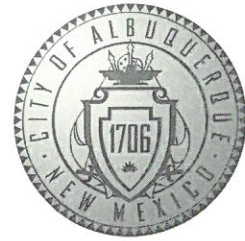


# CITY OF ALBUQUERQUE



September 25, 2017

Stephen Teeters  
Formative Architecture PC  
3212 Stanford Dr. NE  
Albuquerque, NM 87107

**Re: Walgreen's Site Modifications**  
**8011 Harper Dr. NE**  
**Traffic Circulation Layout**  
Architect's Stamp **9-20-17** (E19D027C)

Dear Mr. Teeters,

Based upon the information provided in your submittal received 9-20-17, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Please show a vicinity map showing the location of the development in relation to streets and well known landmarks.
2. List the number of parking spaces required by the zoning code as well as the proposed number of parking spaces including bicycle and motorcycle parking.
3. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 **"Violators Are Subject to a Fine and/or Towing."** Please call out detail and location of HC signs.
4. The ADA access aisles shall have the words **"NO PARKING"** in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)
5. Per the zoning code, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please clearly show this pathway and provide details.

Resubmit a revised plan along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. PDF copies of the plans and submittal package must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) at time of resubmittal. If you have any questions, please contact me at 924-3630.

Sincerely,

Logan Patz  
Senior Engineer, Planning Dept.  
Development Review Services

MA/LP                      via: email  
C:                      CO Clerk, File



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 10/2015)

**Project Title:** Walgreen's Site Modifications **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** E-19 0027C  
**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_  
**Legal Description:** Tract C-1-A-2A, Cherry Hills Unit 1 (94C-67)  
**City Address:** 8011 Harper Drive NE

**Applicant:** Formative Architecture PC **Contact:** Stephen Teeters  
**Address:** 3212 Stanford Drive NE, Albuquerque NM 87107  
**Phone#:** 505-934-4596 **Fax#:** \_\_\_\_\_ **E-mail:** stephent@formativearchitect.com

**Other Contact:** \_\_\_\_\_ **Contact:** \_\_\_\_\_  
**Address:** \_\_\_\_\_  
**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

Check all that Apply:

### DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE  
☒ TRAFFIC/ TRANSPORTATION  
☐ MS4/ EROSION & SEDIMENT CONTROL

### TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ DRAINAGE MASTER PLAN  
☐ DRAINAGE REPORT  
☐ CLOMR/LOMR  
☒ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)  
☐ OTHER (SPECIFY) \_\_\_\_\_

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY  
☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☒ GRADING PERMIT APPROVAL  
☒ SO-19 APPROVAL  
☒ PAVING PERMIT APPROVAL  
☐ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR

### PRE-DESIGN MEETING?

\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

**DATE SUBMITTED:** 09-20-17 **By:** Stephen Teeters



**PROJECT DESCRIPTION**  
THIS DRAWING HAS BEEN PREPARED FOR THE PURPOSE OF MAKING LIMITED PAVING IMPROVEMENTS TO THE EXISTING WALGREENS SITE DEVELOPMENT LOCATED AT 8011 HARPER DRIVE NE. THE PAVING IMPROVEMENTS INCLUDE NEW GRADING AND GEOMETRY TO PROVIDE COMPLIANT ACCESSIBLE PARKING SPACES AND AN ACCESSIBLE PATH CONNECTING THE ACCESSIBLE PARKING SPACES, PUBLIC SIDEWALK, AND PUBLIC BUILDING ENTRANCE.



PROJECT DESCRIPTION

**WALGREENS SITE MODIFICATIONS**

8011 HARPER DRIVE N.E., ALBUQUERQUE, N.M.

DRAWN BY      FA	NO.	DATE	BY	REVISIONS	JOB NO.	2017.030.1
					DATE	09-2017
					SHEET	OF 1 3



**SURVEY NOTE:**  
THIS IS NOT A BOUNDARY AND TOPOGRAPHIC SURVEY. DATA IS SHOWN FOR ORIENTATION ONLY. THE INFORMATION DEPICTED BY THIS PLAN IS BASED UPON AN ALTA/NSPS LAND TITLE SURVEY PREPARED BY AMERICAN SURVEYING & MAPPING INC., NMFS 19639, DATED 06/29/2017.

**HIGH MESA Consulting Group**  
Engineers, Surveyors & Scientists Utility Consultants

8010-B Midway Park Blvd. NE • Albuquerque, New Mexico 87109  
Phone: 505.345.4250 • Fax: 505.345.4254 • www.highmesacg.com

### PARCELS 2 AND 3

"SHOPPING CENTER"  
NON-EXCLUSIVE RECIPROCAL EASEMENTS FOR  
ACCESS, INGRESS, EGRESS AND DRAINAGE  
BK 94-10, PG 2609 AND BK94-4, PG 8968

### PARCELS 2 AND 3

"COMMON AREA"  
NON-EXCLUSIVE EASEMENTS FOR ACCESS,  
INGRESS, EGRESS, PARKING AND DRAINAGE  
BK 94-10, PG 2609 AND BK94-4, PG 8968

### PARCEL 1

TRACT C-1-A-2A  
CHERRY HILLS - UNIT 1  
VOLUME 94C, FOLIO 67

NON-EXCLUSIVE RECIPROCAL EASEMENTS FOR  
ACCESS, INGRESS, EGRESS AND DRAINAGE  
BK 94-10, PG 2609 AND BK94-4, PG 8968

PARCELS 2 AND 3  
NON-EXCLUSIVE RECIPROCAL EASEMENTS FOR  
ACCESS, INGRESS, EGRESS AND DRAINAGE  
BK 94-10, PG 2609 AND BK94-4, PG 8968

### DRAINAGE PLAN

THE PROJECT SITE IS AN EXISTING FULLY DEVELOPED COMMERCIAL SITE WITHIN AN INFILL AREA. THE SITE IS LOCATED NEAR THE INTERSECTION OF HARPER ROAD NE AND WYOMING BLVD NE. THE PROPOSED PROJECT INTENT IS TO REMOVE, REGRADE, AND REPLACE EXISTING SIDEWALKS AND ASPHALT PAVEMENT IN ORDER TO CORRECT EXISTING ADA ACCESSIBILITY DEFICIENCIES ADJACENT TO THE EXISTING BUILDING. THE DRAINAGE DESIGN INTENT SHALL BE TO MAINTAIN THE EXISTING DRAINAGE PATTERNS OF THE SITE ESTABLISHED BY THE ORIGINAL 1994 APPROVED PLAN FOR THIS SITE.

EXISTING IMPERVIOUS CONCRETE AND ASPHALT PAVEMENT WILL BE REMOVED AND REPLACED WITH NEW IMPERVIOUS CONCRETE AND ASPHALT PAVEMENT, THEREFORE THERE WILL BE NO CHANGE TO THE RUNOFF GENERATED BY THE SITE, AND NO CALCULATIONS WERE PREPARED WITH THIS SUBMITTAL. BY MAINTAINING THE EXISTING LAND TREATMENT OF THE PROJECT SITE, IT IS ANTICIPATED THAT THERE WILL BE NO ADVERSE IMPACT ON DOWNSTREAM CAPACITY OR DOWNSTREAM PROPERTIES.

