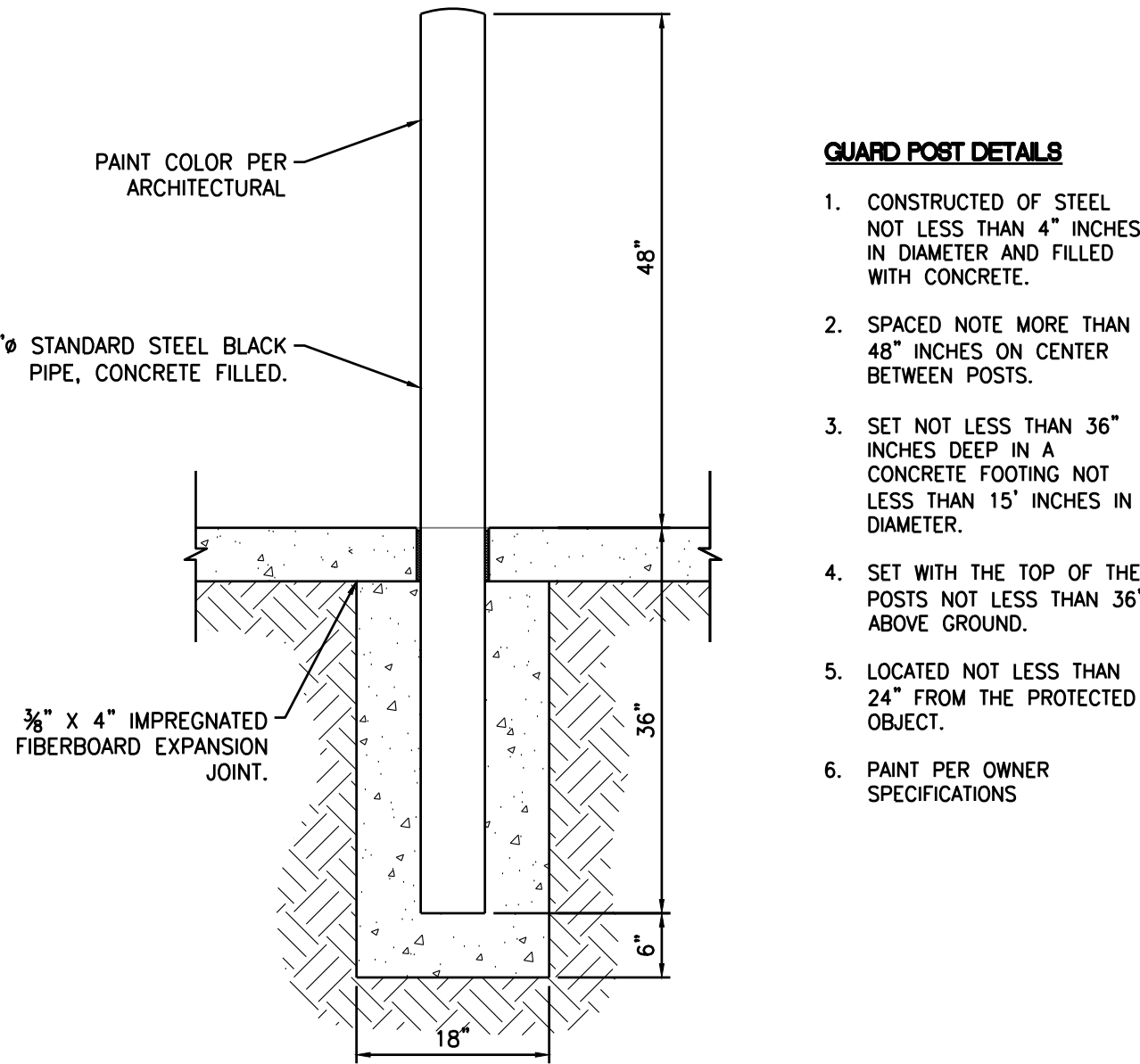
PUBLIC SIDEWALK CONCRETE JOINTS

NOT TO SCALE



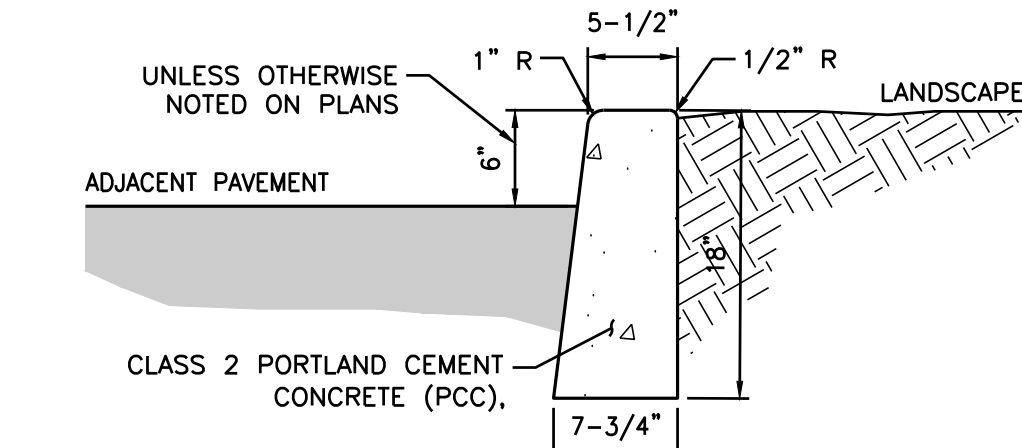
DETECTABLE WARNINGS

NOT TO SCALE



TYPICAL GUARD POST

NOT TO SCALE

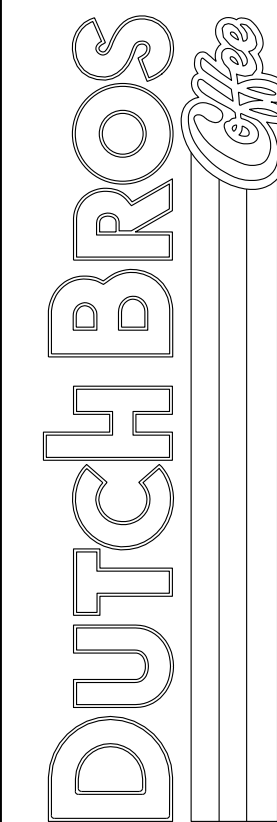


ON-SITE BARRIER CURB

NOT TO SCALE

NOTES AND DETAILS
7330 SAN ANTONIO DR NE
ALBUQUERQUE, NM 87109

Title:



For:

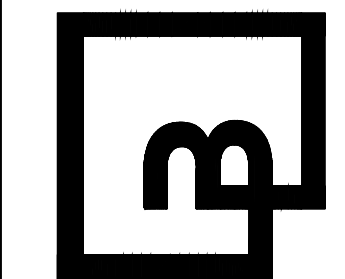


9/5/2024

Scale: Horizontal N/A Vertical N/A

Designed BB Draw BB Checked MTL Approved AEM Date 9/4/24

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Sheet C51
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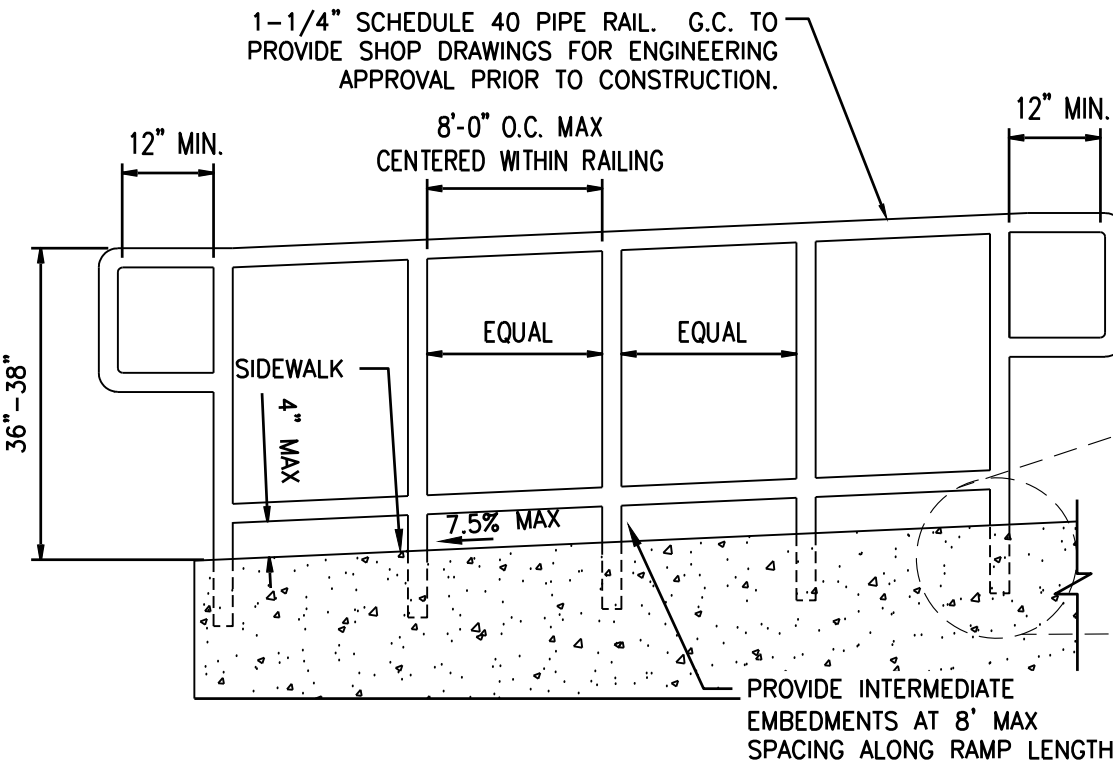