DUE TO THE LIMITED SCOPE OF THE PROJECT, IMPROVEMENTS WILL BE LIMITED TO EXISTING PAVED PORTIONS OF THE SITE AND THUS THERE IS NO OPPORTUNITY TO CAPTURE FIRST FLUSH FROM THE SITE.

THIS SUBMITTAL IS MADE IN SUPPORT OF GRADING AND PAVING PERMIT APPROVAL.

LINE TABLE		
LINE #	DIRECTION	LENGTH
L1	S89°55'47"E	18.07'

CURVE DATA					
NUMBER	RADIUS	DELTA	LENGTH	CHORD	CHORD BEARING
C1	30.00'	78°54'51"	41.32'	38.13'	S43°37'27"E
C2	1904.19'	2°10'53"	72.49'	72.49'	S81°59'37"E
C3	156.63'	13°28'01"	36.81'	36.73'	S74°10'21"E
C4	150.00'	11°28'01"	30.02'	29.97'	S73°10'22"E
C5	1897.00'	0°32'26"	17.90'	17.90'	S78°38'13"E
C6	25.00'	90°00'54"	39.28'	35.36'	N56°48'30"E

## GRADING AND PAVING PLAN

### WALGREENS SITE MODIFICATIONS

8011 HARPER DRIVE N.E., ALBUQUERQUE, N.M.

### CONSTRUCTION NOTES:

- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM, 811, FOR DESIGNATION (LINE-SPOTTING) OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INTERPRETATIONS IT MAKES WITHOUT FIRST CONTACTING THE ENGINEER AS REQUIRED ABOVE.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- ALL CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.
- UTILITY INFORMATION SHOWN HEREON IS BASED UPON SURFACE EVIDENCE ONLY. UTILITY LINES THAT APPEAR ON THESE DRAWINGS ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS CONDUCTED ONLY PRELIMINARY INVESTIGATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UTILITY LINES, PIPELINES OR UNDERGROUND UTILITY LINES. THIS INVESTIGATION IS NOT CONCLUSIVE, AND MAY NOT BE COMPLETE, THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
- THE DESIGN OF PLANTERS AND LANDSCAPED AREAS IS NOT PART OF THIS PLAN. ALL PLANTERS AND LANDSCAPED AREAS ADJACENT TO THE BUILDING(S) SHALL BE PROVIDED WITH POSITIVE DRAINAGE TO AVOID ANY PONDING ADJACENT TO THE STRUCTURE. FOR CONSTRUCTION DETAILS, REFER TO LANDSCAPING PLAN.
- THE GRADES INDICATED ON THIS PLAN ARE FINISHED GRADES UNLESS OTHERWISE INDICATED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LEAVING SUBGRADE AT ELEVATIONS THAT SHALL ACCOMMODATE PROPOSED IMPROVEMENTS AS INDICATED ON THE PLANS INCLUDING, BUT NOT LIMITED TO, SURFACE DRAINAGE STRUCTURES, PAVING AND LANDSCAPING SURFACING.

### EROSION CONTROL MEASURES:

- THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY.
- THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
- WHEN APPLICABLE, CONTRACTOR SHALL SECURE TOPSOIL DISTURBANCE PERMIT FROM THE CITY AND/OR FILE A NOTICE OF INTENT (N.O.I.) WITH THE EPA PRIOR TO BEGINNING CONSTRUCTION.

### CONSTRUCTION KEYED NOTES:

- REMOVE AND DISPOSE OF EXISTING CONCRETE PAVEMENT
- REMOVE AND DISPOSE OF EXISTING CONCRETE CURB
- REMOVE, PULVERIZE AND BLEND EXISTING ASPHALT PAVEMENT INTO SUBGRADE TO USE AS BASE COURSE FOR NEW ASPHALT PAVEMENT
- PREP EXISTING ASPHALT SURFACE FOR NEW 1.5" ASPHALT OVERLAY, MILL SOUTH EDGE OF EXISTING ASPHALT AS REQUIRED FOR 1.5" OVERLAY
- CONSTRUCT 3" ASPHALT PAVEMENT PER TYPICAL SECTION, SHEET 3
- CONSTRUCT 1.5" ASPHALT PAVEMENT OVERLAY PER TYPICAL SECTION, SHEET 3
- CONSTRUCT TURNDOWN SIDEWALK PER TYPICAL SECTION, SHEET 3
- CONSTRUCT 4" CONCRETE SIDEWALK PER TYPICAL SECTION, SHEET 3
- CONSTRUCT CURB AND GUTTER (24" WIDTH) PER TYPICAL SECTION, SHEET 3
- CONSTRUCT CURB AND GUTTER @ ACCESS RAMP PER TYPICAL SECTION, SHEET 3
- CONSTRUCT HEADER CURB PER TYPICAL SECTION, SHEET 3
- CONSTRUCT CONCRETE RUNDOWN PER TYPICAL SECTION, SHEET 3
- CONSTRUCT SIDEWALK CULVERT PER TYPICAL SECTION, SHEET 3
- CONSTRUCT WHEELCHAIR RAMP PER TYPICAL SECTION, SHEET 3
- REINSTALL SALVAGED CONCRETE WHEELSTOP (TYP. OF FOUR) PER TYPICAL SECTION, SHEET 3
- CONSTRUCT CURB AND GUTTER (18" WIDTH) PER TYPICAL SECTION, SHEET 3

### REMOVALS/DEMOLITION NOTES:

- CONTRACTOR SHALL CAREFULLY REMOVE, STORE, AND REPLACE EXISTING REDBOX RENTAL MACHINE, PROPANE TANKS STORAGE CABINET AND TRASH BIN AT FRONT OF STORE; COORDINATE WITH OWNER AND/OR STORE MANAGER PRIOR TO REMOVALS.
- CONTRACTOR SHALL COMPLETELY REMOVE & DISPOSE OF EXISTING CONCRETE SIDEWALK ON WEST AND SOUTH SIDES OF THE BUILDING.
- CONTRACTOR SHALL CAREFULLY REMOVE AND STORE EXISTING WHEELSTOPS AT FRONT ENTRANCE AND BIKE RACK AT SOUTH SIDE OF STORE FOR REINSTALLATION.
- CONTRACTOR SHALL REMOVE AND DISPOSE ALL EXISTING ADA ACCESSIBLE PARKING SIGNAGE
- ALL EXISTING TREES & ASSOCIATED LANDSCAPING SHALL REMAIN, CONTRACTOR SHALL CLEANUP LANDSCAPING AS NECESSARY TO MATCH NEW SIDEWALK / CURB GRADES
- ALL EXISTING IMPROVEMENTS SHOWN THAT ARE NOT IN CONFLICT WITH NEW IMPROVEMENTS ARE INTENDED TO REMAIN.