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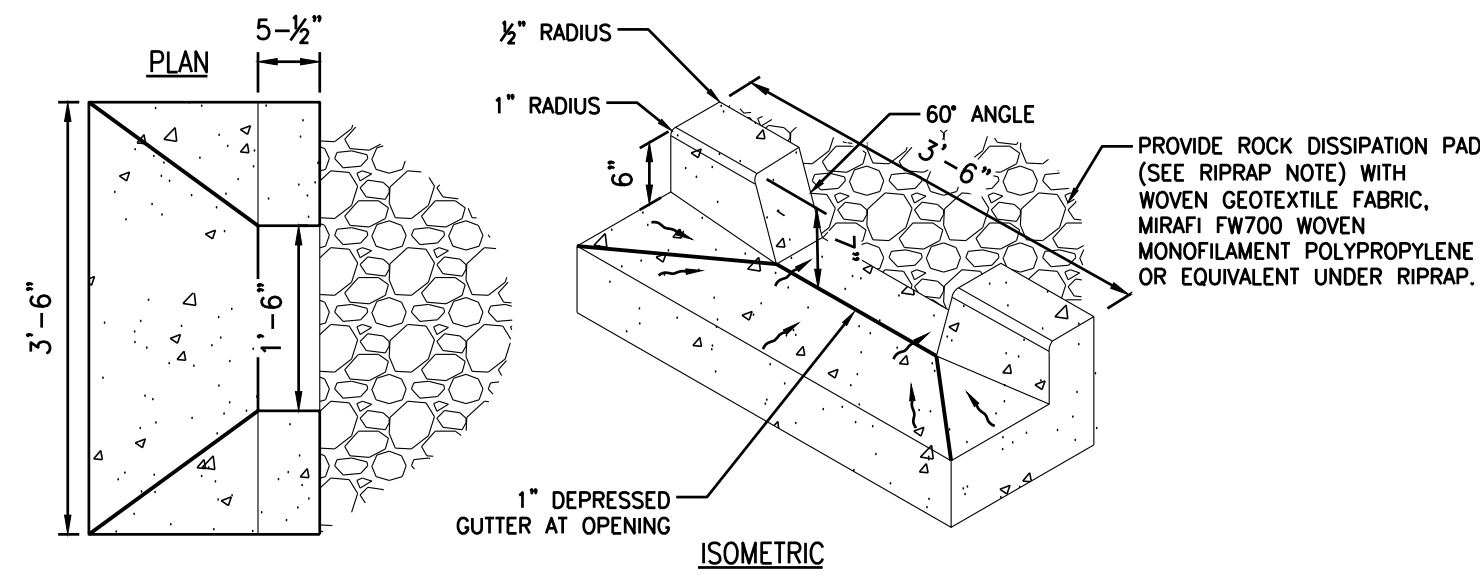
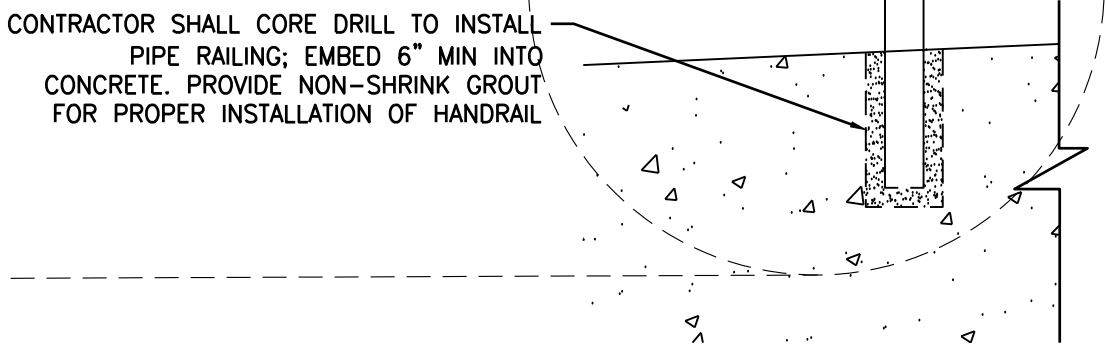
DUTCH BROS COFFEE - NM0504, ALBUQUERQUE, NM