### LEGAL DESCRIPTION

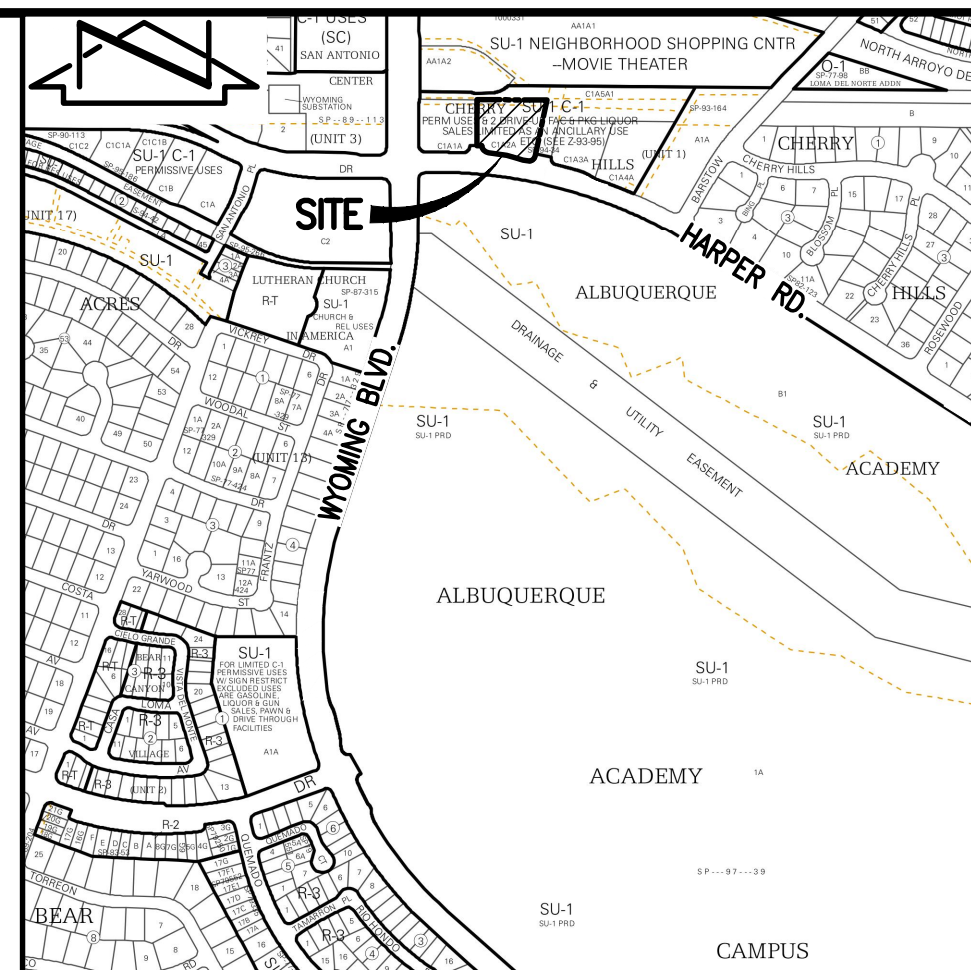
TRACT C-1-A-2A, CHERRY HILLS UNIT 1 (94C-67)

### BENCHMARK

5/8" IRON ROD & CAP NEAR S.E. CORNER OF SITE AS SHOWN ON PLAN. ELEVATION = 5738.153 FEET (NAVD 88)

### TEMPORARY BENCHMARK (TBM)

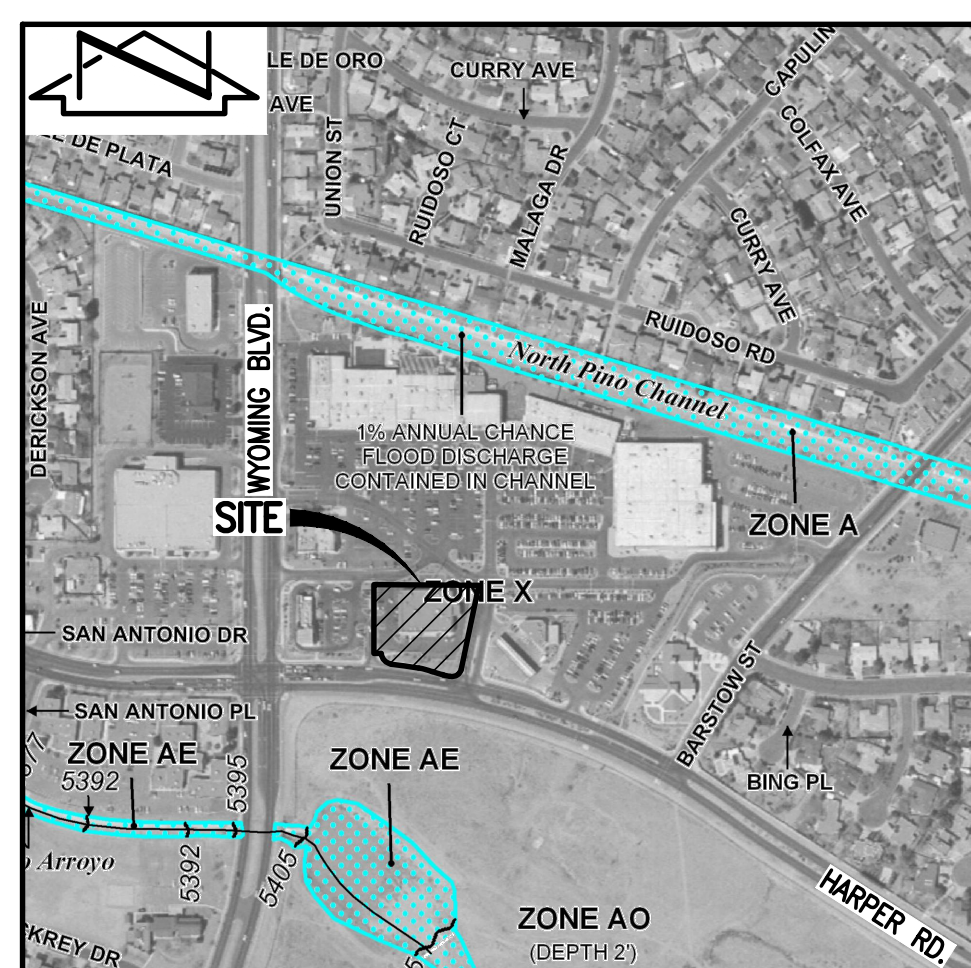
A MARK CUT IN CURB AT N.W. CORNER OF SITE AS SHOWN ON PLAN. ELEVATION = 5742.67 FEET (NAVD 88)



### VICINITY MAP

SCALE: 1" = 750'

E-19



### F.I.R.M.

SCALE: 1" = 500'