7330 SAN ANTONIO DRIVE N.E.

NOTES AND DETAILS

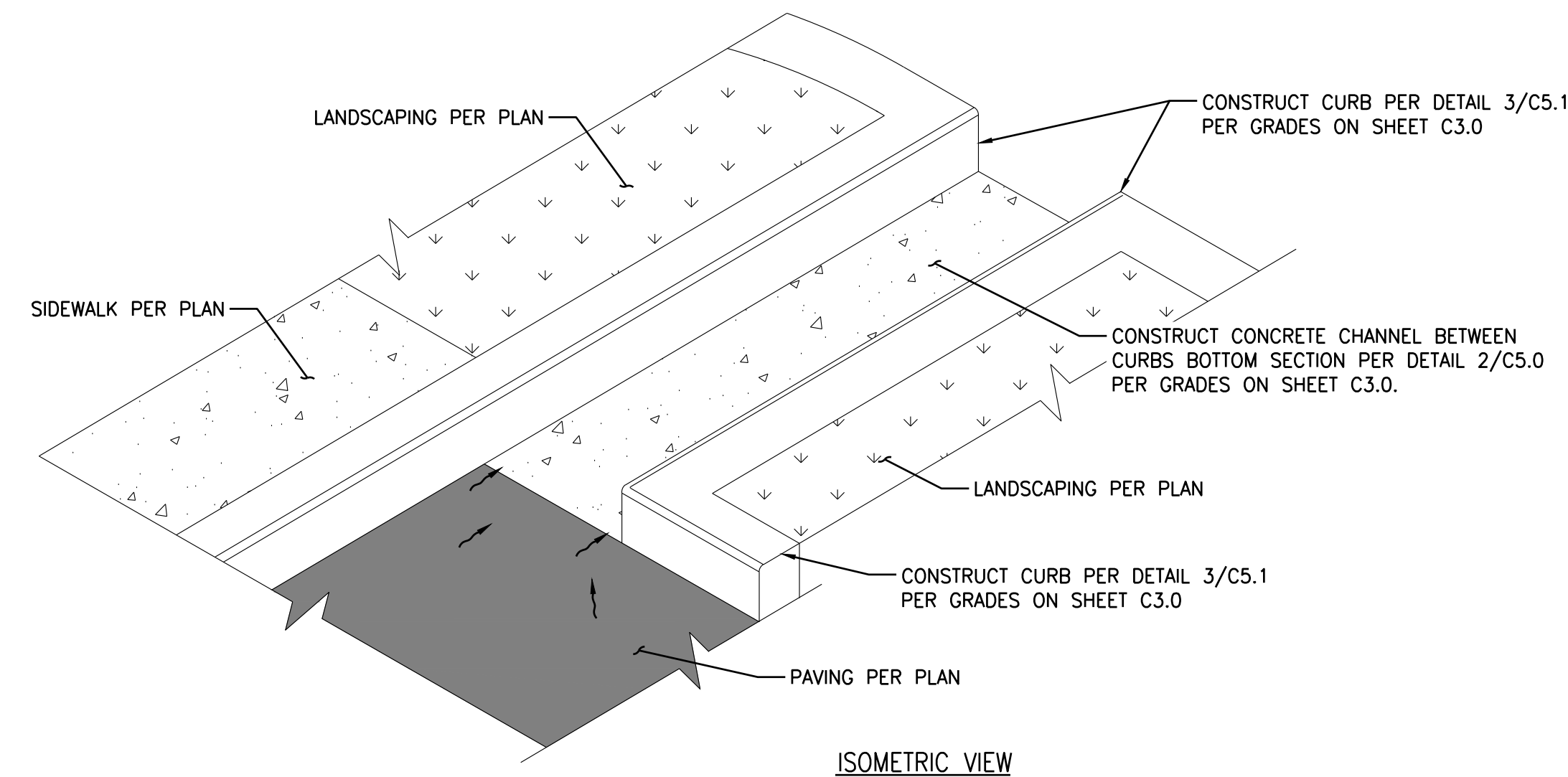


5 RAMP WITH HANDRAIL
C5.2 NOT TO SCALE

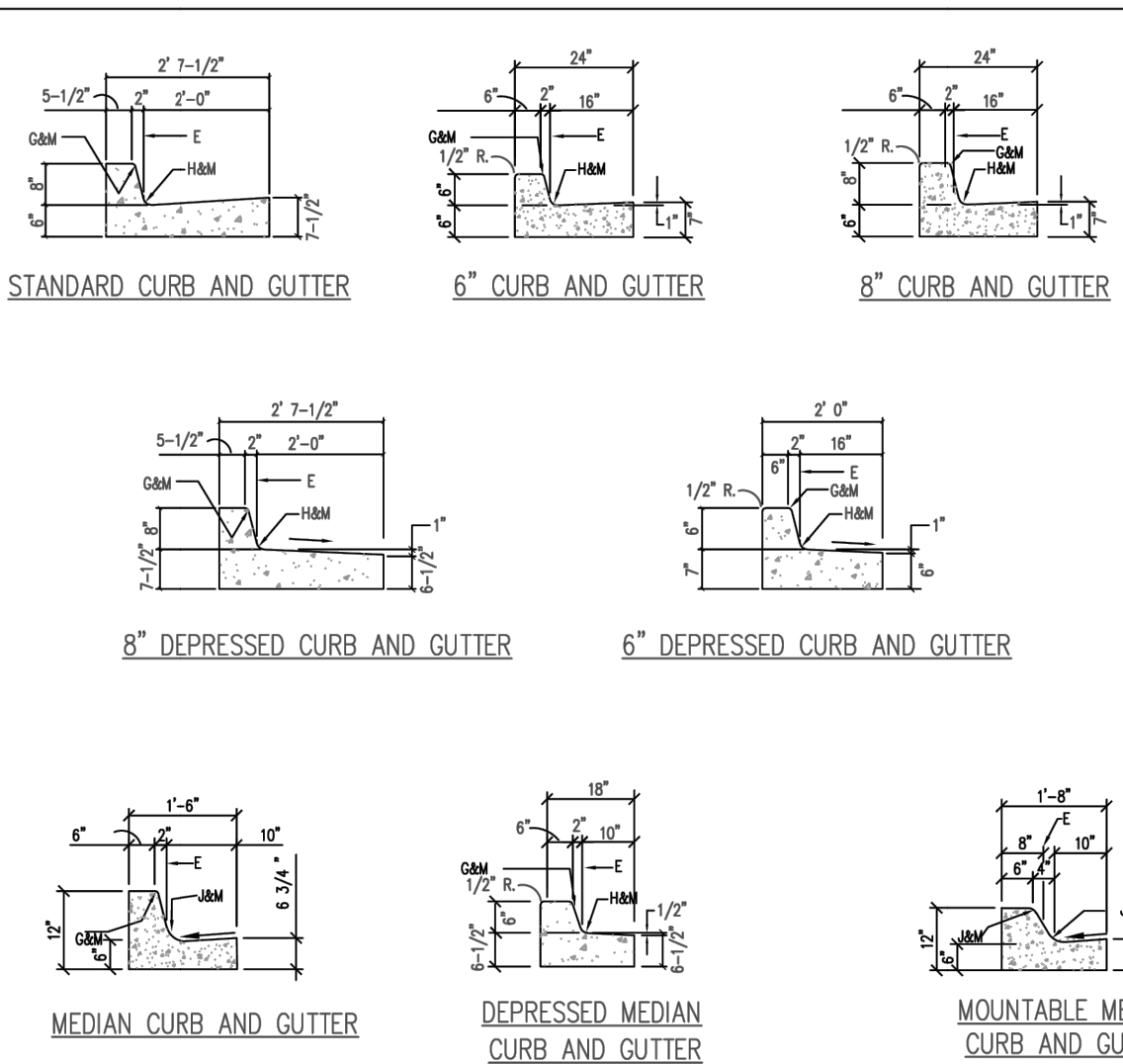


RIPRAP NOTE:
CONTRACTOR TO INSTALL GROUTED RIP-RAP PAD. RIP-RAP GRAVEL SHALL CONSIST OF R3 AND R4 OR EQUIVALENT SIZED ANGULAR GRAVEL. CONTRACTOR SHALL GROUT RIP-RAP PAD AFTER INSTALLED TO CONFIRM PAD WILL REMAIN IN LOCATION AS DESIGNED. RIP-RAP PAD SHALL BE GROUTED PER MEANS AND METHODS APPROPRIATE IN THE FIELD.