141 of 825

DATE: 9-26-2008

### DESIGN GRADING LEGEND:

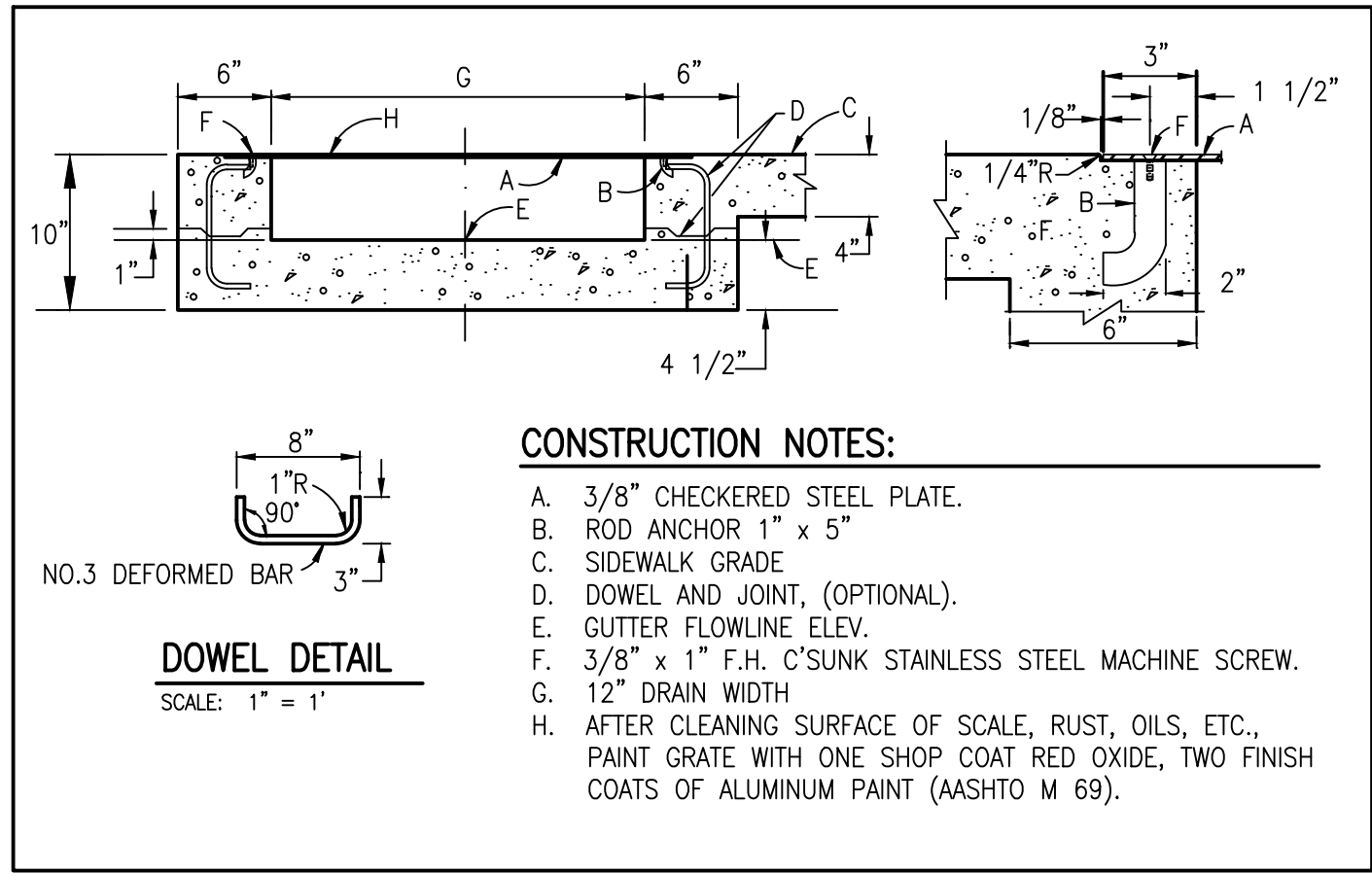
INV	INVERT
FG	FINISH GRADE
FL	FLOWLINE
TA	TOP OF ASPHALT PAVEMENT
TC	TOP OF CURB
TCO	TOP OF CONCRETE
TG	TOP OF GRATE
TSW	TOP OF SIDEWALK
+ 48.78	EXISTING SPOT ELEVATION
45.10	PROPOSED SPOT ELEVATION
...	EXISTING FLOWLINE
...	PROPOSED FLOWLINE
-5145-	EXISTING CONTOUR
45	PROPOSED CONTOUR
...	EXISTING DIRECTION OF FLOW
...	PROPOSED DIRECTION OF FLOW
---	RIGHT OF WAY LINE
---	PUBLIC EASEMENT LINE
+	HIGH POINT / DVME
...	PROPOSED CONCRETE
...	PROPOSED ASPHALT PAVING