6 ON-SITE CURB CUT
C5.1 NOT TO SCALE



7 SIDEWALK THROUGH-CUT
C5.2 NOT TO SCALE



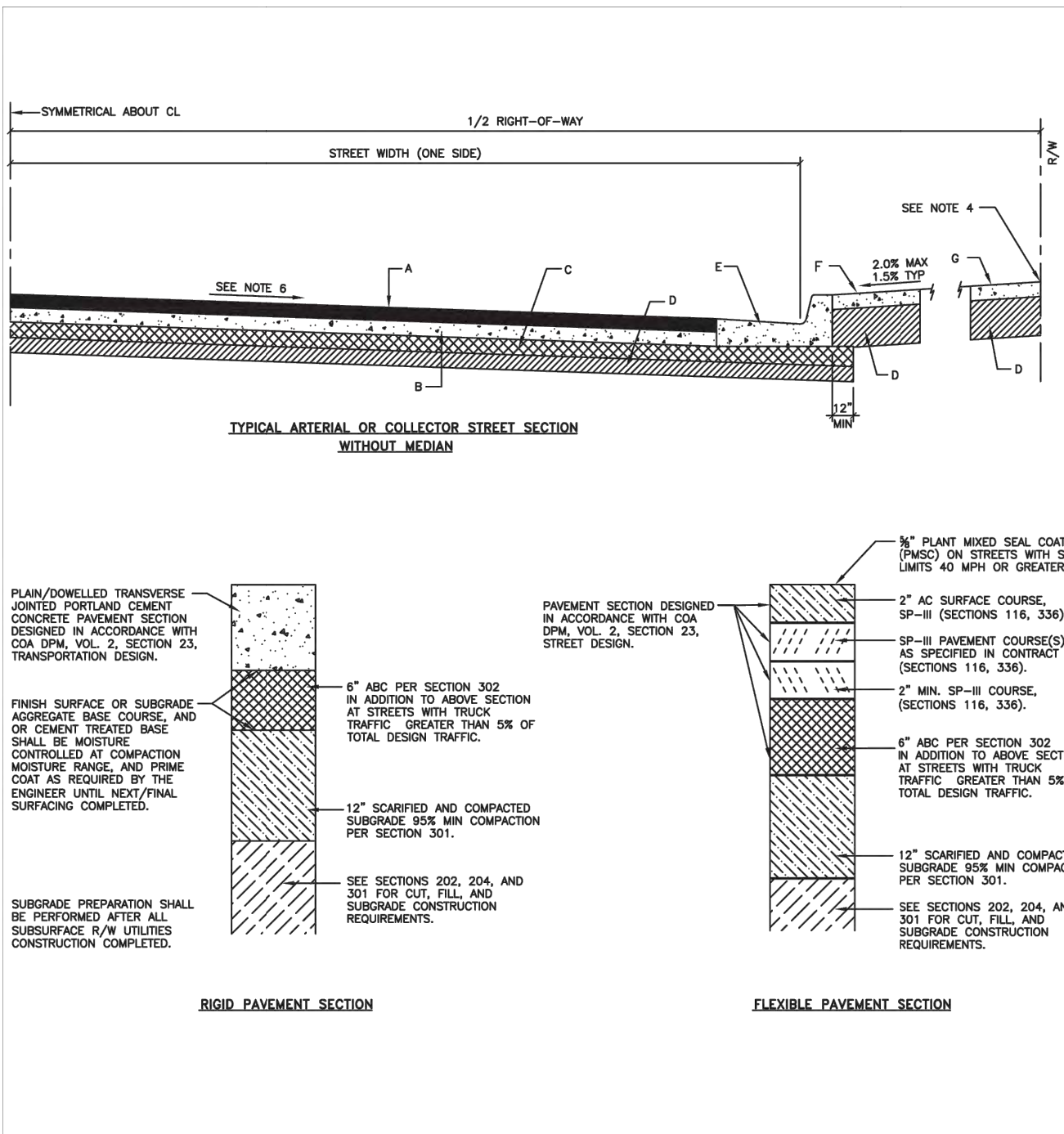
GENERAL NOTES:

- CURB, GUTTER AND CUT-OFF WALL WILL BE CONSTRUCTED OF PORTLAND CEMENT CONCRETE (PCC).
- FOR STANDARD AND MOUNTABLE C & G ADJACENT TO ASPHALT CONCRETE (AC) PAVEMENT, PROVIDE CONTRACTION JOINTS AT 12' MAX SPACING. 1/2" EXPANSION JOINTS AT CURB RETURNS & AT A MAXIMUM SPACING OF 100' BETWEEN CURB RETURNS & EACH SIDE OF SEPARATELY CONSTRUCTED DRIVEWAYS. CONTRACTION JOINTS SHALL BE EITHER SANDED OR TOoled A MINIMUM OF 1" DEEP AT FINISHED FACES. 1/2" EXPANSION JOINTS TO BE INSTALLED AT CURB RETURNS AND AT A MAXIMUM SPACING OF 200' BETWEEN CURB RETURNS AND SEPARATELY CONSTRUCTED DRIVEWAYS.
- FOR ALL OTHER C & G AND CUT-OFF WALL, PROVIDE CONTRACTION JOINTS AT 12' MAX SPACING. 1/2" EXPANSION JOINTS AT CURB RETURNS & AT A MAXIMUM SPACING OF 100' BETWEEN CURB RETURNS & EACH SIDE OF SEPARATELY CONSTRUCTED DRIVEWAYS. CONTRACTION JOINTS SHALL BE EITHER SANDED OR TOoled A MINIMUM OF 1" DEEP AT ALL FINISHED FACES. REINFORCEMENT SHALL NOT BE USED IN CUT-OFF WALLS.
- FOR C & G CONSTRUCTED WITH PCC PAVEMENT, CONTRACTION JOINTS AND EXPANSION JOINTS SHALL BE THE SAME AS THE PAVEMENT JOINTS.
- ALL EDGES SHALL BE EDGED WITH A 3/8" RADIUS EDGING TOOL.
- REMOVE & REPLACE PAVEMENT 1" WIDE ADJACENT TO TOP OF GUTTER WHEN CONSTRUCTING C & G ADJACENT TO EXISTING AC PAVEMENT.
- 1/4" ISOLATION JOINT SHALL BE PLACED BETWEEN SIDEWALK AND C & G WHEN CAST ADJACENT TO EACH OTHER.
- ADA = AMERICANS WITH DISABILITY ACT.

CONSTRUCTION Notes
SEE CDA DRAWING 2415B

REVISIONS	CITY OF ALBUQUERQUE
PAVING CURB AND GUTTER AND CURB CUT DETAILS	
DWG. 2415A	FEBRUARY 2021

3 RIGHT-OF-WAY CURB AND GUTTER
C5.2 NOT TO SCALE



GENERAL NOTES:

- STRUCTURAL THICKNESS OF PAVEMENT COMPONENTS WILL BE PER PAVEMENT DESIGN.
- ALL SUBGRADE COMPACTION FOR C & G SHALL EXCEED 12" MIN. ON EITHER SIDE OF C & G OR CURB SECTION, A MINIMUM OF 12" BELOW BOTTOM OF CURB.
- SUBGRADE PREPARATION UNDER SIDEWALK AND DRIVE PADS SHALL BE INCLUDED WITH THE PARTICULAR ITEM.
- FINISH GRADE AT PROPERTY LINE SHALL BE BASED ON A MIN 2% SLOPE FROM TOP OF CURB.
- SLOPE GRADIENT REQUIREMENTS WILL BE SHOWN ON PROJECT CONSTRUCTION PLANS.
- TRANSVERSE SLOPE FOR PAVEMENT SHALL BE 2% TYPICAL.
- GRADES AND ELEVATIONS SHALL BE MET BY SURFACE COURSE WITH PLANT MIX SEAL PLACED AS AN OVERLAY.
- PLANT MIX SEAL SHALL BE PLACED ABOVE THE TOP OF THE CUTTERS.
- ALL ASPHALT CONCRETE (AC) PAVEMENT SHALL COMPLY WITH SECTION 110.
- ALL PORTLAND CEMENT CONCRETE (PCC) PAVEMENT SHALL COMPLY WITH SECTION 101.

CONSTRUCTION NOTES:

- ASPHALT CONCRETE SURFACE COURSE.
- ASPHALT CONCRETE (AC) PAVEMENT.
- IF AGGREGATE BASE COURSE (ABC), IF REQUIRED.
- 12" SUBGRADE PREP, BASE COMPACTION.
- STANDARD CURB AND GUTTER.
- SIDEWALK ADJACENT TO CURB (NON-STANDARD, VARIANCE REQUIRED).
- SIDEWALK AT STANDARD SETBACK.