09-20-2017

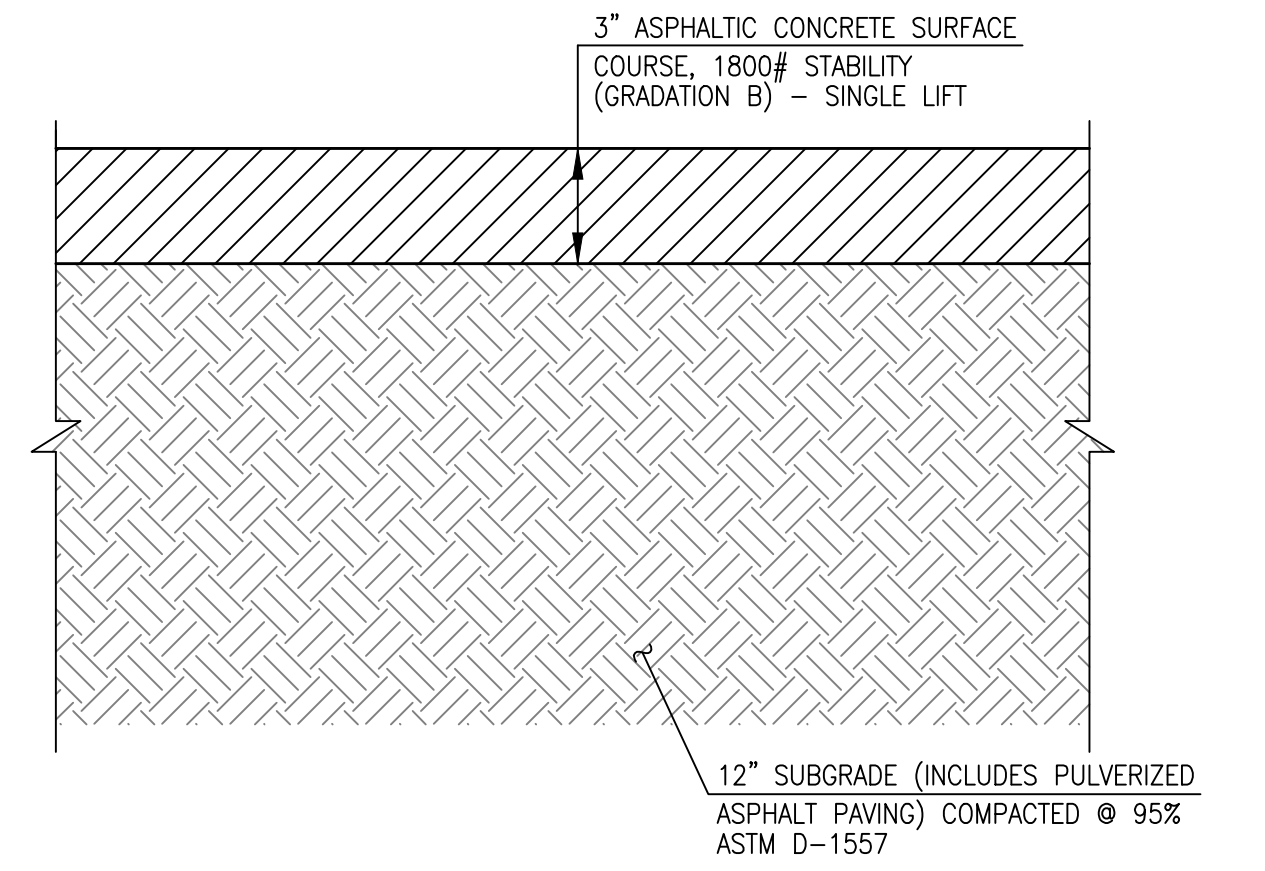
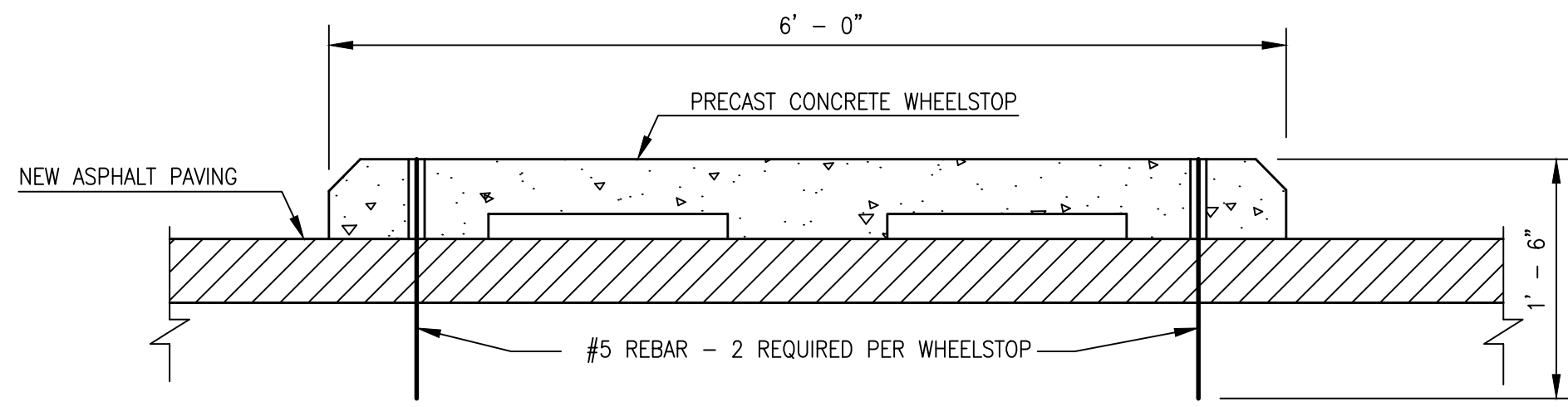
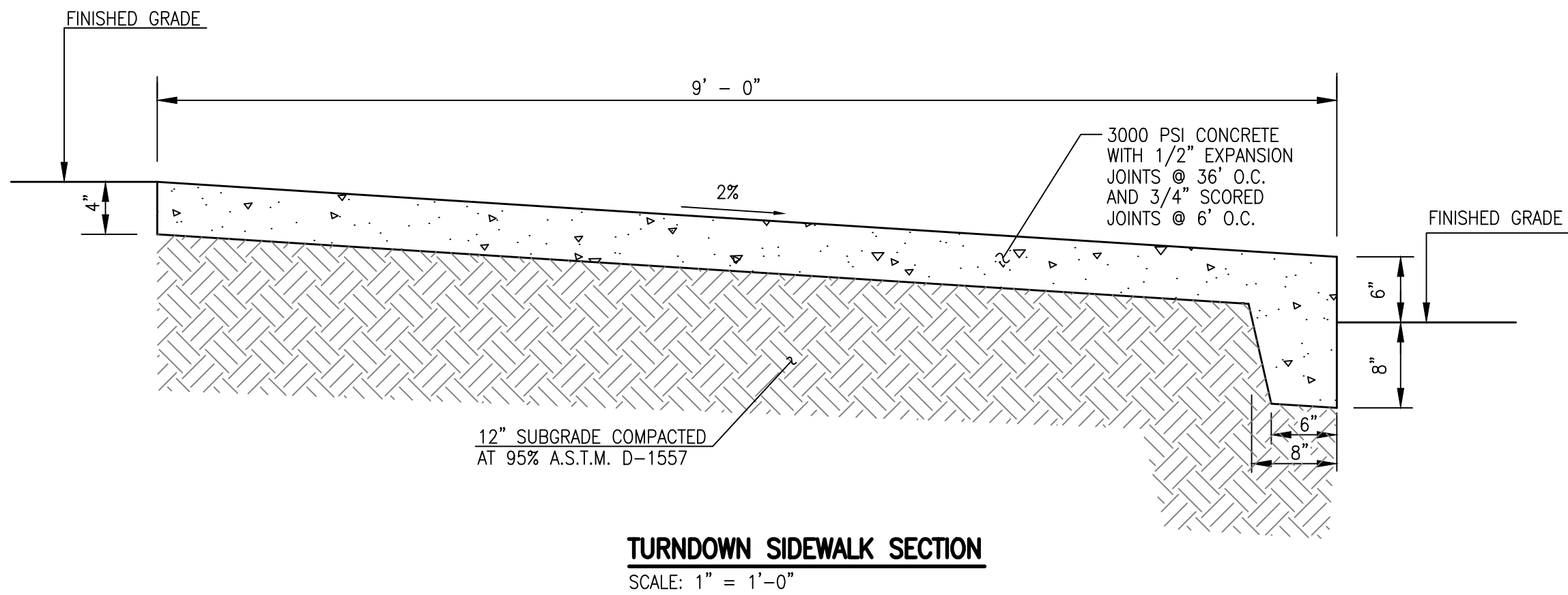
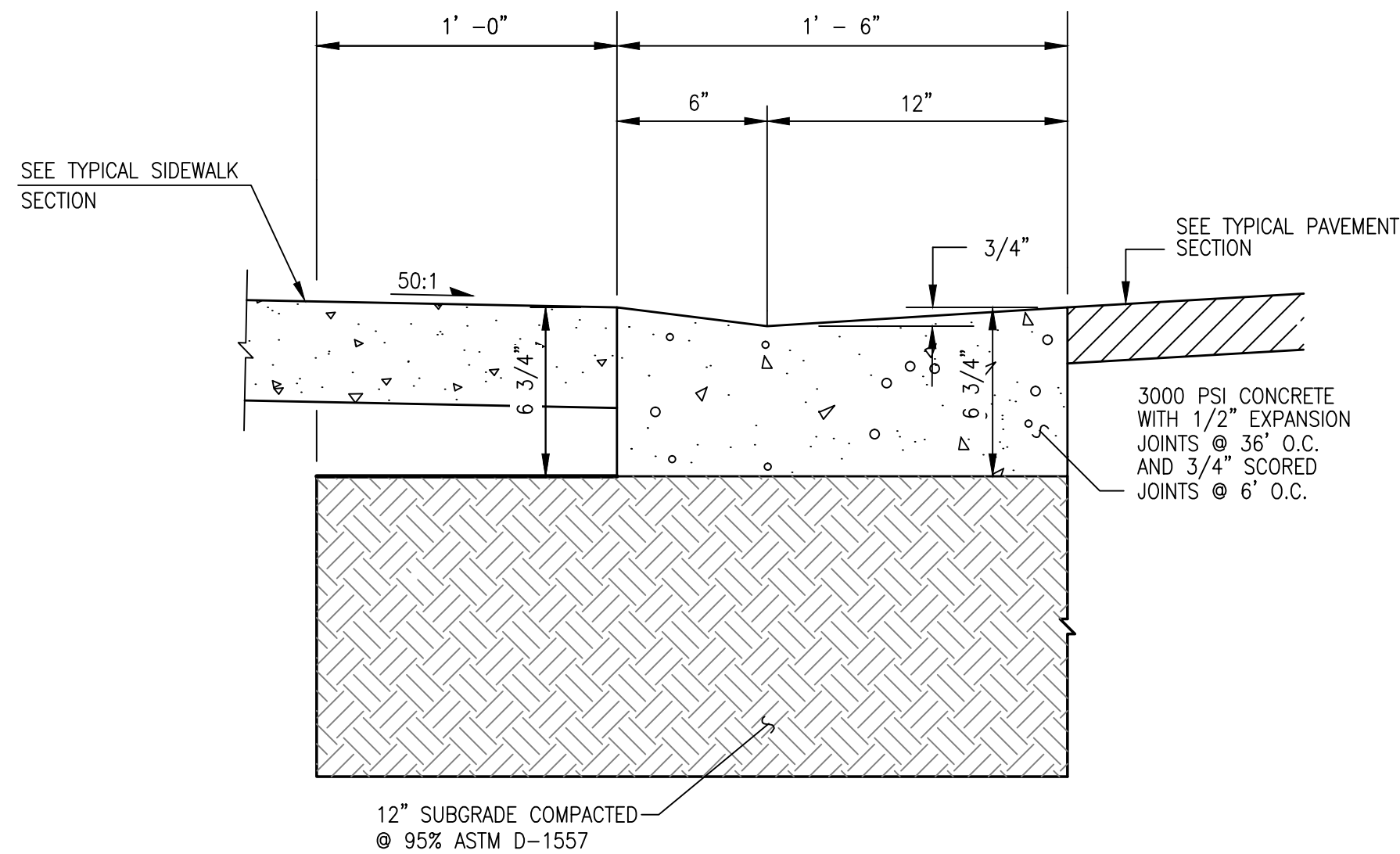
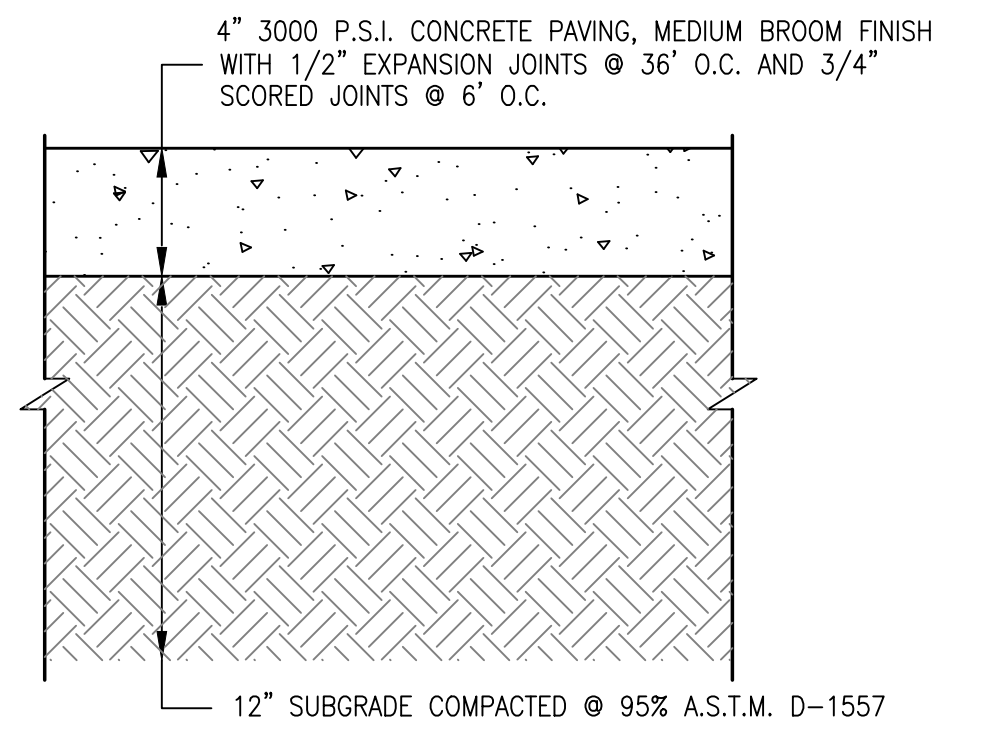
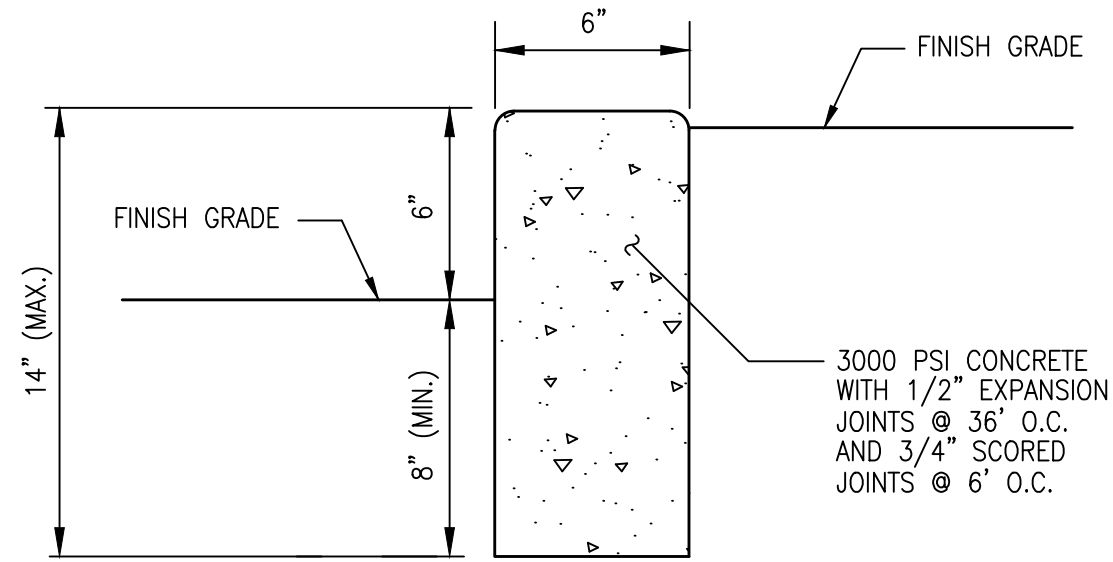
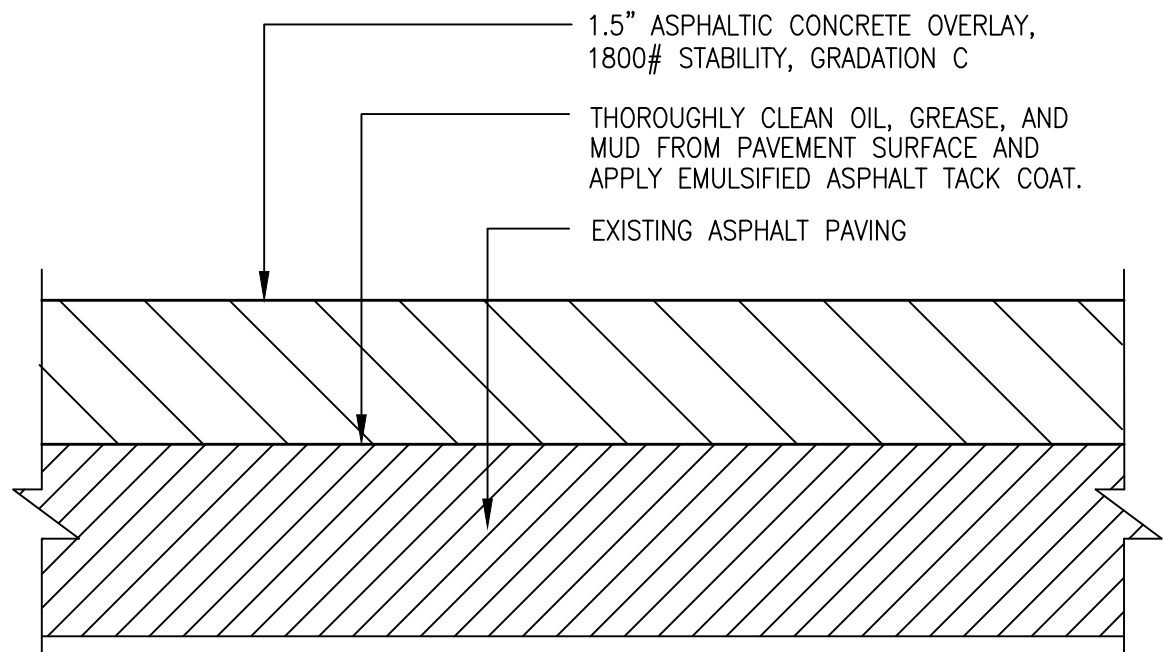
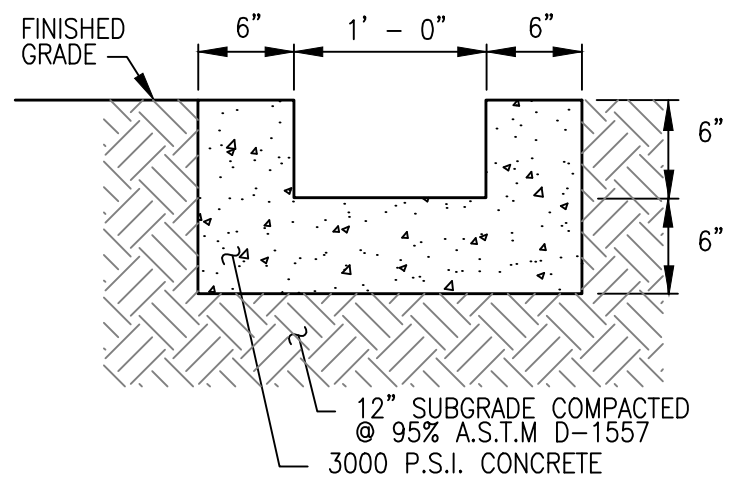
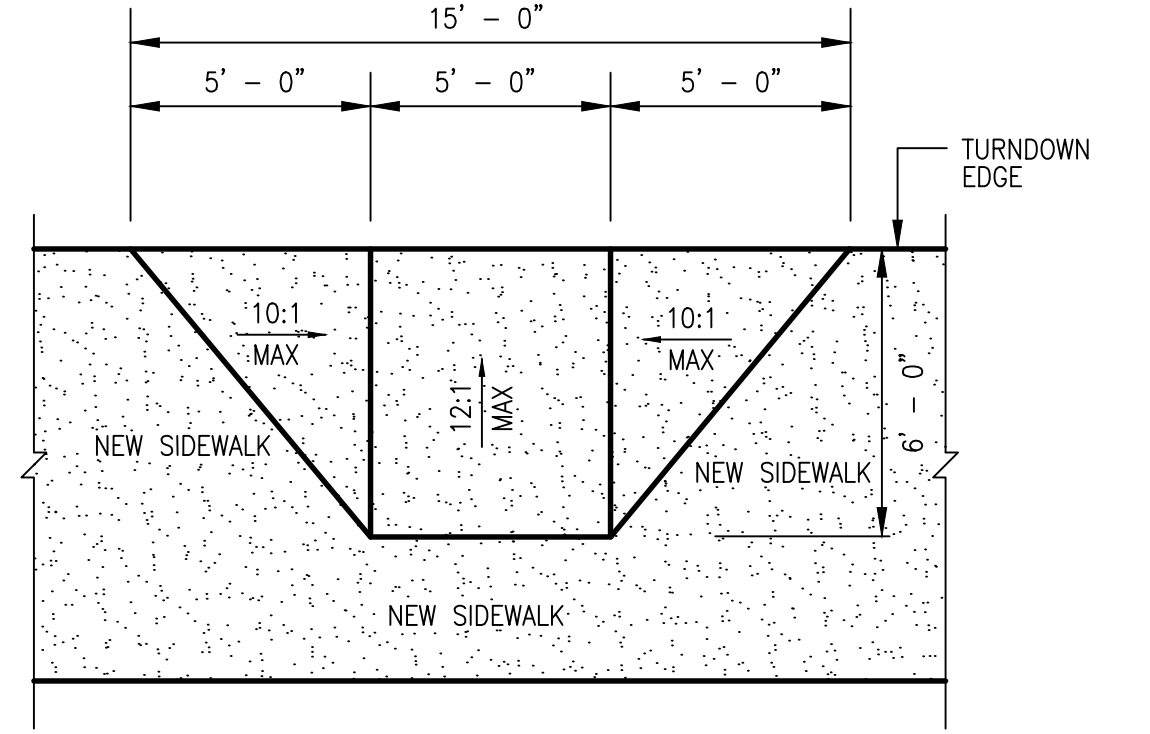
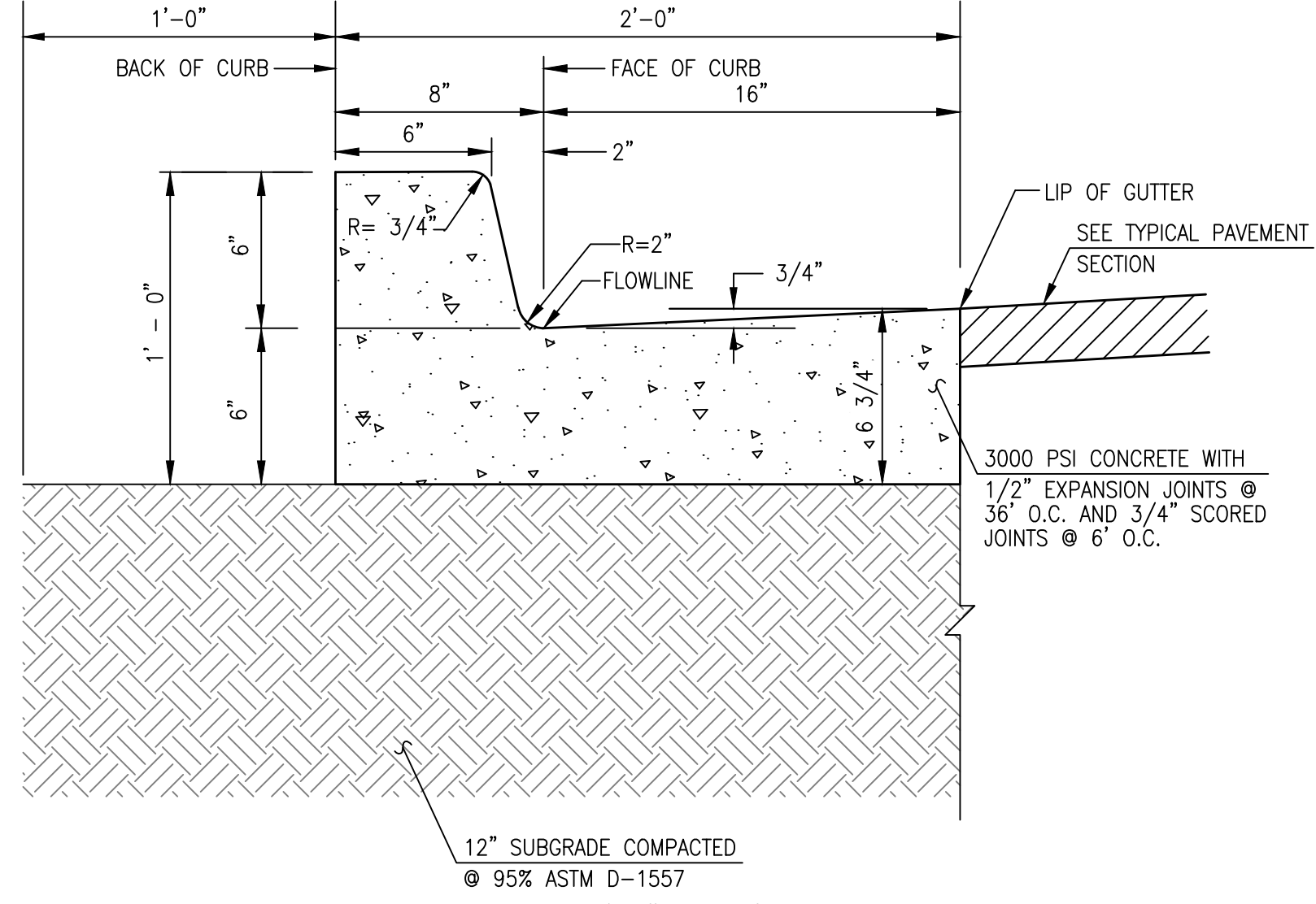
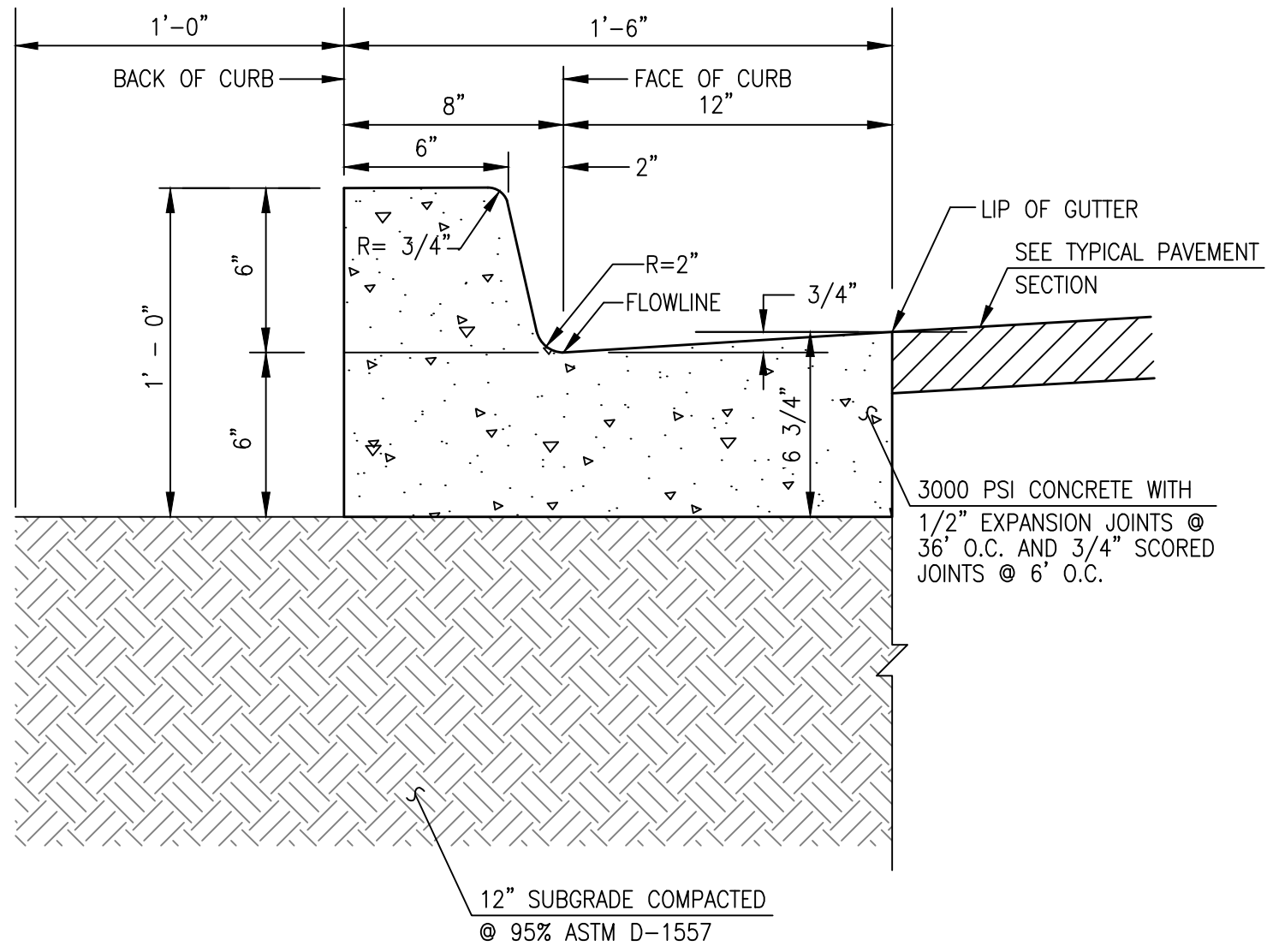
DESIGNED BY	DATE	BY	REVISIONS	JOB NO.
GM/J.D.S.				2017.030.1
J.Y.R./J.D.S./SCC				09-2017
GM				SHEET 2 OF 3





**SIDEWALK CULVERT SECTION**

SCALE: 1" = 2"



**ROAD SECTION NOTES:**

- SEE SHEET 1 FOR STRIPING AND SIGNAGE
- CONTRACTOR SHALL TEST SUBGRADE R-VALUE PRIOR TO CONSTRUCTION. IN THE EVENT THE R-VALUE IS LESS THAN 50, CONTRACTOR SHALL REMOVE 2 FT. OF SUBGRADE MATERIAL AND IMPORT SUITABLE MATERIAL WITH R-VALUE 50 OR GREATER.