REVISIONS	CITY OF ALBUQUERQUE
PAVING ART./COLL. ST. SECTIONS WITHOUT MEDIAN	
DWG. 2407	JUNE 2019

4 ASPHALT PAVEMENT DETAILS
C5.2 NOT TO SCALE



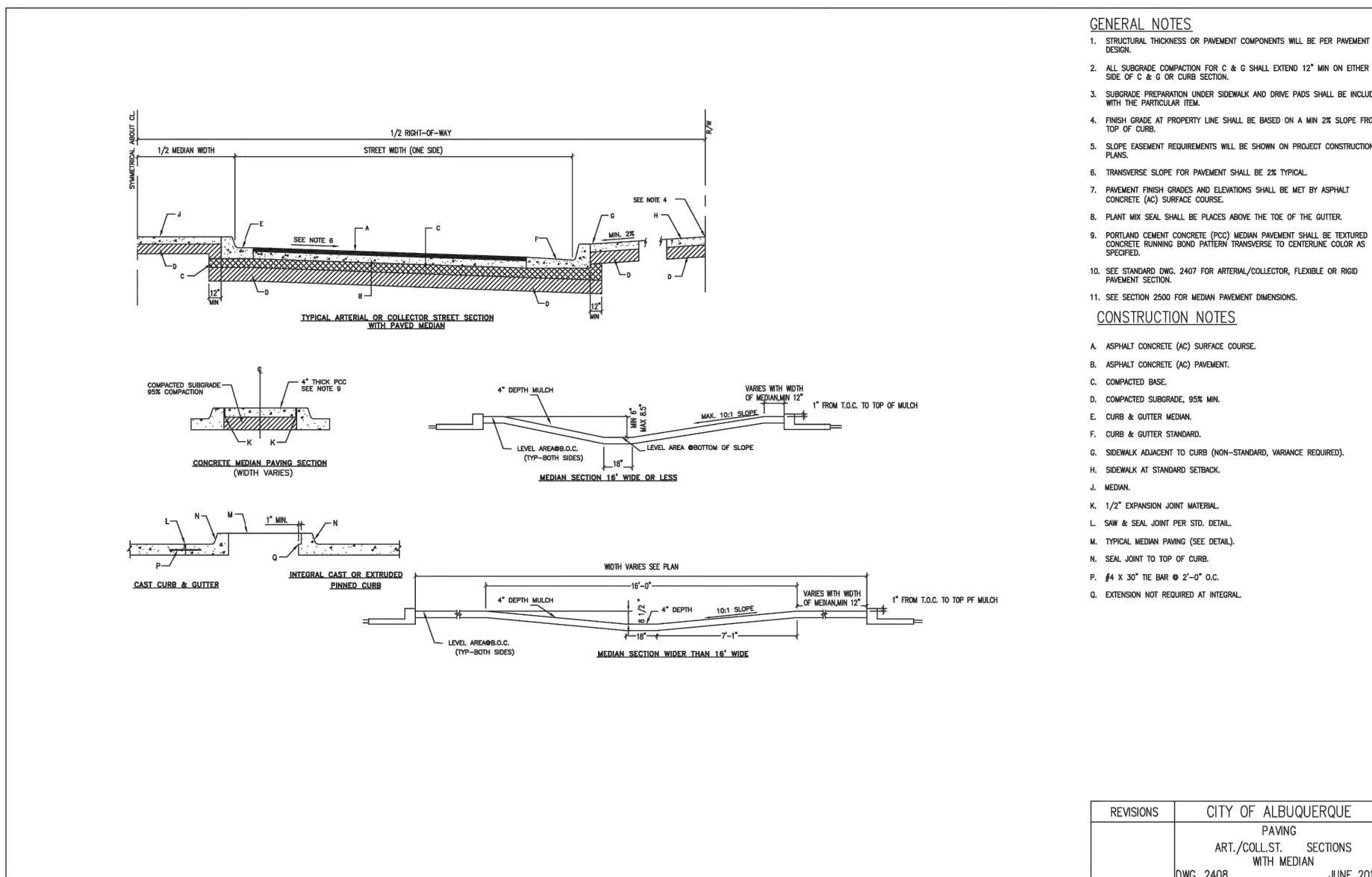
NOTES:

- ALL DIMENSIONS SHOWN IN INCHES.
- WHERE PARKING IS PROHIBITED AT ALL TIMES OR AT SPECIFIC TIMES THE R7 SERIES SHALL BE USED.
- PARKING/NO PARKING SIGNS SHALL HAVE A RED LEGEND AND BORDER ON A WHITE BACKGROUND, WHERE ONLY LIMITED-TIME PARKING OR PARKING IN A PARTICULAR MANNER ARE PERMITTED, THE SIGNS SHALL HAVE A GREEN LEGEND AND BORDER ON A WHITE BACKGROUND.
- PLEASE REFER TO THE MUTCD FOR FURTHER GUIDANCE ON PARKING AND NO PARKING SIGNS.

REVISIONS	CITY OF ALBUQUERQUE
SIGN FACE DETAILS PARKING/NO PARKING SIGN DETAILS	
DWG. 2600-604	NOVEMBER 2019

SCALE: 1" = 0.5'

1 NO PARKING SIGNAGE
C5.2 NOT TO SCALE

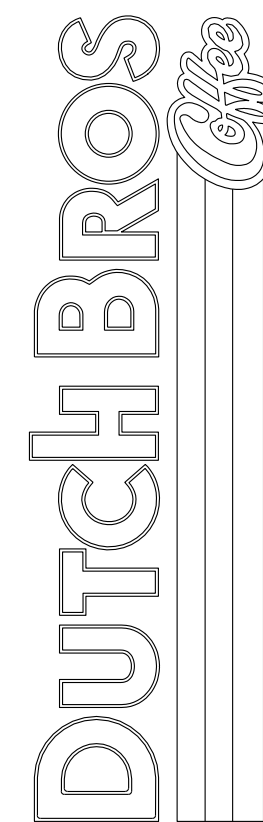


REVISIONS	CITY OF ALBUQUERQUE
PAVING ART./COLL. ST. SECTIONS WITH MEDIAN	
DWG. 2408	JUNE 2019

2 MEDIAN DETAILS
C5.2 NOT TO SCALE

NOTES AND DETAILS
7330 SAN ANTONIO DR NE
ALBUQUERQUE, NM 87109

Title:



For:



9/5/2024

Scale:

Horizontal N/A
Vertical N/A

Designed BB

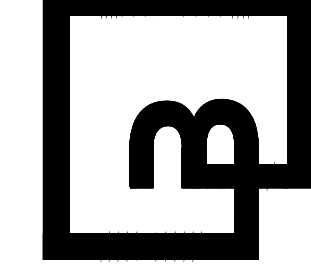
Drawn BB

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Approved AEM

Date 9/4/24

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